



NOTICE OF AGENDA

PLANNING COMMISSION

[City of Forest Lake – Link to Meeting Livestream](#)

Forest Lake City Center – Council Chambers
Forest Lake, Minnesota

February 28, 2024 – 7:00 PM

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve the Agenda
5. Consent Agenda Considerations (Action Items)*
 - a) Approve Planning Commission Meeting Minutes from January 24, 2024

*Planning Commission may remove any item from the consent agenda for specific consideration
6. Regular Agenda (Action Items)
 - a) Wynco Dental Clinic (9XX Centennial Drive SW)
 1. Consideration of Resolution No. 02-28-24-01 – Site Plan Approval
7. Staff Updates
 - a) Zoning Code Update Presentation
8. Adjourn



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Dawn Bugge, C.D. Admin Assistant

Wednesday, January 24, 2024

7:00 PM

City Center - Council Chamber

[City of Forest Lake - Livestream and Recorded Meetings](#)

1. Call to Order

The Meeting was called to order at 7:00 p.m.

2. Roll Call

Attendee Name	Title	Status	Arrived
Paul Girard	Commission Chair	Present	
Susan Young	Commission Vice-Chair	Present	
Kevin Miller	Planning Commissioner	Present	
Don Stehler	Planning Commissioner	Absent	
Jeff Larson	Planning Commissioner	Present	

3. Pledge of Allegiance

4. Approve the Agenda

No comments on the Agenda.

Motion: Commissioner Miller made a Motion to Approve the Agenda as presented.
Motion seconded by Commissioner Larson. Motion carried 4-0.

5. Consent Agenda Considerations (Action Items)*

a. Approve Planning Commission Meeting Minutes from November 8, 2023

Motion: Commissioner Larson made a Motion to Approve Consent Agenda Item 5.a.
Motion seconded by Commissioner Miller. Motion carried 4-0.

6. Regular Agenda (Action Items)

a. Public Hearing: Agenda Westlake Shopping Center Expansion (119, 209, and 289 12th Street SW)

1. Recommendation of Preliminary Planned Unit Development (PUD)

2. Consideration of Resolution No. 01-24-24-01 – Site Plan Approval

City Planner Ken Roberts provided a background on the request for the Westlake Shopping Center Expansion. Roberts explained the applicant is requesting a Planned Unit Development for a second building on a lot and an increase in impervious surface area. The application included planned additional landscaping on the east side of the site to provide a light and noise buffer to neighborhoods. Roberts explained the challenges with the plan, including the future possible reconstruction of 12th Street and utility needs.



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Dawn Bugge, C.D. Admin Assistant

Wednesday, January 24, 2024

7:00 PM

City Center - Council Chamber

City Planner Roberts explained that there was a community meeting held at City Hall on January 10th. One resident expressed concerns about the project. Concerns included the noise, increased traffic and speeding, and extra wear and tear on the street. The developer addressed these comments and proposed additional landscaping on the east side of the shopping center to buffer the noise. Roberts stated that the proposals meet the requirements with conditions and the City Staff recommend approval of the Planned Unit Development and Site Plan. The City Staff recommends the public easement along the City streets be increased to 15 feet to ensure there is room for underground utilities and future pedestrian improvements.

Commissioner Young stated that the cut-through on Broadway Avenue would be a unique experience and questioned whether the developer would reduce opportunities. This is a significant entrance for members of the community. Commissioner Young shared that 15 feet of additional right-of-way was encouraging to allow for at least six-foot sidewalks and questioned how the City can guarantee the landscaping is brought forward.

City Planner Roberts explained that the proposed landscaping improvements is a part of the overall Planned Unit Development and will be written into site improvements and development agreements.

Commissioner Larson asked how much the retention pond and underground holds apart from the site. City Planner Roberts stated that the retention pond is for the site, but the project engineer can confirm this information.

Brian Holder, 8816 Six Forks Road, Raleigh, North Carolina, represents the Rivercrest Realty Investors team. Mr. Holder proposed to eliminate parking lot cut-throughs by installing signage and landscaping.

Commissioner Young suggested incorporating removable speedbumps in the parking lot area.

Arik Lokensgard, representing Kimley Horn, the project engineer, 14800 Galaxy Avenue, Apple Valley, shared that the proposed holding pond is two to three feet deep. There was not enough room on the site for a larger pond. One-half of the site's stormwater is stored through the holding pond and the other half of the stormwater is stored underground.

Mr. Holder explained this project allows enhancement to the shopping center.

Commissioner Larson asked if there were any tenants interested in the building. Mr. Holder shared that one interested tenant is a Five Below. This site is across the street from a highly grossing Walmart.



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Dawn Bugge, C.D. Admin Assistant

Wednesday, January 24, 2024

7:00 PM

City Center - Council Chamber

Public Hearing was opened at 7:38 p.m.

Holly Hollenkamp, 843 2nd Avenue SW, asked for guarantees on the signage. The resident requested a dead-end sign for the stop sign on their street and shared that there is an issue with traffic behind the businesses.

Jamie Deitchman, 56 7th Street NW, recommended the developer add a turn-lane along 3rd Street to encourage individuals to use additional entrances. Mr. Deitchman encouraged installing a curb on 12th Street to prevent drivers from turning left out of Walmart for driver safety.

Public Hearing was closed at 7:44 p.m.

Motion: Commissioner Young made a Motion to recommend Approval of the Preliminary Planned Unit Development (PUD) Plan for the West Lake Shopping Center located at 119, 209, and 289 12th Street SW subject to the six conditions of approval as listed in the staff report.

Motion seconded by Chair Girard. Motion failed 1-3 (Girard, Miller, and Larson voted against).

Commissioner Young requested the developer provide a 15-foot easement with the Planned Unit Development.

Chair Girard asked how this change would impact the parking lot options.

City Planner Roberts stated the intent of how the easement was written was to be a total of 15 feet, not an additional 15 feet on both streets.

Community Development Director Abbi Wittman shared that if there was additional right-of-way above the 15 feet there might be unintended consequences for the City. There are no active construction plans to justify an additional 15-foot easement request.

Motion: Commissioner Miller made a Motion to recommend Approval of the Preliminary Planned Unit Development (PUD) Plan for the West Lake Shopping Center located at 119, 209, and 289 12th Street SW subject to the six conditions of approval as listed in the staff report plus the changes to Condition #3 as discussed.

Motion seconded by Commissioner Larson. Motion passed 3-1 (Young voted against).

Chair Girard noted that this item will go before the City Council for final action.

Motion: Commissioner Miller made a Motion to recommend Approval of Resolution No. 01-24-24-01 Site Plan Approval subject to the 26 conditions of approval as listed in the staff report



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Dawn Bugge, C.D. Admin Assistant

Wednesday, January 24, 2024

7:00 PM

City Center - Council Chamber

Motion seconded by Commissioner Larson. Motion carried 4-0.

Chair Girard noted that this item will go before the City Council for final action.

7. Staff Updates

Chair Girard shared that the Planning Commission has two vacant seats after Justin Brink resigned from their position.

Councilmember Roberts thanked the Planning Commission for their time and investment and noted there was a change with the City Administrator position.

Commissioner Young requested that Community Development Director Wittman speak to the Planning Commission regarding the additional finances discussed at the last City Council meeting.

Development Director Wittman provided the Commission with City updates on the following:

- Interim City Administrator Kristina Handt encouraged the Planning Commission to reach out.
- There is a public open house on February 6 from 4:30 to 6:30 p.m. at City Hall on the topic of the proposed 11th Avenue Southwest (County Road 32) reconstruction project.
- There are four or five applications for vacancies on the Planning Commission.
- City Planner Roberts and Development Director Wittman will meet with Met Council staff to discuss the potential for a City-initiated comprehensive plan amendment to correct discrepancies in several tables based on previous high-density approvals.
- The State adopted a metropolitan-wide tax to provide affordable housing aid to cities. Forest Lake will receive funding for the next four years for specific usages. Community Development Director Wittman will start discussions to establish how to use the funds. There is a gap in housing programs and funding for individuals making 80 to 110 percent of the Area Median Income. Community Development Director Wittman will review the Area Median Incomes for exploration and data analysis to determine housing affordability.

Commissioner Young asked if properties that requested variances that have not broken ground yet have a time limit for their projects. Community Development Director Wittman will review these variances and provide an update at the next meeting.

8. Adjourn

Motion: Commissioner Young made a Motion to Adjourn the meeting at 8:19 p.m.

Motion seconded by Commissioner Larson. Motion carried 4-0.



Date: February 28, 2024

To: City of Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: Site Plan Review – Proposed Dental Clinic

Applicant and Owner: Chad Wynia

Location: East side of Centennial Drive, north of 11th Avenue SW.

Zoning District: MU-2 (General Mixed-Use District)

Comprehensive Land Use Plan: Downtown Mixed Use

60-Day Deadline: March 9, 2024

Introduction-Background

Mr. Chad Wynia, representing the property owner Wynco Properties, LLC, has applied to the City for Site Plan approval for a new dental clinic. Specifically, he is proposing to construct a new 5,782 square-foot dental clinic building and associated parking in the undeveloped area on the east side of Centennial Drive north of the existing Century Link facilities located at 91 11th Avenue SW.

Such a project requires City approval of the project site and design plans. Please see the attached project narrative, maps and project plans for more information about this application.

Discussion

Zoning and Land Use Review

The property in question is 1.4 acres. The City has zoned all the area between Centennial Drive and Lake Street South (Highway 61) MU-2 (General Mixed Use). Offices and medical uses are permitted uses in the MU-2 Zoning District. Forest Lake's 2040 Comprehensive Plan states the purpose of the Downtown Mixed Use area "is to provide areas, for compact, walkable mixed use development in the heart of Forest Lake." The Comprehensive Plan also states, "this district permits a range of retail, office, service and multi-family residential uses with residential densities between 20 to 30 units per acre." The proposed dental clinic building is a permitted use and will be consistent with the Downtown Mixed Use Land Use designation for the property.

Site Plan and Design Review

City staff reviewed the proposed site improvements against the Design Standards established in City Code Section 153.335 for conformance with requirements in the General Mixed Use (MU-2) District. An assessment of conformity is below:

Setbacks and Building Location

The project plans show the new building located near the center of the property. The owner-applicant has designed the proposed 5,782 square-foot building and associated parking for the dental clinic around an existing wetland while meeting all required setbacks. The building would be 63 feet from the western property line, 111 feet from the eastern property line and 51 feet from the north and south property lines.

Requirement			Existing	Proposed
Building Setbacks	Front	20 feet from Centennial Drive ROW	N/A	63 Feet
	Side	0 feet	N/A	51 Feet
	Rear	0 feet	N/A	111 Feet
Building Height		4 stories or 45 feet		31 Feet
Maximum Impervious Surface		80 percent	N/A	44.1 percent

The proposed site plan for the new building meets all requirements found in the MU-2 zoning district.

Parking – The number of off-street parking stalls the City requires for a particular use are outlined in City Code Section 153.133. For a dental clinic, the City Code specifies there be at least six off-street parking spaces per dentist. As noted in the project narrative, the clinic will usually have 3 dentists plus a support staff of 18 people working at any one time. The project plans show 44 off-street parking spaces, which is three more parking spaces than the 41 spaces they would expect to need for the size of their facility. The proposed parking lot conforms to the City parking area design requirements including the following: location of the bituminous parking area, curbing and stormwater management, drive aisle and parking space dimensions, striping and lighting.

Access – The project plans show the parking area for this new building accessing Centennial Drive with one 30-foot-wide driveway for ingress and egress. The size and the location of the proposed driveway is acceptable to the City.

Wetland – There is a 0.27-acre (11,761 square feet) wetland that is primarily on the northern part of the property. The Rice Creek Watershed has approved the size and shape of the delineated wetland. The project designers are proposing to place the new building near the center of the site just south of the existing wetland. This design allows for off-street parking to be placed in front of the building and along the south side of the building while preserving most of the existing wetland.

The project plans show an area of about 354 square feet of impact (disturbance) to the existing wetland on the rear of the proposed building. The applicants have submitted the project plans to the Rice Creek Watershed for their review and approval.

Tree Removal – The aerial photo of the project area and the project plans show most of the property covered with trees and underbrush. The applicant’s project submittal noted 14 large cottonwood trees on the 1.4-acre property ranging in size from 20 to 31.5 caliper inches around that are in either fair or good condition. The City Code defines cottonwood trees as a soft deciduous tree and defines significant trees as “a healthy tree measuring a minimum of 6 caliper inches for all hardwood deciduous trees, a minimum of 20 caliper inches for all softwood deciduous trees, or a minimum of 12 feet in height for all coniferous trees.”

The City Code does not require a Woodland Preservation plan for project sites less than three acres in size. However, the City encourages applicants and developers of all project sites to design their development to preserve significant trees and woodlands and to minimize damage to significant trees and woodlands. The goal of such site design is to determine the most feasible and practical placement of buildings, parking, driveways, streets, storage, and other physical features so the fewest significant trees and woodlands are destroyed or damaged.

Because of the existing wetland on the property, the applicant had few options for the placement of the building, storm water ponding areas, driveway and parking areas on the site. It is City staff’s opinion that the proposed site design, while requiring the removal of several of the large cottonwood trees on the property, is a reasonable plan for the development of this property.

Landscaping – Minimum landscaping requirements are established in City Code Section 153.232. An assessment of required vs. proposed plantings for the site of the new building is below:

Planting requirements	New Building Site Perimeter = 997 Lineal Feet			
	Required	Existing	Proposed	Missing/Short
Overstory Trees	33	0	7	26
Understory trees/shrubs	100	0	136	N/A

The proposed landscaping plan for the site (dated February 8, 2024) details three varieties of trees for the seven proposed trees considered to be overstory trees. The seven proposed overstory trees do not meet the City requirement of planting at least 33 trees for this site. The proposed landscaping plan also shows the potential for planting of another five trees depending on the final grades and soil conditions in those locations.

As noted in the table above, the proposed landscape plan for the project site includes 136 understory trees and shrubs, 36 more than the 100 plants required by the City Code. The landscape plans also show the planting of a variety of shrubs and perennials in the area between the parking lot and the sidewalk along Centennial Drive to meet the City screening requirements for parking areas.

City staff are aware it may be challenging for the applicant to plant 33 overstory trees on the property while meeting all City requirements and while keeping the new trees out of the existing wetland and the proposed storm water ponds. The goal of the City is to have a development with professional landscape design and installation with trees and plantings of a high-quality and quantity of plant materials. In all cases, City staff expect the landscaping of a new development to complement the project site, the existing natural features and existing development on adjacent parcels. In summary, the proposed and expected landscaping, with the changes recommended by City staff, should substantially conform with City landscaping standards and they will meet the intent of the landscaping design requirements found in

Section 153.233 by “*increasing and maintaining property values; preventing or reducing soil erosion, sedimentation, and storm water runoff; improving air quality and reducing noise pollution. . .*”

Landscape Irrigation – Section 153.235 (D) (5) of the Code requires the installation of an irrigation system for landscape areas as may be determined by a landscape architect. The proposed project plans do not show irrigation for any of the proposed landscape areas. The applicant should revise the project plans to show irrigation in the landscape areas that will need it to help ensure the plantings will survive and thrive. If the applicant wants to revise the landscape plans to show areas with plant materials that require little or no water as part of a sustainable design and thus will not need irrigation, they can submit the revised landscape plans to the City for approval.

Lighting Plan – The City has established exterior lighting standards in City Code Section 153.185. The applicant’s proposed lighting plan shows four free standing light poles in the new parking area and eight bollards with lights along the sidewalk adjacent to the building. The proposed lighting plan is not consistent with City standards for exterior lighting. The proposed lighting is shown to be up to 0.8 foot-candles in strength along the south property line, which would be more intense than the City Code standard of a maximum of 0.4-foot candles or less at the property line. The height of two freestanding lighting poles is shown to be 22 feet which is lower than the maximum allowed height of 25 feet.

Staff is recommending the applicant submit to the City a revised lighting plan that meets all City standards before the City issues any permits for the project.

Trash Enclosure – The applicant is proposing to have an exterior trash enclosure on the south side of the building adjacent to the north side of the parking lot. The proposed location appears to be outside of public easements and utility areas and required setbacks. The City Code requires the developer to construct the enclosure with durable, high-quality materials matching the principal structure. As shown on the project architectural plans, the trash enclosure would be constructed of faux stone and wood-look hardy siding that match the colors and materials of the principle building thus meeting the requirements of the City Code.

Signage – The architectural plans submitted by the applicant show three signs for the new building. They include a monument (freestanding) sign near the driveway, a sign near the front entrance of the building and a wall-mounted sign on the east elevation of the trash enclosure. The proposed signage totals are:

Signage Table	Sq. Ft. per Wall Face		Number of Signs	
	Permitted	Proposed	Permitted	Proposed
Northwest Elevation	264 sq. ft.	0 sq. ft.	0	0
Southwest Elevation	264 sq. ft.	40-50 sq. ft.	1	1
Southeast Elevation	264 sq. ft.	0 sq. ft.	0	0
East Elevation (Enclosure)	264 sq. ft.	32 sq. ft.	1	1

The City Code allows commercial properties to have two wall signs and one freestanding sign no larger than 100 square feet. The Code also requires the freestanding sign to have a setback of at least 10 feet from the public street right-of-way. The wall signs will each require a sign permit issued by the City and the proposed monument (freestanding) sign will require City approval of a sign permit and a building permit.

Public Infrastructure Connections

The site is currently served by public sanitary sewer and by public water. The applicant is proposing to extend private sanitary sewer and City water services into the project site from the existing public utilities in Centennial Drive. The City Engineer will need to review and approve the final construction plans for the extensions of the public utilities and services.

Building Design

Minimum Design Standards

Visual Interest – The proposed dental clinic building meets the requirements in Sec. 153.335 (K) by using the following building design criteria:

- Architectural detailing, such as cornice, awning, parapet or columns;
- A visually pleasing primary front entrance that, in addition to doors, shall be accented a minimum of 150 square feet around the door entrance for single-occupancy buildings and a minimum of 300 square feet total for the front of multi-tenant buildings (this area shall be counted as one element);
- Contrasting, yet complementary, material colors;
- A combination of horizontal and vertical design features;
- Having an irregular building shape;
- Using horizontal offsets of at least four feet in depth; and
- Having vertical offsets in the roofline off at least 4 feet.

Major Exterior Finishes – The proposed exterior building materials shown on the project plans include a mix of asphalt shingles, board and batton siding, faux stone and finished corrugated siding. The façade materials on the southwest (front) side of the building consist of several surfaces, including glass windows and doors, some of which are considered accent materials as described below.

Accent Materials – All elevations of the proposed building include a variety of architectural elements such as faux stone, metal soffits and fascia, architectural corrugated panels and wood-look siding. None of these materials exceed a maximum of 25% of the surface for each façade. Staff has determined the proposed elevations are consistent with the intent of the City's design standards for buildings in the MU-2 zoning district.

Restricted Materials – The proposed building elevations do not contain restricted materials.

Staff/Partner Agency Comments

City Engineer Comments:

The City Engineer provided the City with a review memo dated January 23, 2024, with comments about the initial project plans for this proposal. Most of his comments appeared technical in nature and required the project engineer and the landscape designer to make changes to the plans or to add notes to the project plans. City staff shared these comments with the project design team.

In response to the City Engineer's review comments, the applicant's design team revised the project plans. City staff received an updated set of project plans dated February 7, 2024, for the proposed development. The City Engineer provided the City with review comments on the updated plans and found they are substantially in compliance with City standards and requirements.

Public Works Director Comments:

Public Works Director Adams' comments have been incorporated in the City Engineering Memo.

Fire Chief

City staff provided the Fire Chief with the proposed development information and plans, but he did not have any comments.

Rice Creek Watershed Comments:

The applicant submitted an application and plans to the Rice Creek Watershed District for their approval and permitting. The Watershed District has given the project conditional approval subject to the applicant finalizing the project plans and meeting other Watershed District conditions. This project must receive proper approval and permitting from the Watershed District before the City will issue any permits for this project.

Site Plan Considerations for Approval

City Code Section 153.038(E)(6) provides the following criteria for the Planning Commission to consider when evaluating whether to approve a site plan review request. Staff assessment is provided in *italics*.

- a) Consistency with the City Comprehensive Plan;

The proposed use and site plan are consistent with the City's adopted 2040 Comprehensive Plan.

- b) Compliance with the Zoning Ordinance;

The proposed use and site plan will be consistent with the City's adopted zoning ordinance with the exceptions noted in this report.

- c) The preservation of the site in its natural state to the extent practicable by minimizing tree loss, soil removal, and grading;

The proposed site development will alter the natural state of the property as it requires the removal of most of the trees on the property. The proposed development preserves most of the existing wetland on the property. In addition, the project will "clean-up" the property by removing the dead trees and underbrush and installing a new building with new landscaping and parking areas and a storm water management system that meets current City and Watershed District standards.

- d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulations; and

The site plan will be consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like with the changes as recommended by City staff.

- e) The protection of adjacent and neighboring properties.

City staff does not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan.

Findings & Staff Recommendation

The proposed use and site plan are consistent with the City's adopted 2040 Comprehensive Plan and the proposed dental clinic building, site plan and improvements will be generally consistent with the MU-2 (General Mixed Use) zoning designation and standards for the property. The proposed plan will be consistent with the City requirements for traffic circulation, parking, yard areas, screening, lighting, and the like with the changes as recommended by City staff.

As proposed, the site development will not detract from existing development in the area, will be compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities. In summary, staff finds that, with proper conditions, the applicant's proposed development will conform to the plans, policies, and standards set forth by the City.

Recommendation

City staff recommends the Planning Commission move to **approve Resolution 02-28-24-01**. This Resolution is for the approval of the site and design plans for the proposed dental clinic building for the vacant property located on the east side of Centennial Drive, north of 11th Avenue SW (PID: 08-032-21-43-0018). **This approval shall be subject to the following conditions as proposed staff:**

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1241.
2. The applicant/owner shall develop the site in substantial conformance with the following plans and review comments as approved by the City that are on file with the Community Development Department as part of Case No. PZ 24-1241, except as may be modified by the conditions of approval here:

a.	Alta Site Survey	Sheet 1	Dated December 19, 2023
b.	Title Page	Sheet A0.1	Dated February 7, 2024
c.	Site Demolition Plan	Sheet C100	Dated February 7, 2024
d.	Paving and Dimension Plan	Sheet C200	Dated February 7, 2024
e.	Grading Plan	Sheet C300	Dated February 7, 2024
f.	Erosion Control Plan	Sheet C301	Dated February 7, 2024
g.	Utility Plan	Sheet C400	Dated February 7, 2024
h.	Details	Sheet C500	Dated February 7, 2024
i.	Details	Sheet C501	Dated February 7, 2024
j.	Details	Sheet C502	Dated February 7, 2024
k.	SWPPP	Sheet C600	Dated February 7, 2024
l.	SWPPP	Sheet C601	Dated February 7, 2024

m.	Landscape Plan	Sheet a01	Dated February 8, 2024
n.	Landscape Plan	Sheet a02	Dated February 8, 2024
o.	Landscape Plan	Sheet a03	Dated February 8, 2024
p.	Exterior Lighting Plan		Dated December 04, 2023
q.	Proposed Site Plan	Sheet A1.0	Dated February 7, 2024
r.	Site Dimention Plan	Sheet A1.1	Dated February 7, 2024
s.	Trash Enclosure Plans	Sheet A1.2	Dated February 7, 2024
t.	Floor Plan	Sheet A2.0	Dated February 7, 2024
u.	Proposed Building Elevations	Sheet A3.0	Dated February 7, 2024
v.	Proposed Building Sections	Sheet A4.0	Dated February 7, 2024

3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
4. The requirements of the City Engineer (as noted in his review memos dated January 23, 2024 and February 7, 2024), Public Works Director and the Fire Chief must be met before or during the construction and development of this project.
5. The applicant or owner shall receive all approvals and permits from the City, the Rice Creek Watershed District, the Minnesota Department of Labor and Industry (DOLI), and any other State or any other regulatory agencies before starting any demolition, tree removal, grading or construction activity.
6. The landowner shall enter into a site improvement agreement for the project. The agreement shall include all required financials and charges including, but not limited to:
 - Letter of Credit for the cost of the design and installation of the proposed and required improvements and landscaping.
 - Water System Trunk Area Charges (WTAC), Sanitary Sewer Trunk Area Charges (SSTAC), Stormwater Trunk Area Charges (STAC) (Collected by the City at the time of the Improvement Agreement).
 - Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sanitary Sewer Fee. (Collected by the City at the time of Building Permit issuance).

This agreement shall be completed and recorded at Washington County before the applicant or contractor starts any grading or construction activity on the site. The City shall not release the building permit until the Site Improvement Agreement is executed.

7. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the review and approval process, shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
8. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Developer for all outstanding invoices related to the project.
9. The City shall not release the building permit until the Site Improvement Agreement is fully executed and recorded.
10. The applicant or developer shall revise the final project plans to show all existing, proposed and required drainage and utility easements.
11. All required documents shall be recorded at Washington County at the applicant's expense.

12. Prior to the City issuing a building permit for the construction of the dental clinic building, the applicant shall revise the project site plan(s) to show all public drainage and utility easements on all project plans.
13. The building materials for the dumpster enclosure and gate shall be quality materials consistent with the style and colors of the principal structure. The gates of the enclosure shall be constructed with solid materials such as cedar planks or other solid wood. The applicant or contractor shall submit details of the enclosure in conjunction with the building permit application submittal and City staff shall review and approve these plans before the City issues a building permit for the project.
14. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
15. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on Centennial Drive SW.
16. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. A certificate of survey and a revised, detailed grading and drainage plan with the building permit for City approval.
 - b. An exterior lighting plan meeting the City's standards for exterior lighting in the MU-2 zoning district including not exceeding 0.4-foot candles at any property line.
 - c. The height of any the freestanding lighting poles shall not exceed 25 feet.
 - d. All exterior light fixtures shall be downlit and/or shielded to prevent glare.
 - e. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - f. The use of native plantings in the new landscape areas that are tolerant to harsh conditions.
 - g. Additional tree and shrub planting wherever possible on the property that will not be in easements and will not interfere with the function or maintenance of the proposed storm water ponds.
 - h. The concrete sidewalk along the front of the building and adjacent to the parking lot shall meet American with Disabilities (ADA) standards. The sidewalk shall be wide enough to ensure vehicles parking adjacent to it do not overhang the sidewalk in a manner that could obstruct pedestrians from using the sidewalk.
17. If the project requires retaining walls greater than four feet in height, the owner or applicant must have said walls designed by an engineer and the City requires the owner or applicant to get a building permit for any such retaining walls.
18. The applicant or contractor shall hold a preconstruction meeting before starting any construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
19. The Fire Chief shall approve the location for the required fire hydrant on the site.
20. The project engineer shall provide the City with as-built plans for review and approval of the new and removed public utilities.

21. All signs require City approval of a sign permit issued by the City before the contractor installs the signs. The monument sign proposed for along Centennial Drive SW requires a City sign permit and a City building permit.
22. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the applicant or owner to obtain City approval of an amendment of this Site Plan approval and possibly City approval of a variance or a Planned Unit Development (PUD).
23. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
24. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Applicant's Project Narrative
2. Location Map
3. Property Line Map
4. Aerial Photo
5. Boundary Survey
6. Project Civil Design Plans dated February 7, 2024 (10 pages)
7. Project Landscape Plans dated February 8, 2024 (3 pages)
8. Photometric Plan dated 12-4-2023 (1 page)
9. Project Architectural Plans dated February 7, 2024 (6 Pages)
10. Resolution 02-28-24-01 (approving site design plans)



Wynco Properties

Narrative

Wynco Properties is submitting a site plan for a newly subdivided parcel located on the Northeast corner of 11th Ave SW and Centennial Drive SW. The parcel for development is called out as Parcel B, in the Survey. Parcel B is 1.4 Acres in size and has some woodland wetlands on the verry north side of the parcel. This wetland runs off the north side of the parcel into the 9th Avenue SW Road right of way. The 9th Ave ROW is unimproved.

The existing lot is heavily wooded. The trees of significant size are all Cottonwood. Of the 14 existing trees, 6 of them are in fair condition. All of the living trees in the designated wetland are to be preserved. Due to the size of the parcel, a tree preservation plan is not required by city code.

Due to the number of existing trees, and the existing wetland vegetation that is to remain, a large portion of the parcel is to remain undeveloped. The tree planting requirements in the city code are based on the entire lot. Thus, adding the quantity of trees and plantings for the entire lot that are normally required by city code, to the southerly developed portion of the parcel would overplant the project. The Owner is asking for a variance on the normal amount of overstory trees required, in this instance.

With the Wetland being located primarily on the North side of the parcel. The Building Parking, and Sorm water has been placed to minimize the impact to the wetland. The Parking lots have been divided and placed on the North and Northwest Side of the parcel the Northerly parking is intended for staff and patients and the West lot is intended mostly for patients. The building is placed to be centered on the L shaped parking areas. Leaving space for two Storm water treatment ponds on the Northwest and the East side of the parcel. Rice Creek Watershed allows up to four hundred square feet of de-minimization of Woodland Wetland, per project. The de-minimization of the wetland is necessary to be done to fit on the developed area on the site.

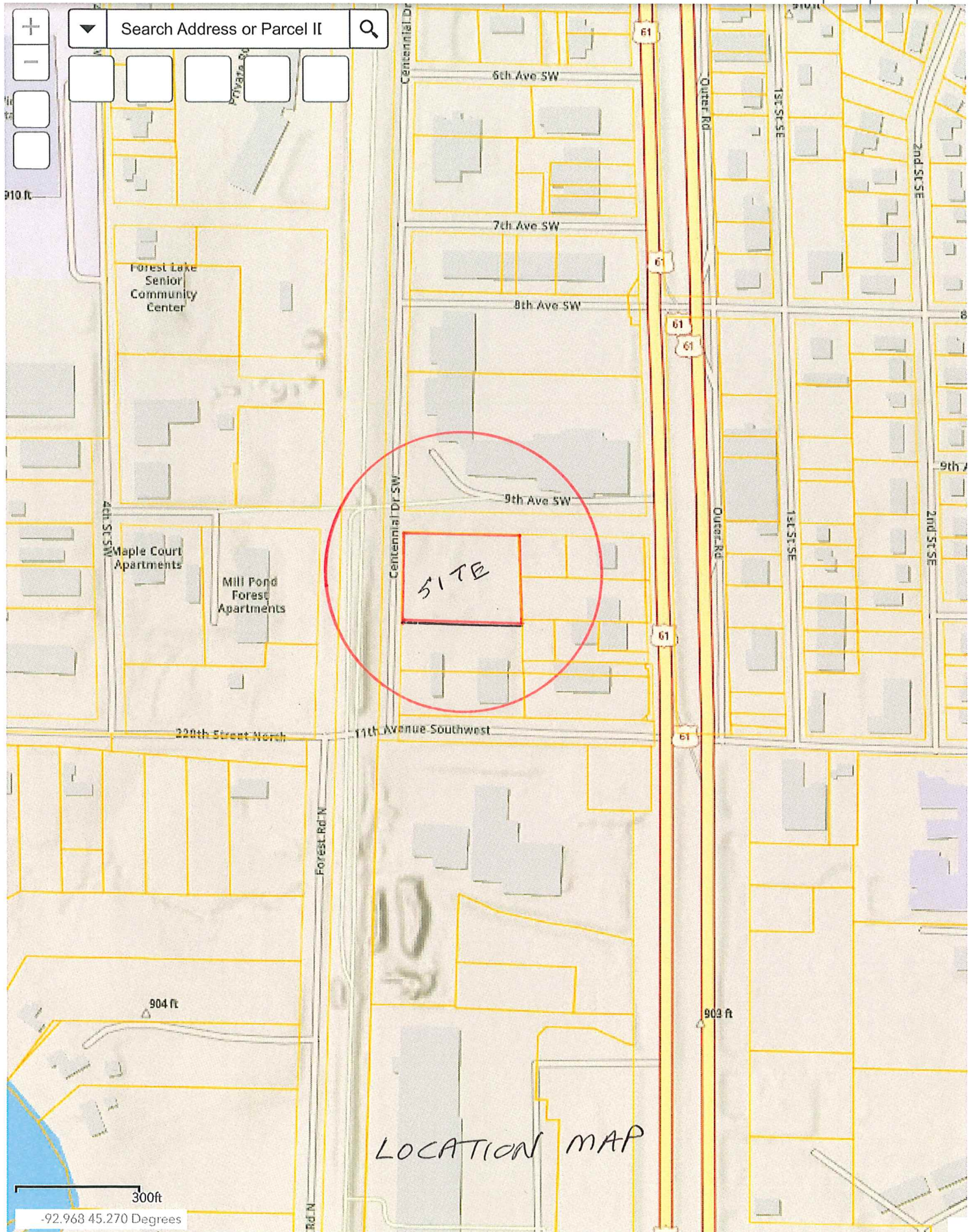
The building is intended to be used for a Dental practice with, 12 Operatories and one future operatory. The city code asks for 6 cars per dentist. During the busiest time this clinic will have 3 Dentists. The city code asks for 6 stalls / dentist, or 18 stalls. During a busy time, the clinic will require 3 dentists, plus a staff of 18. An industry “rule of thumb” for parking is 1.5 stalls per chair, or 20 cars for patients. The total number of staff and patients then reaches a need for 41 stalls. Forty-four stalls are shown. Based on experience, the owner is not comfortable with less than the 42 standard sized stalls and the 2 accessible stalls, as shown for this project.

The building is proposing a pitched shingled roof with larger overhangs. The building materials will all be natural in color. Stone, Hardy board lap siding, and a commercial wood grained vertical slatted metal system will make up most of the exterior building materials. The maximum height of the structure is to be 30’- 10”, which is below the maximum height allowed. Siding materials have been changed and the building massing has been broken up with elements and detailing that will add scale and interest to the exterior of the facility.

Parcel Viewer - Quick Access

Beta

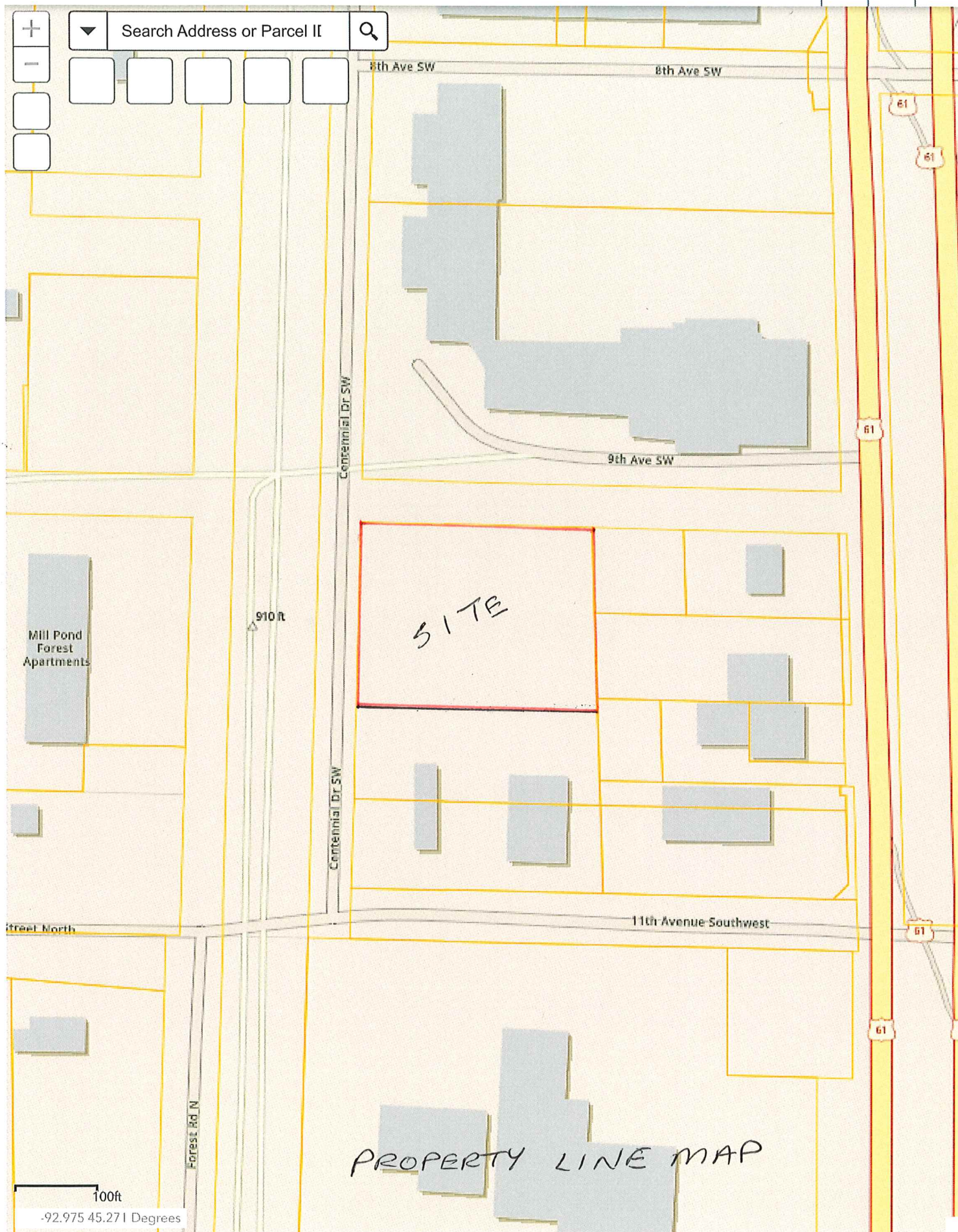
Washington County, MN



Parcel Viewer - Quick Access

Beta

Washington County, MN



Legend

-  City Limits
-  Parcels (11/1/2023)
-  Lot Lines
- Easement Lines**
 -  Computed Utility Drainage
 -  Conservation
 -  Scenic

ForestLake_2022.sid

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3


**Wynco Dental
Clinic Site**
**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

0 132 Feet

Legend

-  City Limits
-  Parcels (11/1/2023)
-  Lot Lines
- Easement Lines**
 -  Computed Utility Drainage
 -  Conservation
 -  Scenic

ForestLake_2022.sid

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3

**Wynco Dental
Clinic Site**

**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

CENTENNIAL DR SW

91

956

106

0 66 Feet



- # LEGEND
- | | | |
|-------------------------------|-------------------------------------|-------------------------|
| ● FOUND MONUMENT | — — — — — BOUNDARY LINE | - - - - - EASEMENT LINE |
| ⊙ FOUND CAST IRON MONUMENT | — — — — — RIGHT-OF-WAY LINE | - - - - - SETBACK LINE |
| ⊙ FOUND RIGHT-OF-WAY MONUMENT | — — — — — UNDERLYING / ADJACENT LOT | △ RESTRICTED ACCESS |
| ○ SET MONUMENT | TIE LINE | ~ ~ ~ ~ ~ TREE LINE |
| ○ MARKED LS 439933 | (100.00) SECTION LINE | ===== CONCRETE CURB |
| ⊕ GATE VALVE / HYDRANT | — I — WATERMAIN | ////// BUILDING LINE |
| ⊕ SANITARY MANHOLE | — D — SANITARY SEWER | ——— BUILDING CANOPY |
| ○ CLEAN OUT | — S — STORM SEWER | ■ BITUMINOUS SURFACE |
| ⊕ STORM MANHOLE | — U — UNDERGROUND ELECTRIC | ■ CONCRETE SURFACE |
| ⊕ STORM CATCH BASIN | — U — UNDERGROUND TELEPHONE | |
| ⊕ FLARED END SECTION | — U — UNDERGROUND GAS | |
| ⊕ TRANSFORMER | — OE — OVERHEAD ELECTRICAL WIRE | ⊙ DECIDUOUS TREE |
| △ LIGHT | — O — CHAIN LINK FENCE | ✱ CONIFEROUS TREE |
| ✓ GUY ANCHOR | — W — WOOD FENCE | ⊙ 999.9 SPOT ELEVATION |
| ⊕ UTILITY POLE | — W — WIRE FENCE | — 902 — CONTOUR |
| ⊕ GUARD POST | — WL — WET LAND | 57' 99.9 SOIL BORING |
| ⊕ SIGN | ===== RETAINING WALL | ⊕ REGULAR PARKING |
| ⊕ GAS METER | ===== BLOCK RETAINING WALL | ⊕ STALL COUNT |
| ⊕ GAS MANHOLE | ===== STONE RETAINING WALL | |
| ⊕ ELECTRIC MANHOLE | ===== POND / WATER LINE | ↖ ↗ TRAFFIC MARKERS |
| ⊕ ELECTRIC METER | FEMA FLOOD ZONE LINE | |
| ⊕ TELEPHONE PEDESTAL | | |
| ⊕ CABLE TV BOX | | |
| ⊕ COMMUNICATIONS MANHOLE | | |

All of Block Thirteen (13) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening.
AND
All of Block Sixteen (16) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening;
Also excepting the South sixty (60) feet also previously conveyed for Old Highway No. 1 widening.
Together with that part of vacated Tenth Avenue Southwest which may have accrued to said premises by reason of said vacation.

All of Block Thirteen (13) of WALKER AND GODDINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening. Also excepting the North 218 feet of said Block 13.
AND
All of Block Sixteen (16) of WALKER AND GODDINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening.
Also excepting the South sixty (60) feet also previously conveyed for Old Highway No. 1 widening.
Together with that part of vacated Tenth Avenue Southwest which may have accrued to said premises by reason of said vacation.

The North 218 feet of Block Thirteen (13) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening.

1. Subject property's address is 91 11th Street SW, its property identification number is 0803221430023.
2. The gross area of the subject property is 2.83 Acres or 123,143.39 Square Feet.
Parcel A: 1.43 Acres or 61,994.76 Square Feet
Parcel B: 1.40 Acres or 61,148.63 Square Feet
3. The subject property is zoned MU2 General Mixed Use District, per City of Forest Lake Zoning Map dated May 2021.
Setbacks per City of Forest Lake Zoning Code:
Front: 20 feet from public ROW and 30 feet from Highway 61
Rear: No setback required unless abutting residential, then 35 feet
Side: No setback required unless abutting residential, then 35 feet
Minimum Lot Size: 25,000 square feet
Lot width: 150 feet
4. The building(s) and exterior dimensions of the outside wall at ground level are shown on the survey. It may not be the foundation wall.

1. The bearing system is based on the Washington County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of North 88 degrees 37 minutes 12 seconds West for the South line of the Southeast Quarter, Section 8, Township 32, Range 21. The originating monuments utilized to establish the horizontal position of this survey was the south quarter corner and the southeast corner of said section.
2. Field work was completed on 4/12/2023.

SECTION 8, TOWNSHIP 32N, RANGE 21W,
WASHINGTON COUNTY, MINNESOTA

[illegible]

Print Name: Mark R. Salo



Date 7/5/2023 License # 43933

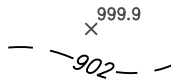
DRAWN BY BA
DESIGNED BY
CHECKED BY MS
PROJECT NO.



WYNCO PROPERTIES
FOREST LAKE LOT SPLIT
91 11TH AVE. SW
Forest Lake, MN.

SHEET
1
OF 2
REV.



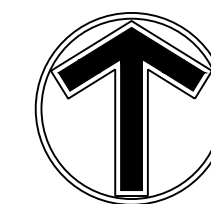
- ## LEGEND
- | | | |
|-------------------------------|---------------------------------|---|
| ● FOUND MONUMENT | — — — — — BOUNDARY LINE | - - - - - EASEMENT LINE |
| ⊙ FOUND CAST IRON MONUMENT | — — — — — RIGHT-OF-WAY LINE | - · - · - · SETBACK LINE |
| ⊙ FOUND RIGHT-OF-WAY MONUMENT | ····· UNDERLYING / ADJACENT LOT | △ RESTRICTED ACCESS |
| ○ SET MONUMENT | ····· THE LINE | ~~~~~ TREE LINE |
| ○ MARKED LS 43933 | — - - - - SECTION LINE | ===== CONCRETE CURB |
| ⊗ GATE VALVE / HYDRANT | (100.00) DEED DISTANCE | ////// BUILDING LINE |
| ⊙ SANITARY MANHOLE | — I — WATERMAIN | ===== BUILDING CANOPY |
| ⊙ CLEAN OUT | — P — SANITARY SEWER | ===== BITUMINOUS SURFACE |
| ⊙ STORM MANHOLE | — U — STORM SEWER | ===== CONCRETE SURFACE |
| ⊙ STORM CATCH BASIN | — UE — UNDERGROUND ELECTRIC |  DECIDUOUS TREE |
| ⊙ FLARED END SECTION | — UT — UNDERGROUND TELEPHONE |  CONIFEROUS TREE |
| ⊙ TRANSFORMER | — UE — UNDERGROUND GAS |  SPOT ELEVATION |
| ⊙ LIGHT | — O — OVERHEAD ELECTRICAL WIRE | — 92.2 — CONTOUR |
| ✓ GUY ANCHOR | — D — CHAIN LINK FENCE |  SOIL BORING |
| ⊙ UTILITY POLE | — W — WOOD FENCE |  REGULAR PARKING |
| ⊙ GUARD POST | — X — WIRE FENCE |  STALL COUNT |
| — SIGN | — WL — WET LAND |  TRAFFIC MARKERS |
| ⊙ GAS METER | ===== RETAINING WALL | |
| ⊙ GAS MANHOLE | ○○○○○ BLOCK RETAINING WALL | |
| ⊙ ELECTRIC MANHOLE | ○○○○○ STONE RETAINING WALL | |
| ⊙ ELECTRIC METER | ===== POND / WATER LINE | |
| ⊙ TELEPHONE PEDESTAL | ····· FEMA FLOOD ZONE LINE | |
| ⊙ CABLE TV BOX | | |
| ⊙ COMMUNICATIONS MANHOLE | | |

PARCEL A EASEMENT DESCRIPTIONS

The South 5 feet of the North 223 feet of Block Thirteen (13) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening,
AND
The West 5 feet of East 307 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, lying south of the North 223 feet of said Block 13
AND
The West 5 feet of East 307 feet of vacated 10th Avenue SW (FKA 18th Avenue per WALKER AND GOODINE'S ADDITION to the Village of Forest Lake) as drawn from a line starting at the southeast corner of Block 13 to the northeast corner of Block 16 of said plat.
AND
The West 5 feet of the East 307 feet of Block 16, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, lying north of the South 70 feet of said Block 16
AND
The North 10 feet of the South 70 feet of Block Sixteen (16) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening
AND
The West 10 feet of Block 16, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake
AND
The West 10 feet of vacated 10th Avenue SW (FKA 18th Avenue per WALKER AND GOODINE'S ADDITION to the Village of Forest Lake) as drawn from a line starting at the southwest corner of Block 13 to the northwest corner of Block 16 of said plat.
AND
The West 10 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, lying south of the North 223 feet of said Block 13.

PARCEL B DESCRIPTION

The North 10 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly 302 feet thereof
AND
The West 5 feet of the East 307 feet of the North 213 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the North 10 feet thereof
AND
The South 5 feet of the North 218 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake
AND
The West 10 feet of the North 213 feet of Block 13, WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the North 10 feet thereof.



NORTH

[illegible]

I hereby certify that this plan, survey, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Print Name: Mark R. Salo

Date 7/5/2023 License # 43933

DATE ISSUED
4/28/2023

DRAWN BY BA
DESIGNED BY
CHECKED BY MS
PROJECT NO.



EASEMENT SKETCH AND DESCRIPTIONS

WYNCO PROPERTIES
FOREST LAKE LOT SPLIT
91 11TH AVE. SW
Forest Lake, MN.

SHEET
2
OF 2
REV.



GENERAL

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

SYMBOL LEGEND

- REMOVE AND DISPOSE OF BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF CONCRETE PAVEMENT SECTION
- REMOVE AND DISPOSE OF ALL TREES, UNDERBRUSH, ROOTS, AND STUMPS.
- DEMINIS WETLAND (354 SF < 400 SF)
- APPROXIMATE SOIL BORING LOCATION

KEY NOTES

- 1 REMOVE AND DISPOSE OF BITUMINOUS PAVEMENT SECTION.
- 2 REMOVE AND DISPOSE OF CONCRETE PAVEMENT SECTION.
- 3 REMOVE AND DISPOSE OF CONCRETE CURB AND GUTTER.
- 4 POWER POLE AND GUY WIRE TO BE RELOCATED.
- 5 REMOVE AND DISPOSE OF ALL TREES, UNDERBRUSH, ROOTS, AND STUMPS.
- P PROTECT EXISTING UTILITY, CURB, SIDEWALK, ETC. DURING DEMOLITION AND THROUGHOUT THE CONSTRUCTION.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.
6. Contractor will be responsible for replacing any existing pavement, curb, walk or utilities damaged by construction activities.

TRAFFIC CONTROL NOTES

1. Contractor to block off section of Centennial Drive SW between 9th Avenue SW and 11th Avenue SW. Traffic control plan and Detour plan including "sidewalk closed" signs and pedestrian detour to be completed by contractor and approved by City.
2. All construction traffic shall access the site from the south via 11th Avenue SW. No construction traffic is allowed on Centennial Drive SW north of the project site.

GENERAL CITY NOTES

1. A preconstruction meeting is required to be held prior to any construction activity starting on site. The Owner shall invite representatives from the City, Watershed, and private utility Owners.
2. All construction shall be completed within City approved working hours.
3. All construction activity and material storage shall be contained within the site.
4. Street sweeping will be required within 24 hours if sediment is tracked off the site.

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsoneinc.com

© 2024 Larson Engineering, Inc. All rights reserved.

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

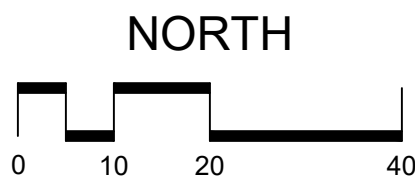
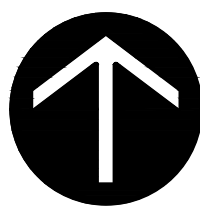
REVISIONS:

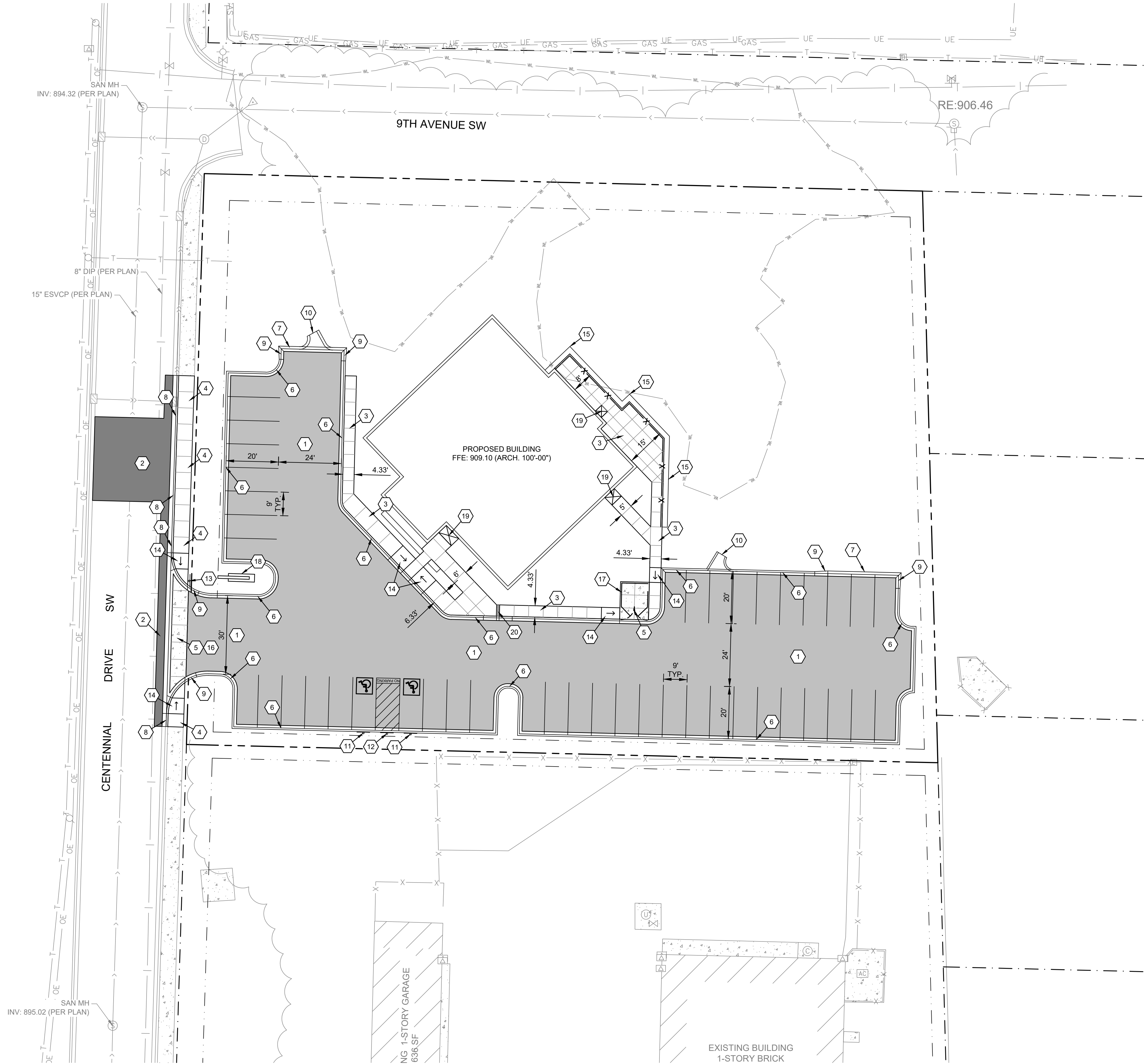
No.	Description	Date

WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT
FOREST LAKE, MN 55025

C100

DEMOLITION PLAN





GENERAL

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

SYMBOL LEGEND

- NEW BITUMINOUS PAVEMENT
DETAIL 1/C500
- MATCH EXISTING PAVEMENT SECTION (4" BITUMINOUS
(2 LIFTS), 12" CLASS 5, 24" SELECT GRANULAR BORROW
MODIFIED
- NEW CONCRETE PAVEMENT
DETAILS 2/C500 & 6/C502
- NEW HEAVY-DUTY
CONCRETE PAVEMENT
DETAIL 3/C500
- NEW STOOP
SEE ARCHITECTURAL/STRUCTURAL

NOTE: THE CONCRETE JOINTS ARE SHOWN ONLY FOR GENERAL REFERENCE TO SIGNIFY CONCRETE PAVEMENT. ACTUAL JOINTS SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS.

KEY NOTES

- 1 NEW BITUMINOUS PAVEMENT, DETAIL 1/C500
- 2 MATCH EXISTING PAVEMENT SECTION (4" BITUMINOUS (2 LIFTS), 12" CLASS 5, 24" SELECT GRANULAR BORROW MODIFIED
- 3 NEW MEDIUM-DUTY CONCRETE PAVEMENT, DETAIL 2/C500
- 4 NEW CITY SIDEWALK, DETAIL 6/C502
- 5 NEW HEAVY-DUTY CONCRETE PAVEMENT, DETAIL 3/C500
- 6 NEW B612 CONCRETE CURB AND GUTTER, DETAIL 4/C500
- 7 NEW SURMOUNTABLE CURB AND GUTTER, DETAIL 5/C500
- 8 NEW CITY B618 CURB AND GUTTER, DETAIL 1/C502
- 9 TRANSITION CURB (5' TYPICAL)
- 10 NEW CURB CUT, DETAIL 6/C500
- 11 NEW ADA PARKING SIGN, DETAIL 7/C500
- 12 NEW ACCESS AISLE SIGN, DETAIL 7/C500
- 13 NEW STOP SIGN (LOCATION PER MUTCD), DETAIL 5/C502
- 14 NEW ACCESSIBLE CURB RAMP, DETAIL 8/C500
- 15 NEW RETAINING WALL, DETAIL 9/C500
- 16 NEW CITY COMMERCIAL DRIVEWAY, DETAIL 2/C502
- 17 NEW TRASH ENCLOSURE, SEE ARCHITECTURAL
- 18 NEW MONUMENT SIGN, SEE ARCHITECTURAL
- 19 NEW STOOP, SEE ARCHITECTURAL/STRUCTURAL
- 20 NEW TRENCH DRAIN, DETAIL 10/C500

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsonegr.com



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

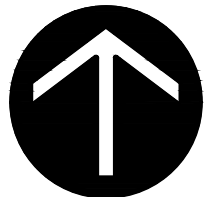
Project Number 12236140
Date xx.xx.24
Drawn By KBK

REVISIONS:

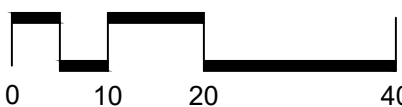
No.	Description	Date

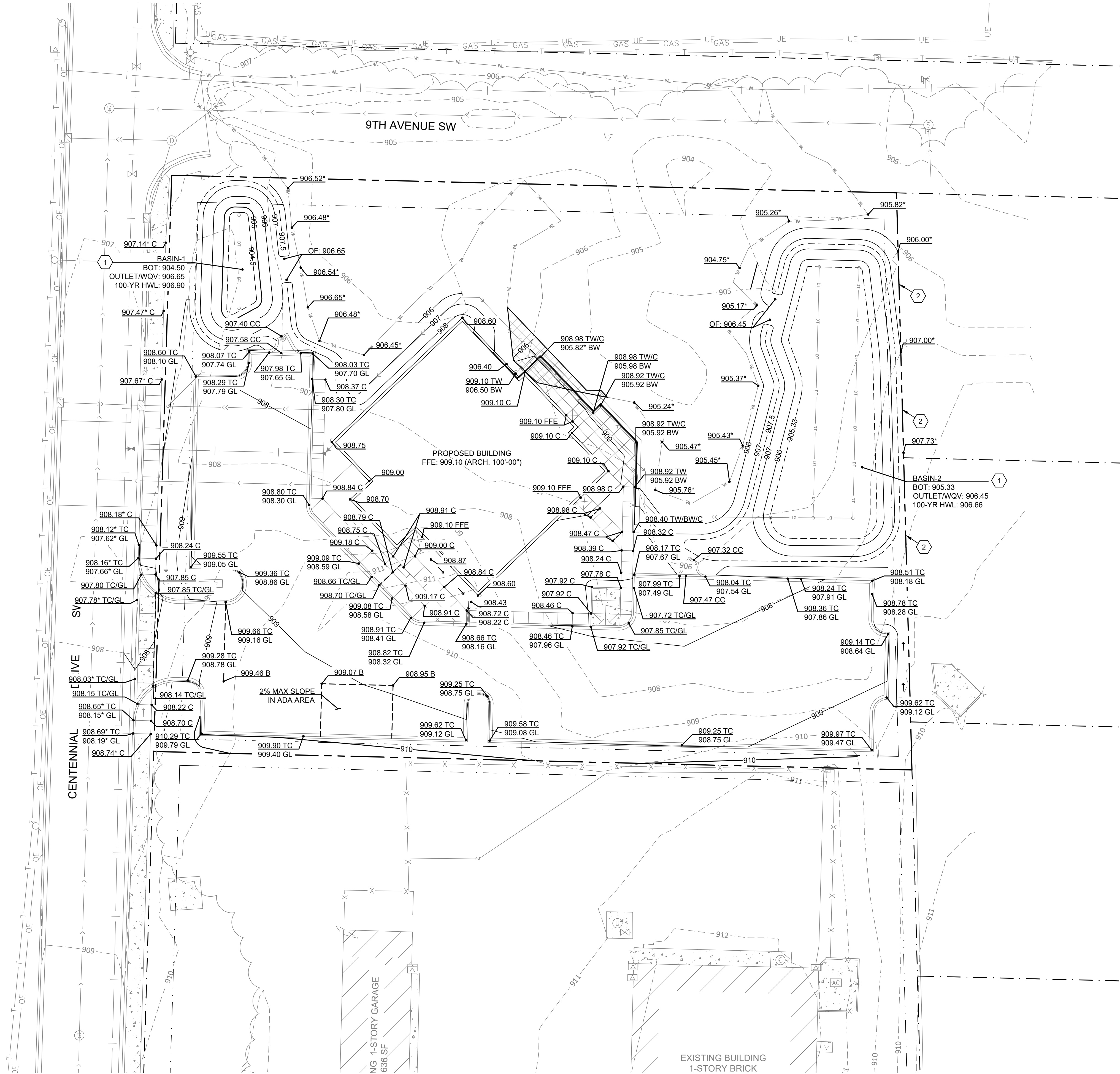
WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT
FOREST LAKE, MN 55025

C200
PAVING AND DIMENSION PLAN



NORTH





GENERAL

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

SYMBOL LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS - MAJOR INTERVAL
- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE
- SPOT ABBREVIATIONS:
 - TC - TOP OF CURB
 - GL - GUTTER LINE
 - B - BITUMINOUS
 - C - CONCRETE
 - CC - CURB CUT
 - OF - OVERFLOW
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (F/G)
 - (*) - EXISTING TO BE VERIFIED
- DE MINIMIS WETLAND AREA: 354 SF < 400 SF

KEY NOTES

- FILTRATION BASIN, DETAIL 9/C501
- ENSURE NO GRADING ACTIVITY BEYOND PROPERTY LIMITS

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- All disturbed areas to receive 4" of good quality topsoil and seed, unless otherwise noted.
- All construction shall be performed in accordance with state and local standard specifications for construction.

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsonegr.com



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

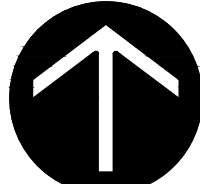
REVISIONS:

No.	Description	Date

WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT
FOREST LAKE, MN 55025

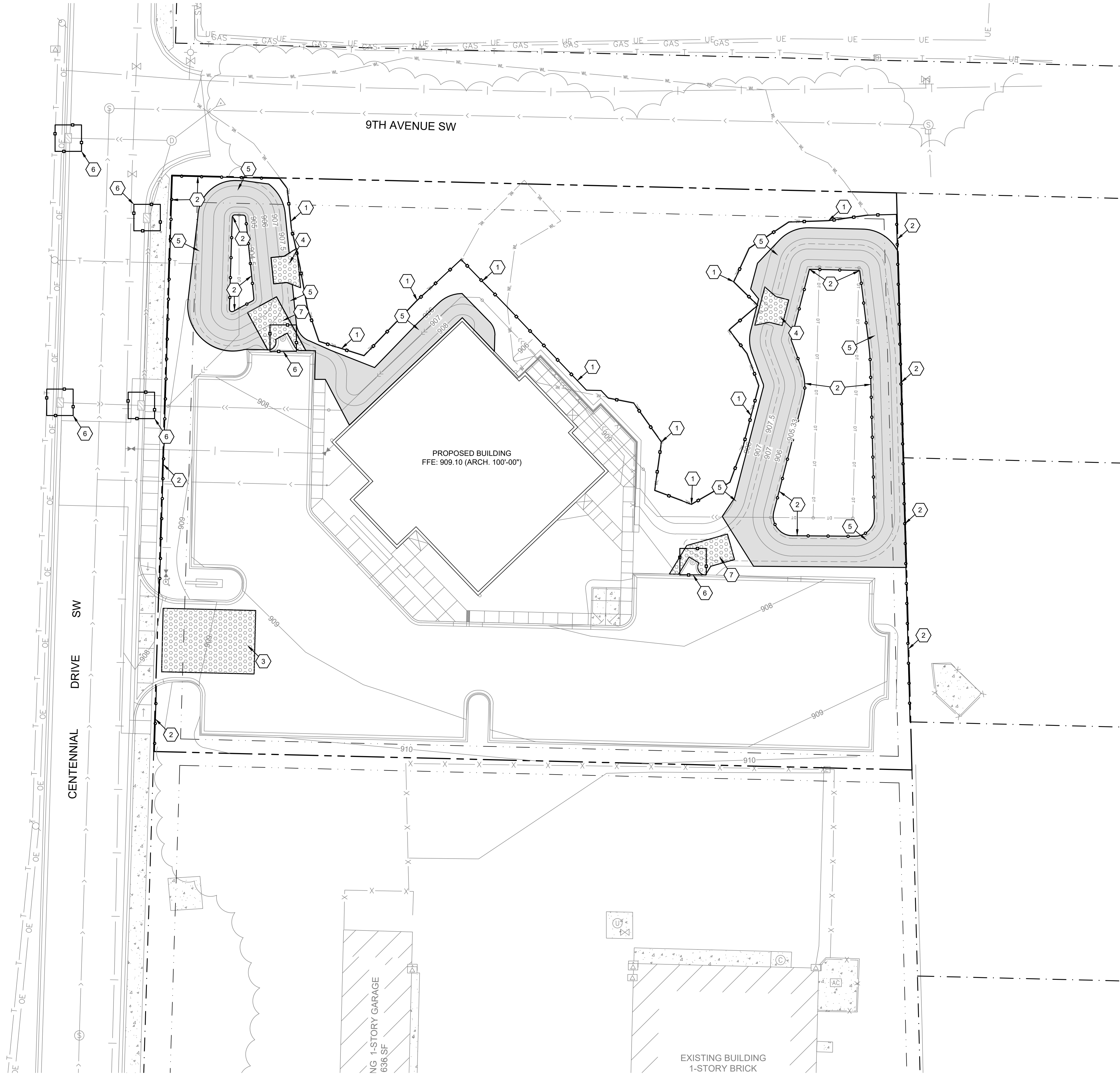
C300

GRADING PLAN



NORTH





GENERAL

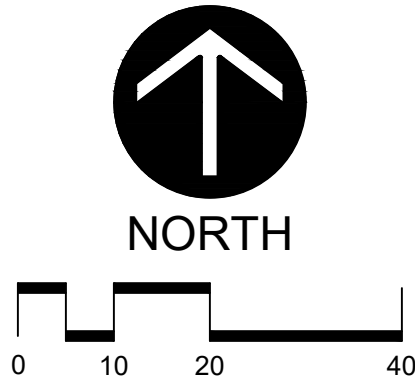
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE

SYMBOL LEGEND

- SILT FENCE, DETAIL 2/C501
- SEDIMENT LOG, DETAIL 5/C501
- RIP-RAP / ROCK CONST. ENTRANCE
DETAILS 6/C500, 1/C501, & 8/C501
- EROSION CONTROL BLANKET
DETAIL 4/C501
- INLET PROTECTION
DETAIL 3/C501

KEY NOTES

- 1 SILT FENCE, DETAIL 2/C501
- 2 SEDIMENT LOG, DETAIL 5/C501
- 3 ROCK CONSTRUCTION ENTRANCE, DETAIL 1/C501
- 4 RIP RAP AT OVERFLOW, DETAIL 8/C501
- 5 EROSION CONTROL BLANKET, DETAIL 4/C501
- 6 INLET PROTECTION, DETAIL 3/C501
- 7 CURB CUT RIP RAP, DETAIL 6/C500



2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson
Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsonengr.com

© 2024 Larson Engineering, Inc. All rights reserved.

I hereby certify that this plan,
specifications or report was prepared
by me or under my direct supervision
and that I am a duly licensed
Professional Engineer under the laws
of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

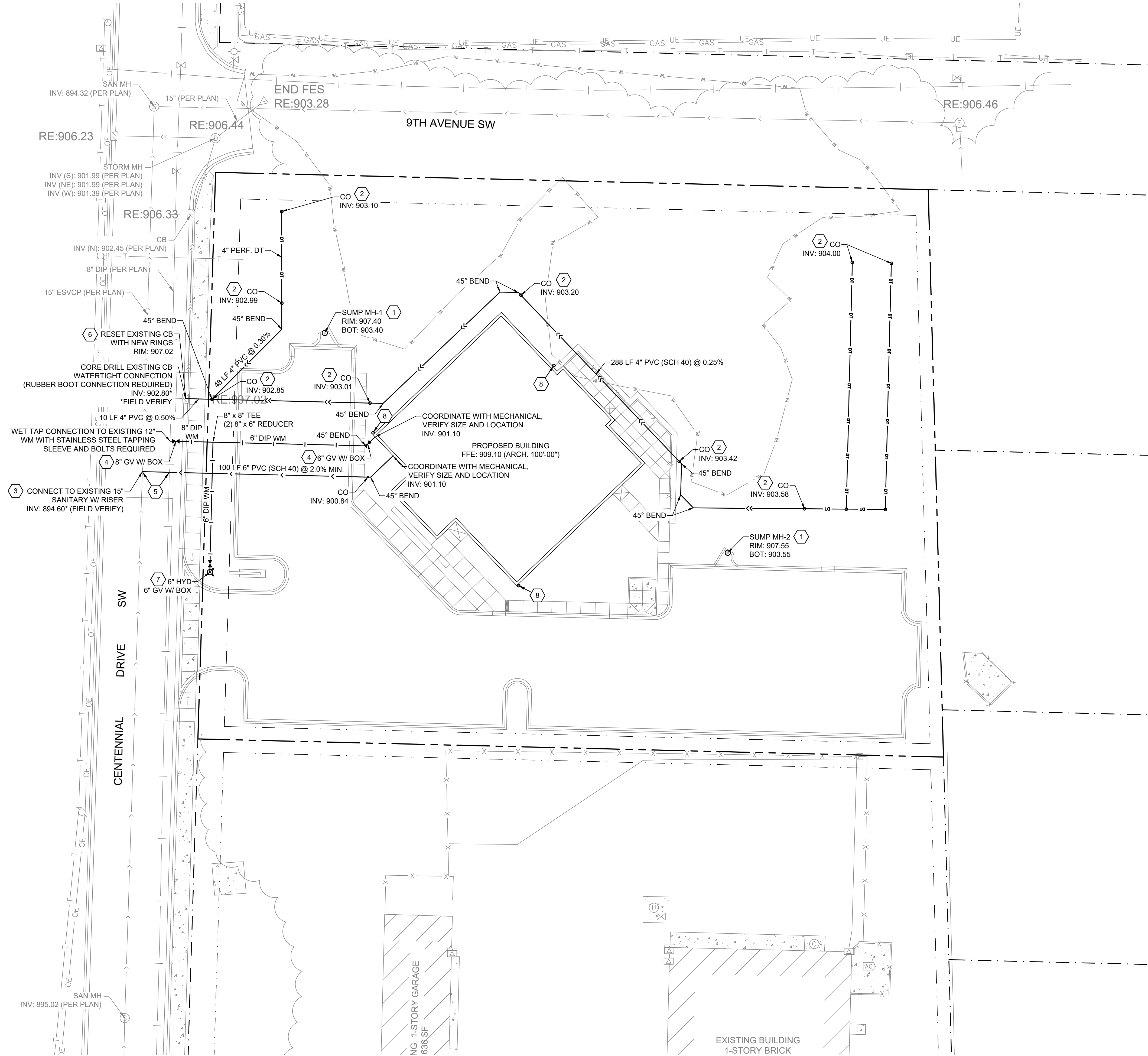
Drawn By KBK

REVISIONS:

No.	Description	Date

WYNCO
PROPOERTIES
NEW
BUILDING &
PARKING LOT
FOREST LAKE, MN
55025

C301
EROSION
CONTROL
PLAN



GENERAL

	PROPERTY LINE
	EASEMENT LINE
	RIGHT-OF-WAY LINE
	SETBACK LINE

SYMBOL LEGEND

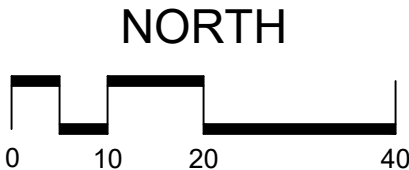
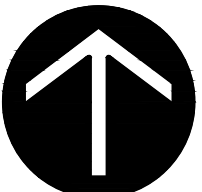
	SUMP MH, DETAIL 7/C501
	CLEANOUT (CO), DETAIL 6/C501
	GATE VALVE & BOX, DETAIL 7/C502
	HYDRANT (HYD), DETAIL 8/C502
	SANITARY SEWER PIPE
	STORM SEWER PIPE
	DRAINTILE PIPE
	WATERMAIN PIPE

KEY NOTES

- 1 SUMP MANHOLE, DETAIL 7/C501
- 2 NEW CLEANOUT, DETAIL 6/C501
- 3 SANITARY SERVICE (DETAIL 3/C502), CONNECTION WILL REQUIRE A ROMAC CB CONNECTOR.
- 4 GATE VALVE AND BOX, DETAIL 7/C502
- 5 VERIFY SANITARY AND WATERMAIN ELEVATIONS PRIOR TO CONSTRUCTING WATERMAIN OFFSET (DETAIL 4/C502). IF POSSIBLE ADJUST SANITARY RISER HEIGHT TO ELIMINATE WATERMAIN OFFSET.
- 6 RESET CATCH BASIN WITH NEW RINGS, DETAIL 10/C501
- 7 NEW HYDRANT, DETAIL 8/C502
- 8 GUTTER DOWNSPOUT ONTO GRADE, CONFIRM FINAL LOCATION WITH ARCHITECTURAL

UTILITY NOTES

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1107 where located within 10 feet of waterlines or the building.
6. Maintain a minimum of 7 1/2' of cover over all water lines and sanitary sewer lines. Where 7 1/2' of cover is not provided, install 2' rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
7. Install water lines 12" above sewers. Where the sewer is less than 12" below the water line (or above), install sewer piping of materials approved for inside building use for 10 feet on each side of the crossing.
8. All watermain piping shall be class 52 ductile iron pipe with poly encasement unless noted otherwise.
9. See Project Specifications for bedding requirements.
10. Pressure test and disinfect all new watermains in accordance with state and local requirements.
11. Sanitary sewer piping shall be PVC Schedule 40.
12. Contractor is required to contact City of Forest Lake Public Works if any water main improvements require shut down of the system or operation of existing valves in the public right of way or easements. 72-hour notice is required to coordinate shutdowns with affected property owners.
13. All connections to City utilities must be observed by City Staff, provide 72-hour notice for observation.
14. Water and sanitary services shall be constructed to City standards as identified within the Public Works/Engineering standards.
15. Utility testing will be required on the water and sanitary services.
16. Inspect each existing structure to verify compliance with City Standard Details, including but not limited to inverts, doghouses, drain tile connections, adjustment rings, and castings.
17. Televiser after construction, the City sanitary sewer to ensure no construction activity has caused damage to the pipe and no excess sediment has been deposited.



2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson Engineering, Inc.



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

REVISIONS:

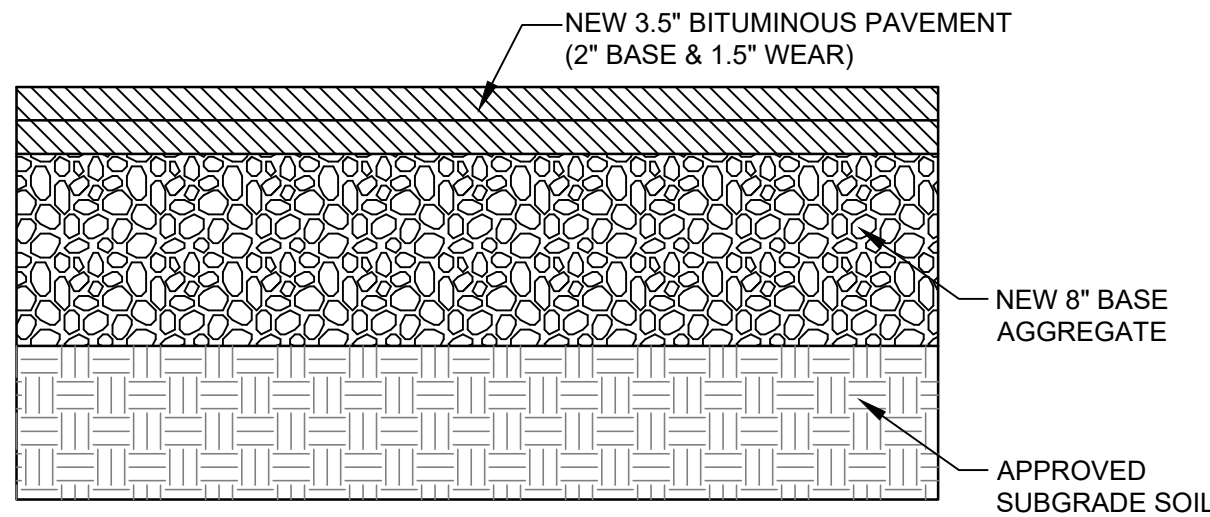
No.	Description	Date

WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT
FOREST LAKE, MN 55025

C400

UTILITY PLAN

4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061

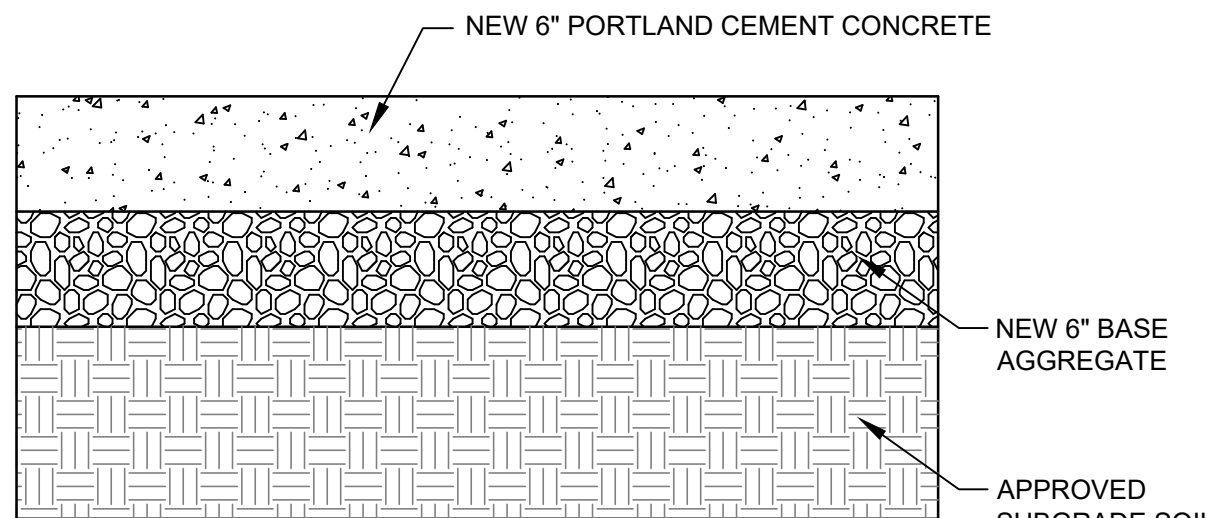


NOTES:
1. VERIFY SECTION WITH OWNER/GEOTECHNICAL ENGINEER.

BITUMINOUS PAVEMENT SECTION

1
C500

NOT TO SCALE

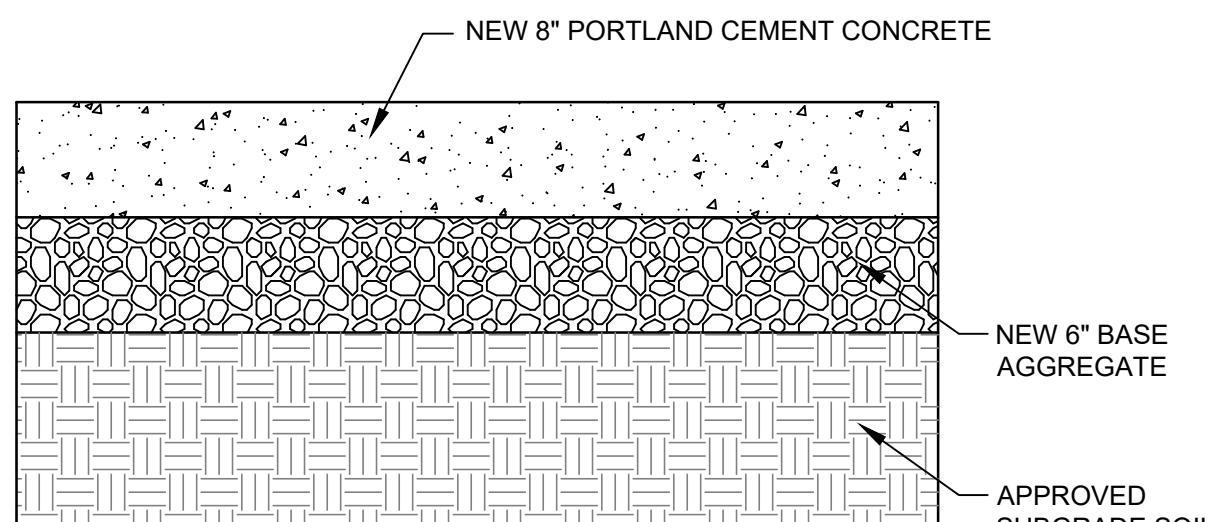


NOTES:
1. VERIFY SECTION WITH OWNER/GEOTECHNICAL ENGINEER.

MEDIUM-DUTY CONCRETE CONSTRUCTION DETAIL

2
C500

NOT TO SCALE

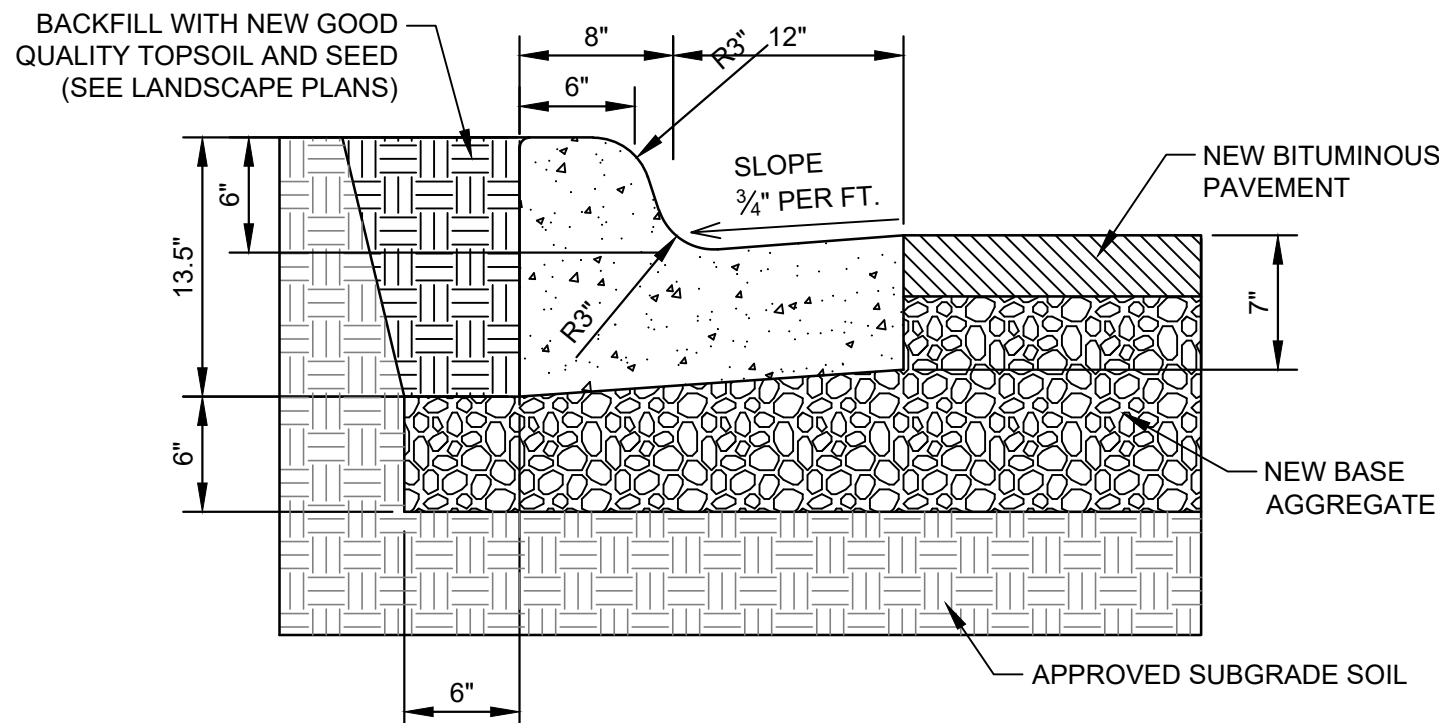


NOTES:
1. VERIFY SECTION WITH OWNER/GEOTECHNICAL ENGINEER.

HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL

3
C500

NOT TO SCALE

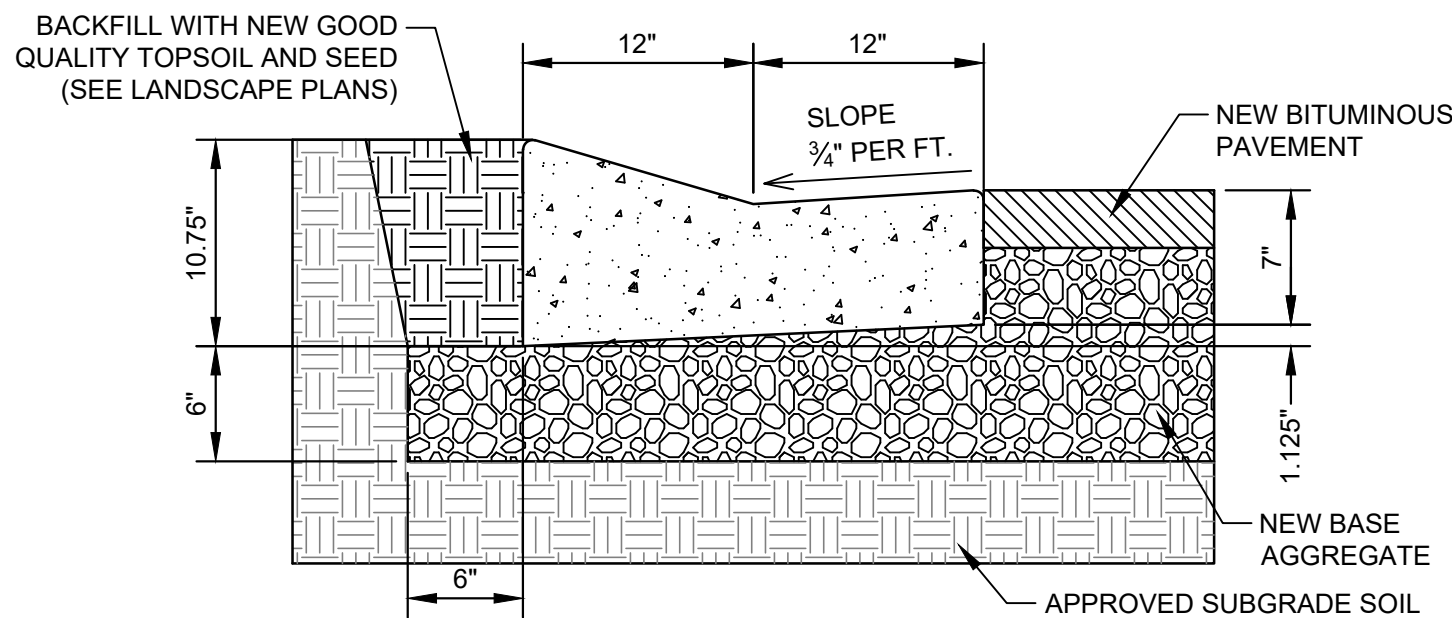


NOTES:
1. TIP GUTTER OUT AS NEEDED TO ENSURE POSITIVE DRAINAGE.

B612 CONCRETE CURB & GUTTER DETAIL

4
C500

NOT TO SCALE

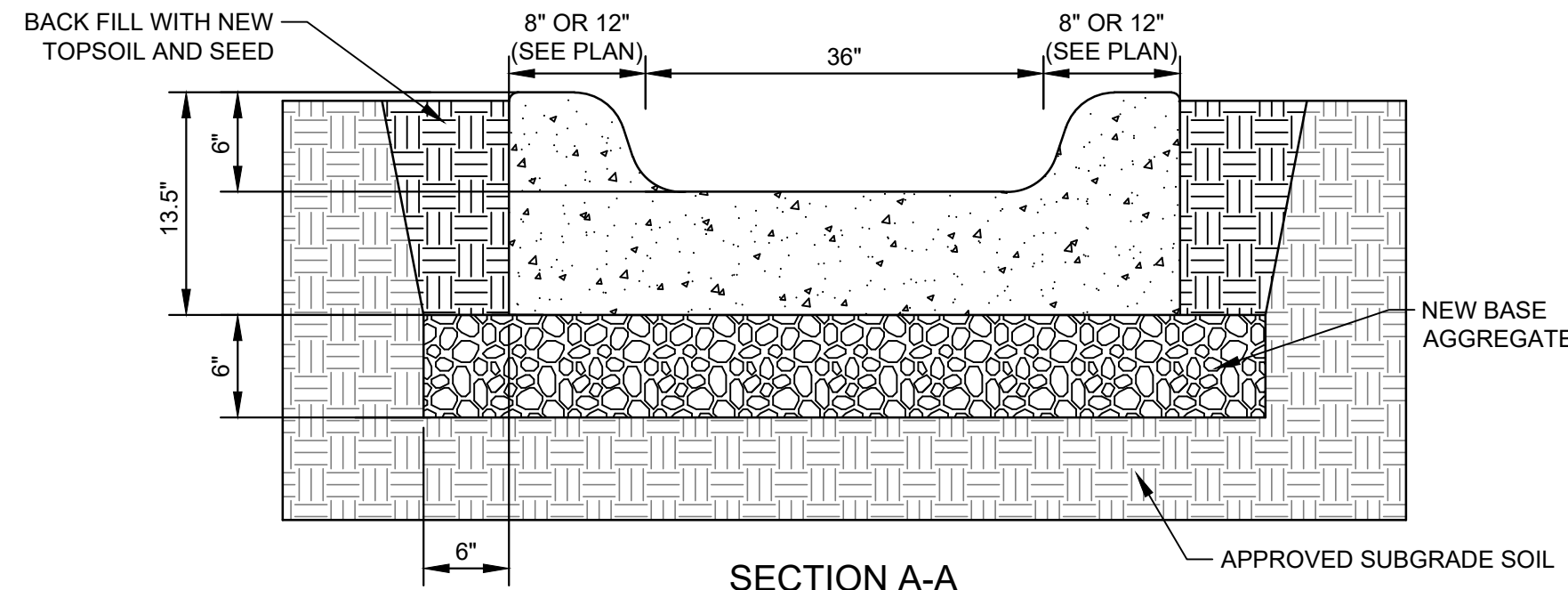
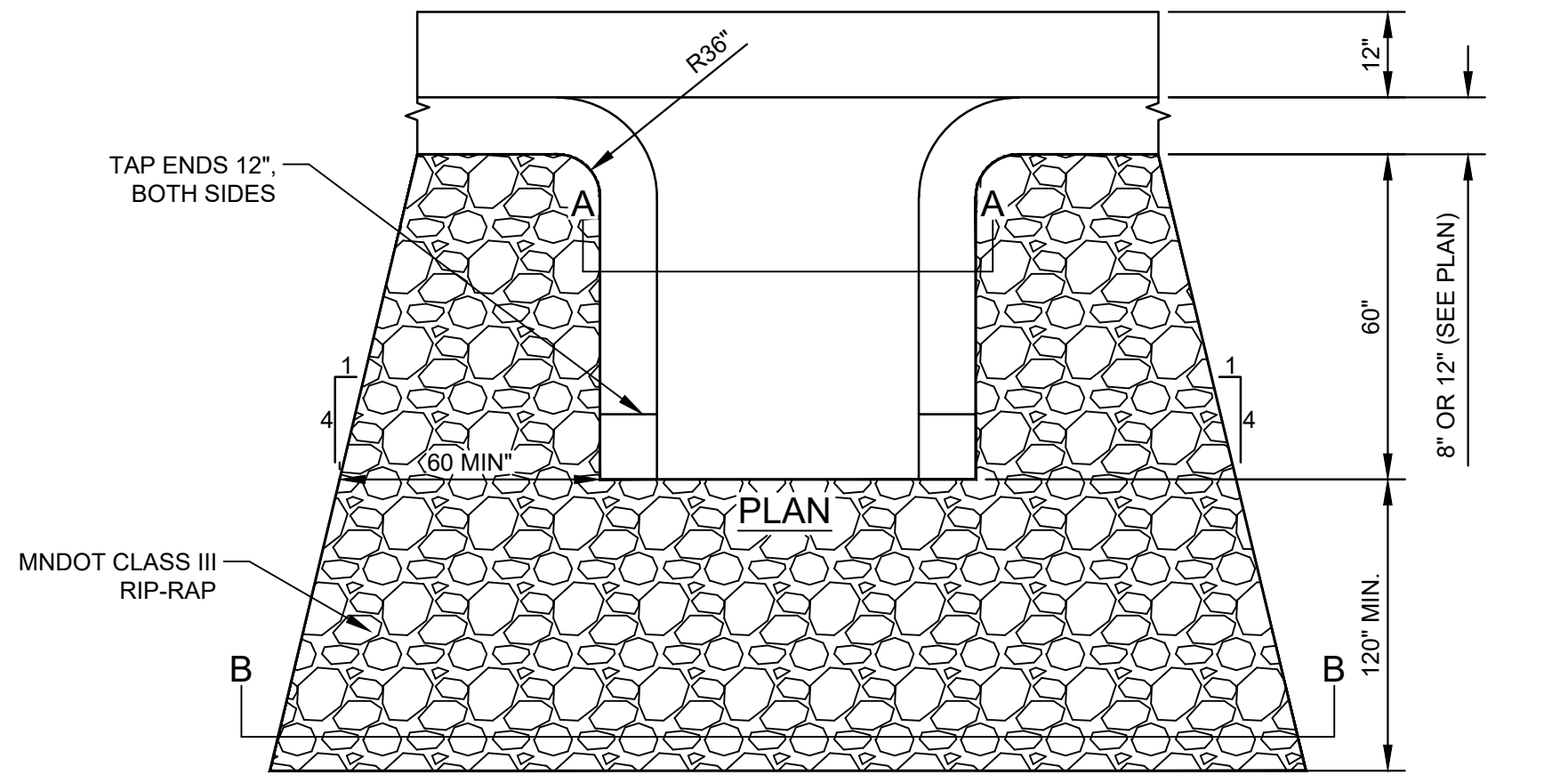


NOTES:
1. TIP GUTTER OUT AS NEEDED TO ENSURE POSITIVE DRAINAGE.

SURMOUNTABLE CURB & GUTTER DETAIL

5
C500

NOT TO SCALE

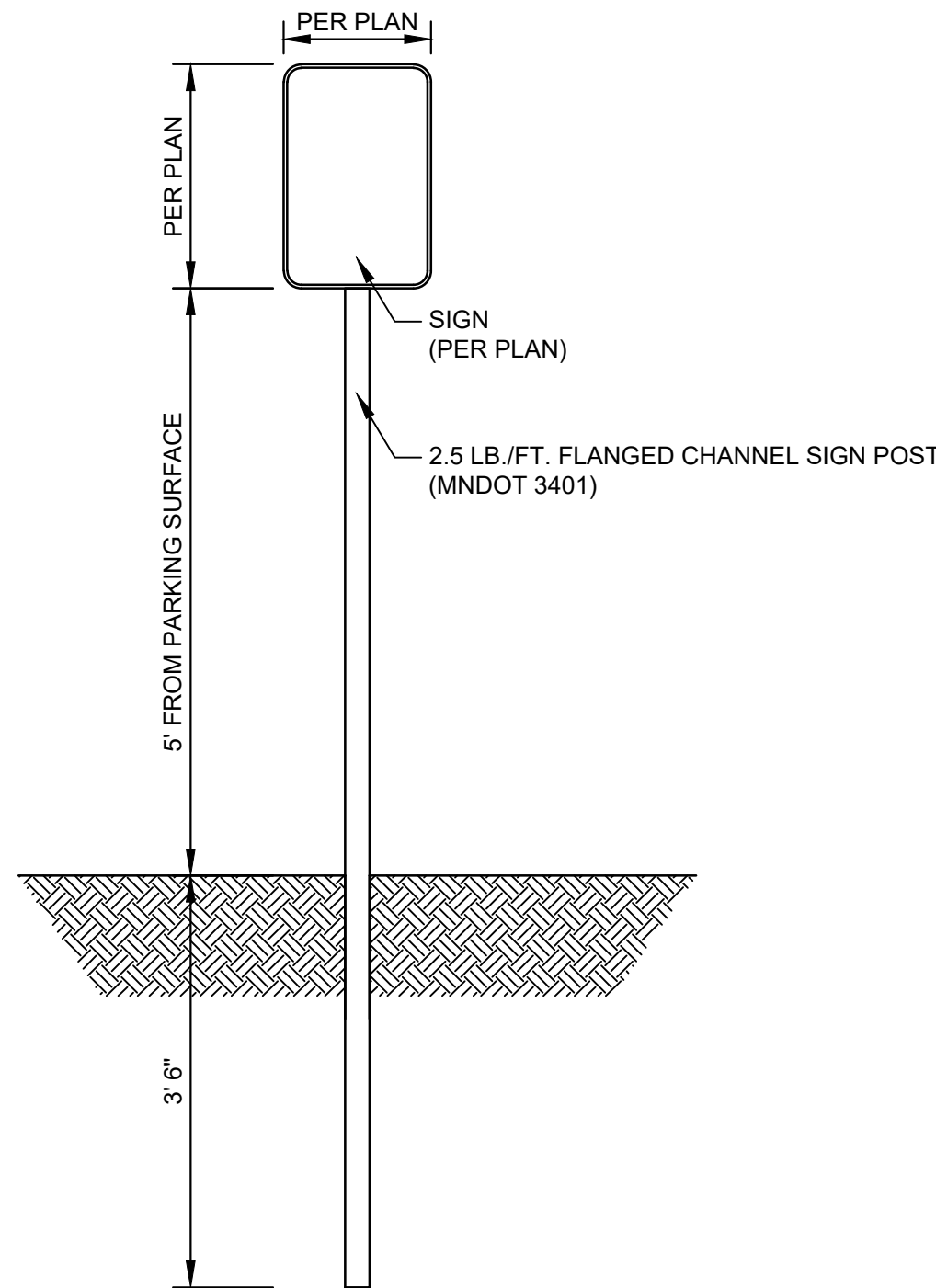


NOTES:
1. TYPICAL LAYOUT SHOWN. SEE PLAN SHEET FOR ACTUAL LAYOUT.

CURB CUT DETAIL

6
C500

NOT TO SCALE

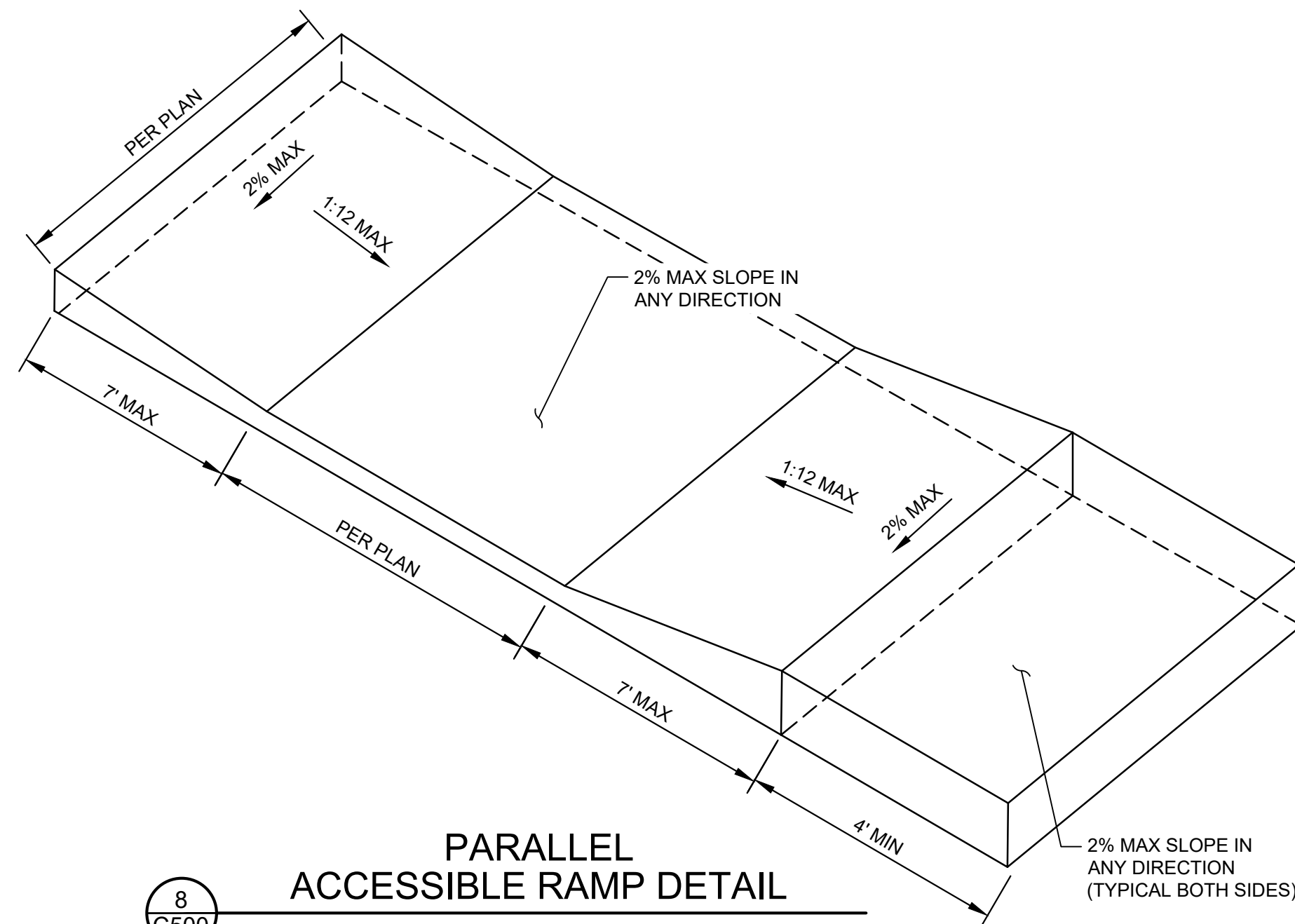


NOTES:
1. ALL SIGNS TO BE INSTALLED IN ACCORDANCE WITH MMUTCD AND MNDOT CURRENT STANDARD SIGNS MANUAL.
2. SEE PROJECT MANUAL FOR SIGN TYPES AND SPECIFICATION.
3. ALL SIGNS SHALL BE REVIEWED AND APPROVED BY OWNER/ENGINEER PRIOR TO CONSTRUCTION.
4. SIGN POSTS TO BE 6" BEHIND THE BACK OF CURB, UNLESS OTHERWISE DIRECTED.
5. SHARE POST WHERE APPLICABLE.
6. SIGNS WITHIN CONCRETE SIDEWALKS SHALL BE SURFACE MOUNTED WITH APPROVED BREAK-AWAY DEVICES.

PARKING SIGN AND POST DETAIL

7
C500

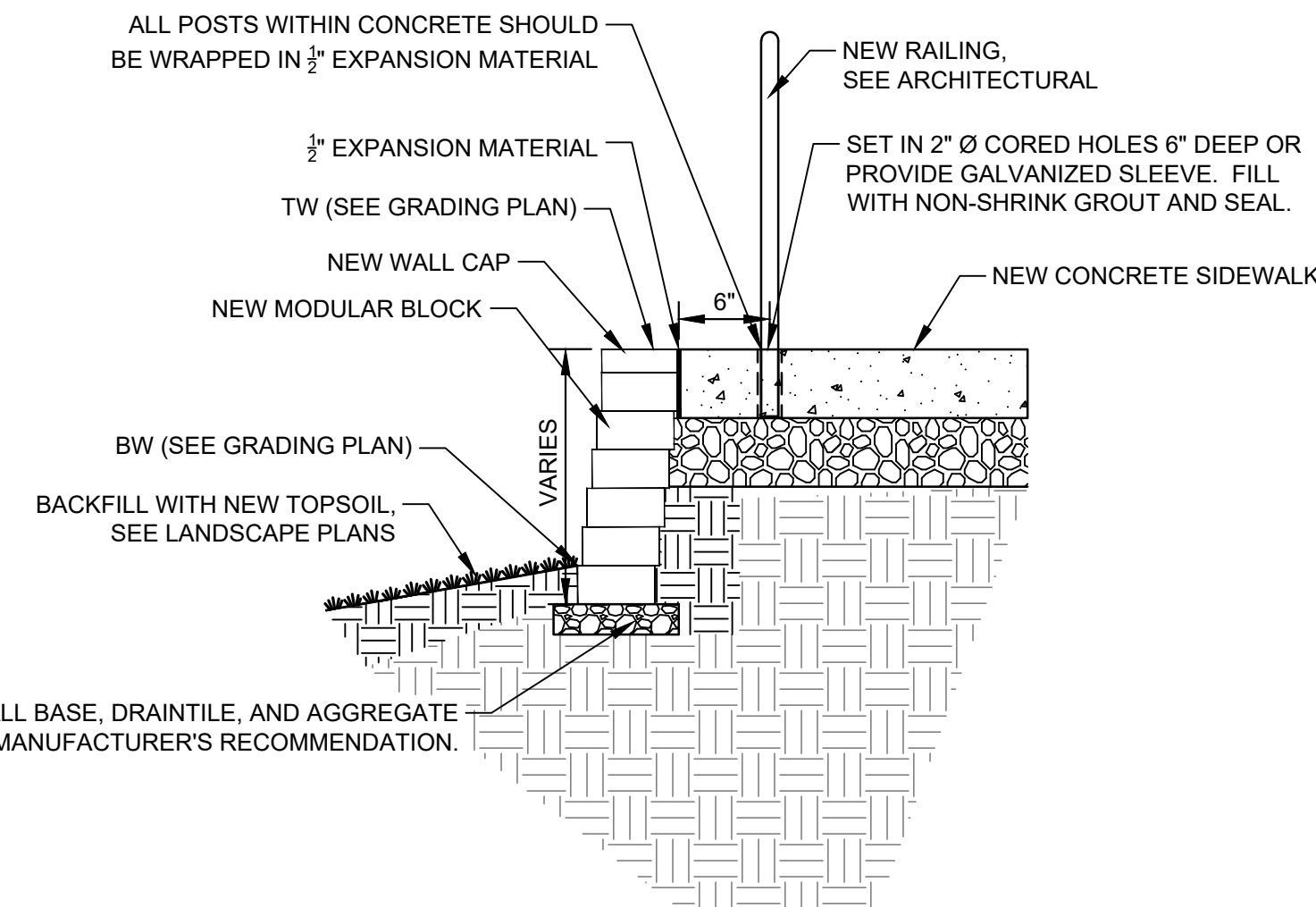
NOT TO SCALE



PARALLEL ACCESSIBLE RAMP DETAIL

8
C500

NOT TO SCALE

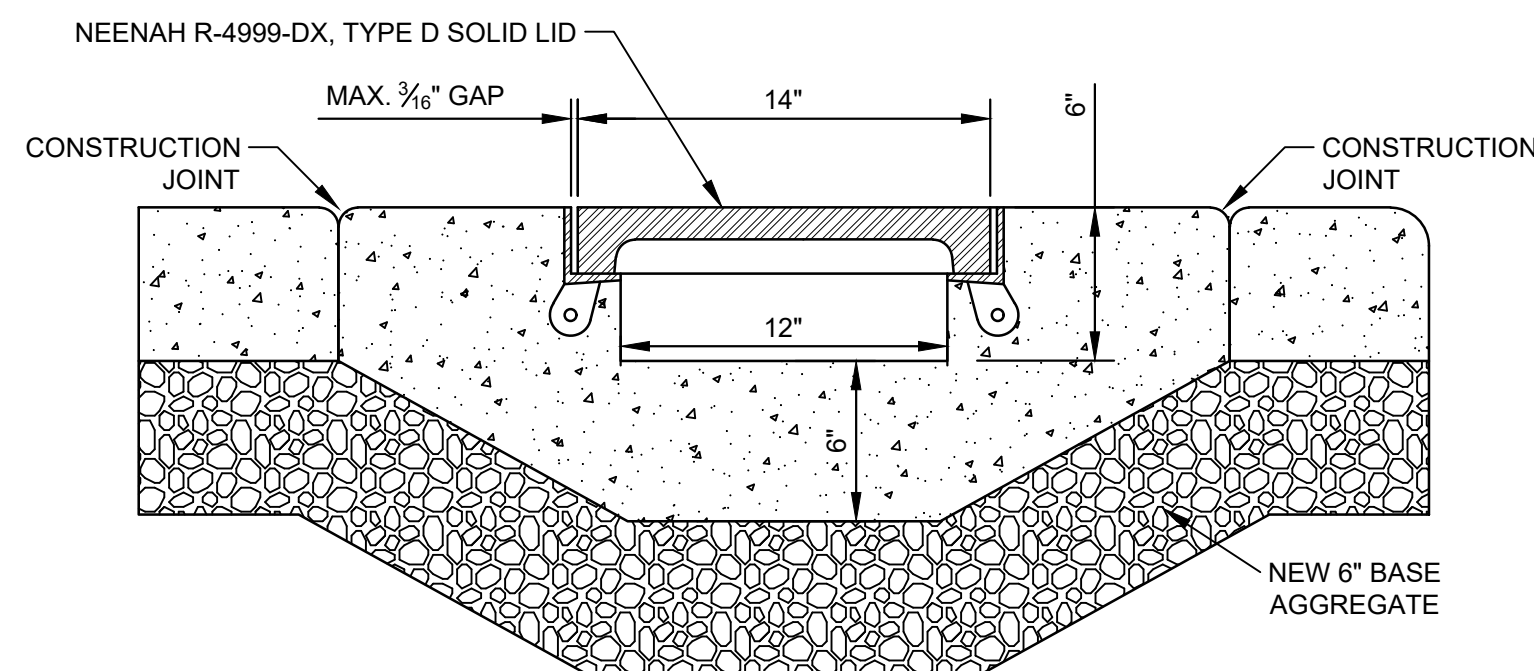


NOTES:
1. WALL TO BE DESIGNED/INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
2. WALL TYPE, COLOR, TEXTURE TO BE SELECTED BY ARCHITECT.

RETAINING WALL DETAIL

9
C500

NOT TO SCALE



TRENCH DRAIN DETAIL

10
C500

NOT TO SCALE

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE
ARCHITECTURE

Larson Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.3201
www.larsengr.com

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

REVISIONS:

No.	Description	Date

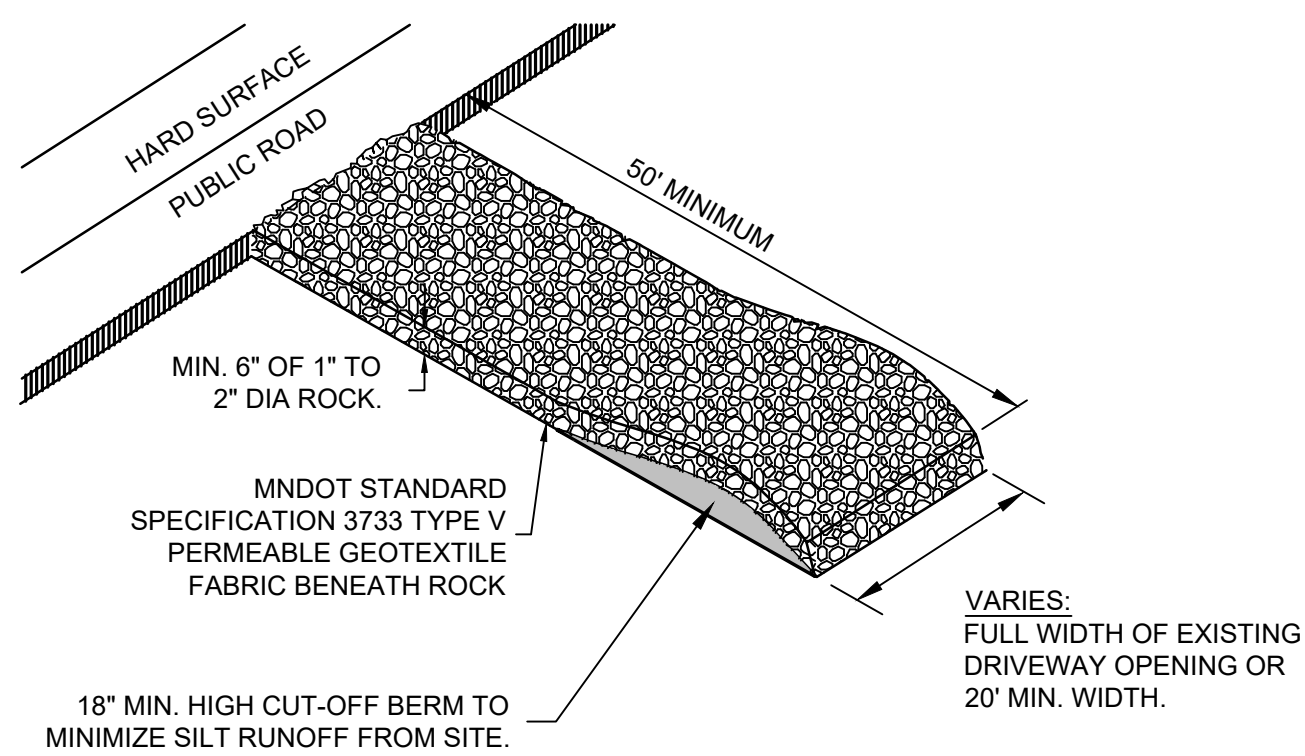
WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT

FOREST LAKE, MN 55025

C500

DETAILS

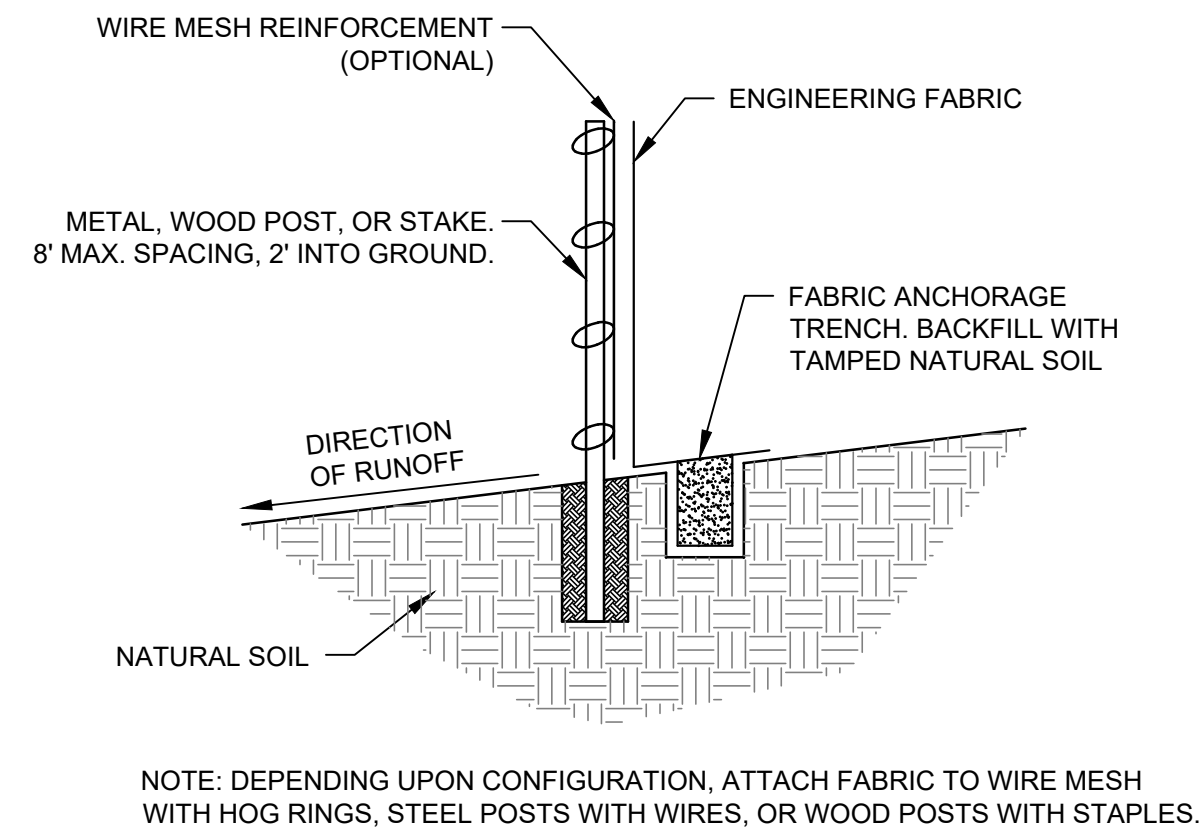
4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061



1
C501

ROCK CONSTRUCTION ENTRANCE

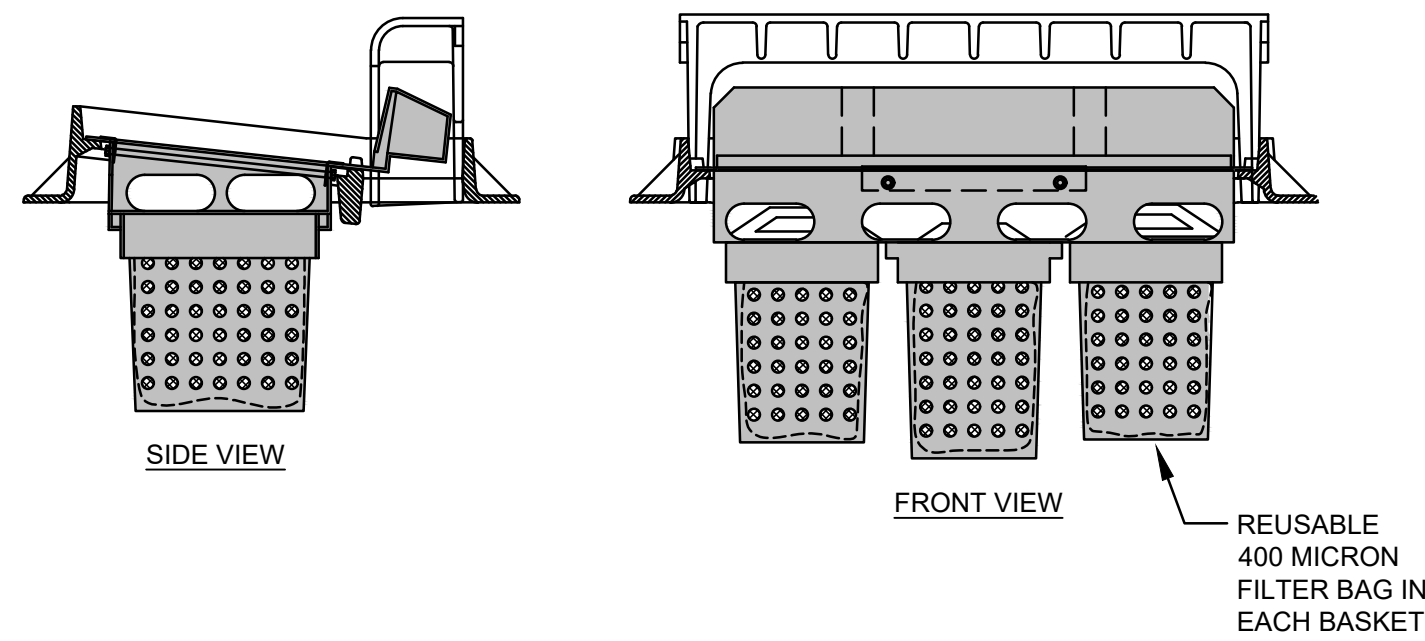
NOT TO SCALE



2
C501

SILT FENCE INSTALLATION DETAIL

NOT TO SCALE

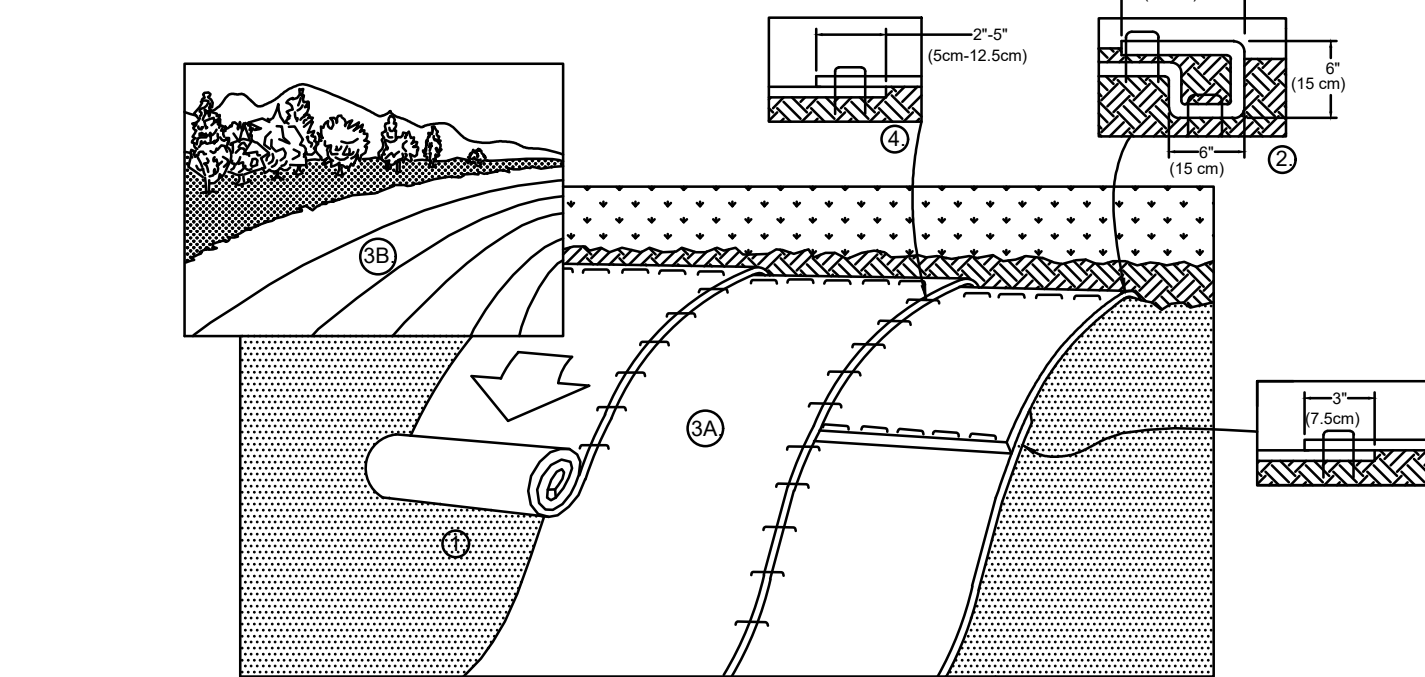


3
C501

INFRASAFE INLET PROTECTION DEVICE (OR EQ)

NOT TO SCALE

SLOPE INSTALLATION

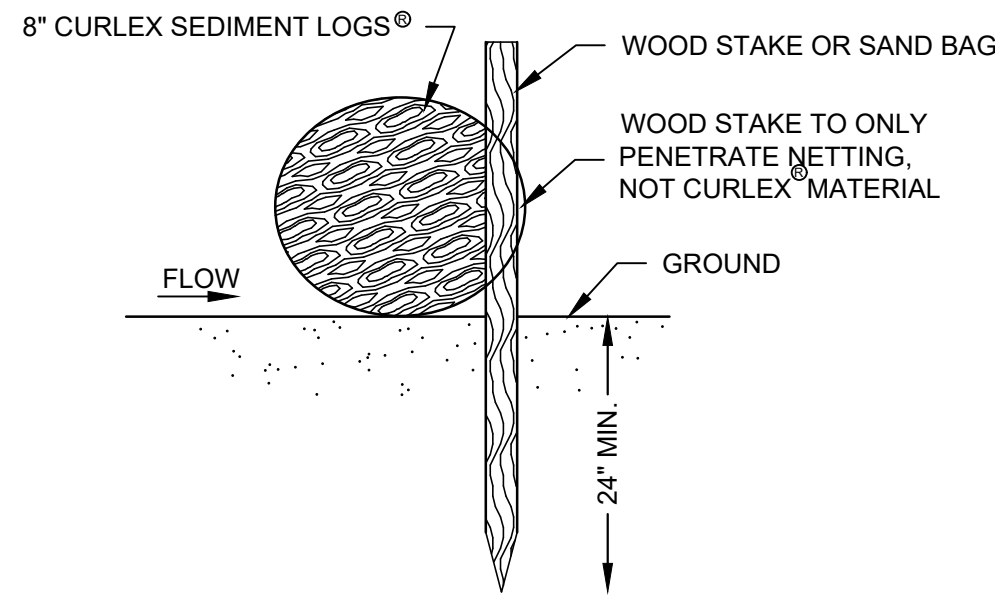


- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
- ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON THE TYPE OF RECP'S.
- CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE LENGTH.

4
C501

EROSION CONTROL BLANKET

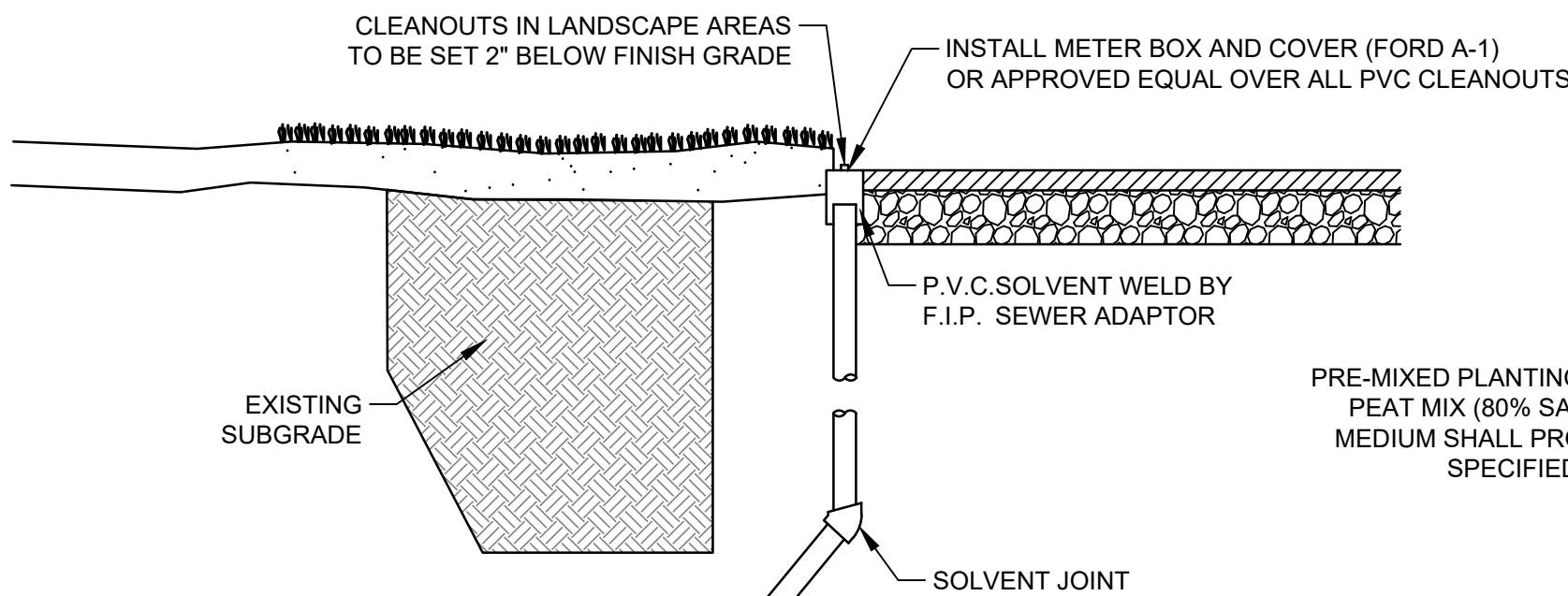
NOT TO SCALE



5
C501

SEDIMENT LOG DETAIL

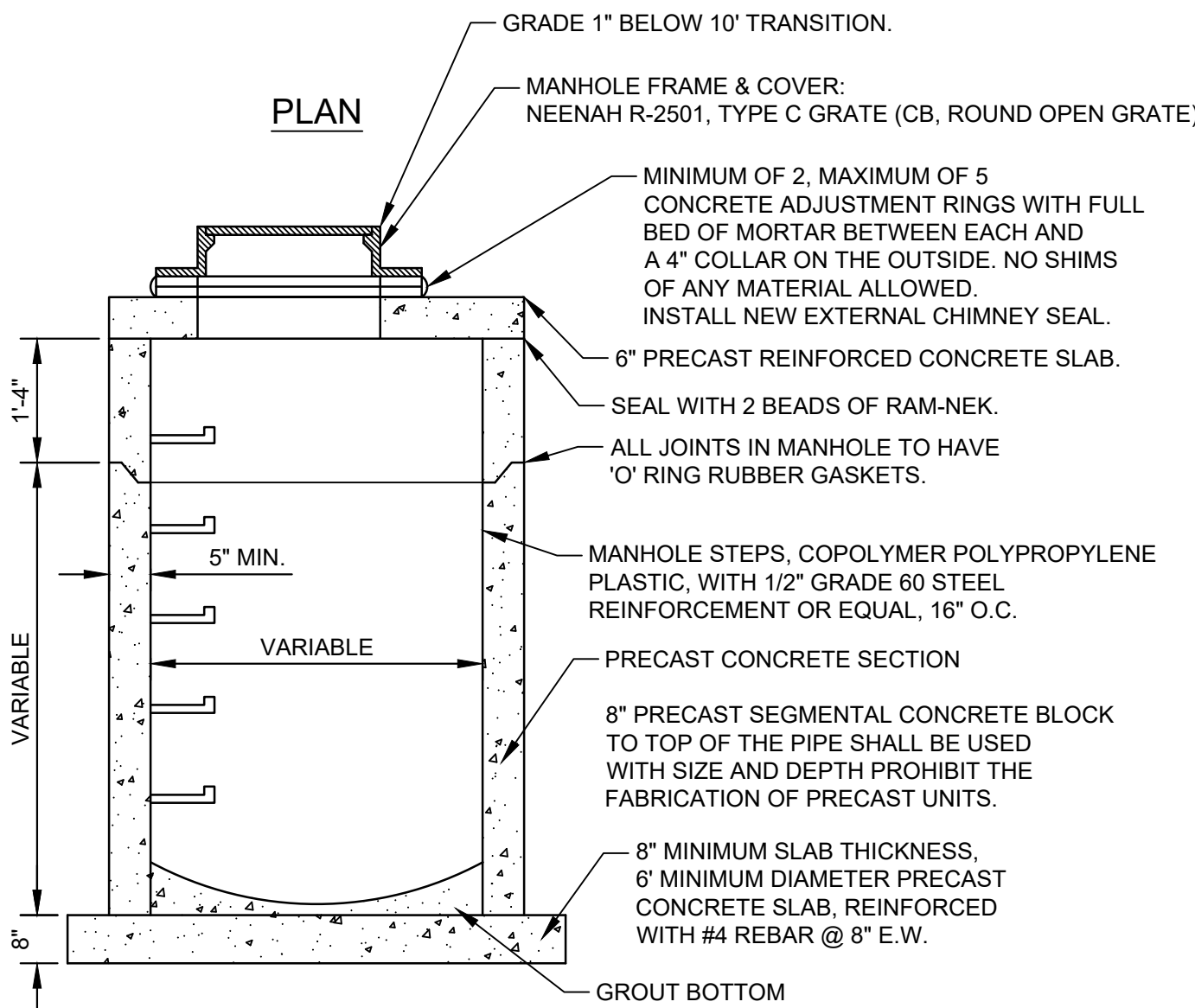
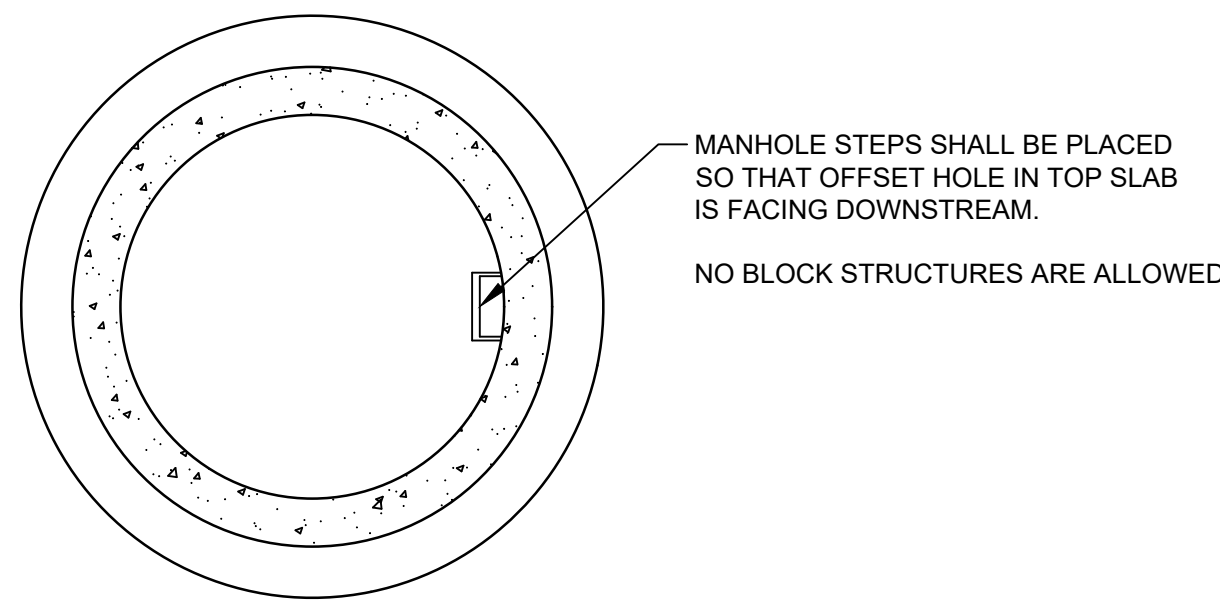
NOT TO SCALE



6
C501

CLEANOUT DETAIL

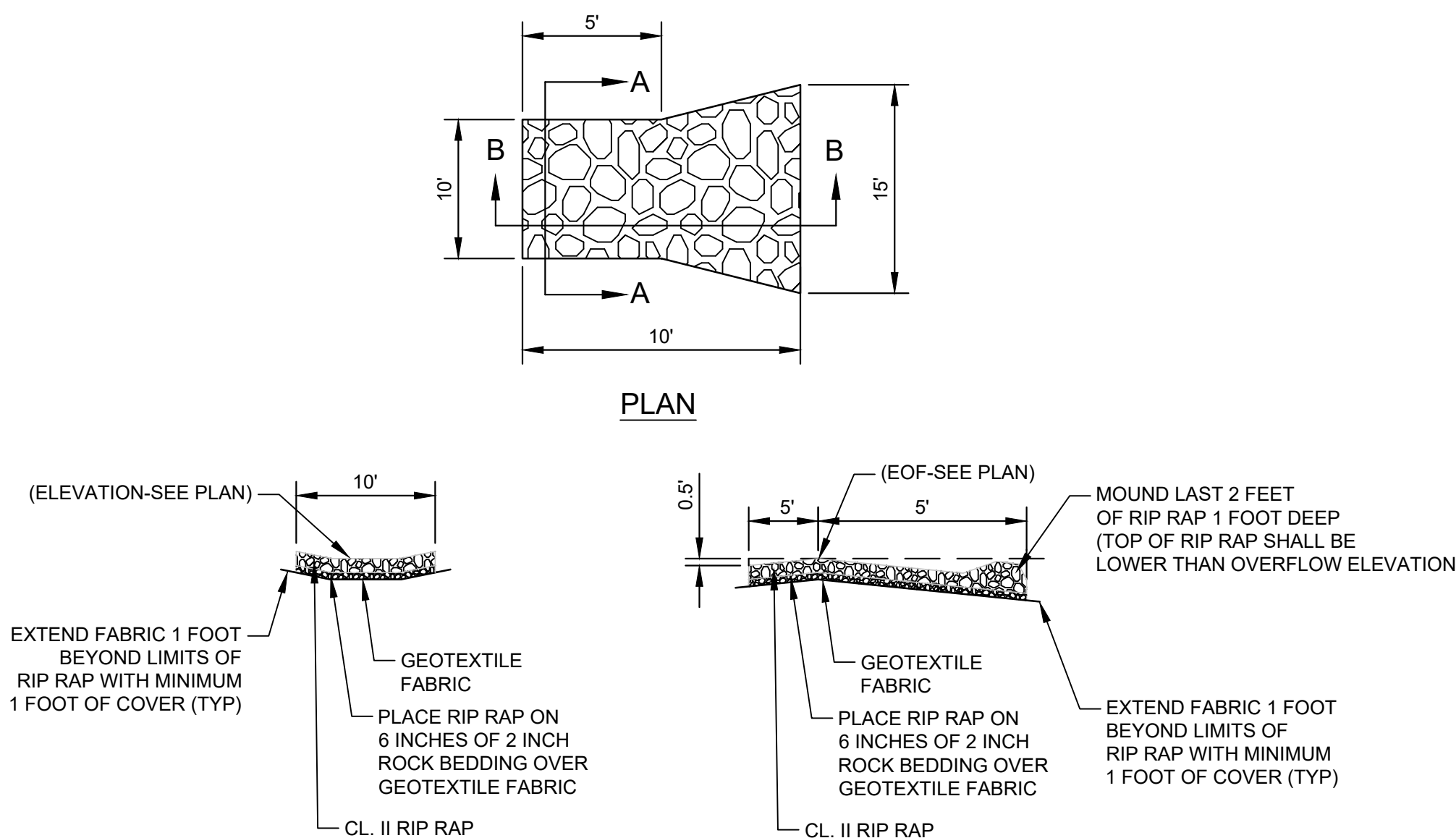
NOT TO SCALE



7
C501

SUMP MANHOLE DETAIL

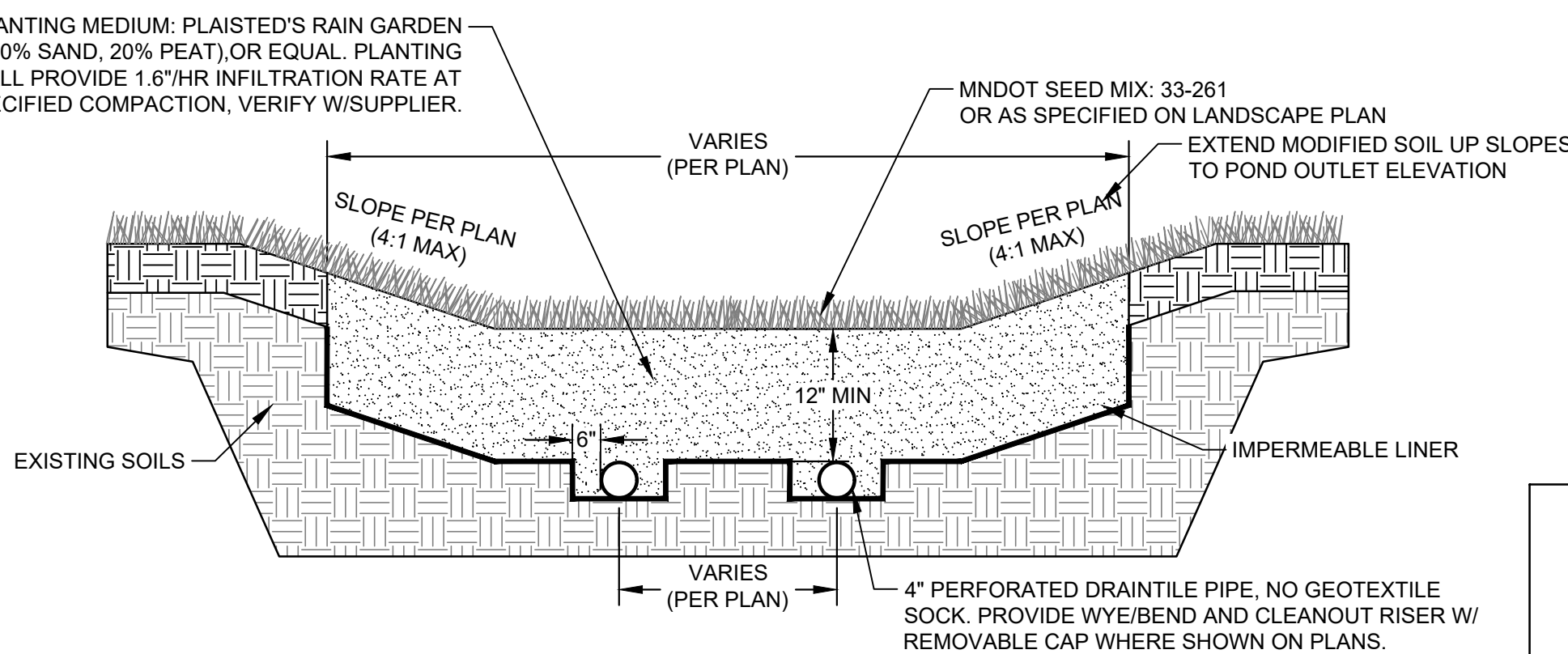
NOT TO SCALE



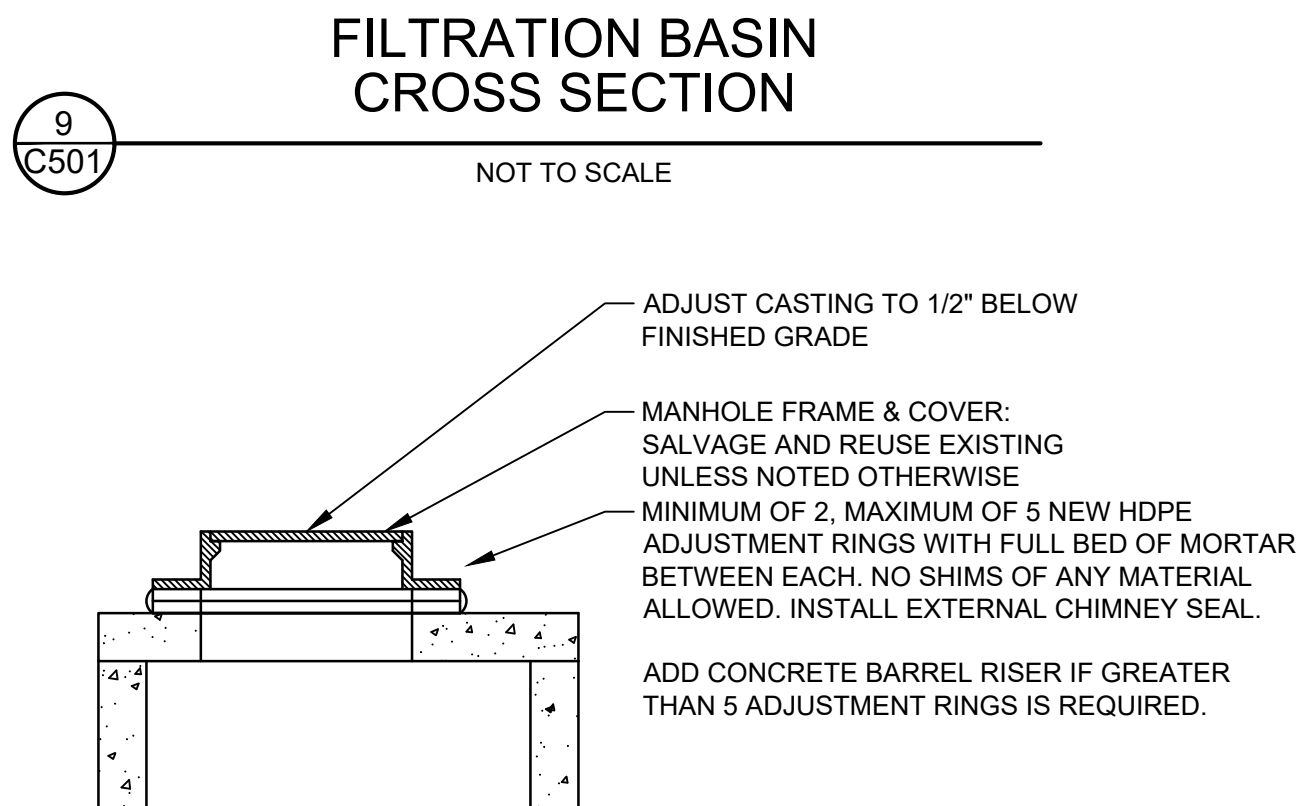
8
C501

TYPICAL RIP RAP WEIR OVERFLOW

NOT TO SCALE



- BASIN CONSTRUCTION NOTES:**
- ALL SOILS WITHIN INFILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.
 - TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE LOCATED AWAY FROM PLANNED INFILTRATION AREAS TO MINIMIZE NATIVE SOIL DISTURBANCE AND POTENTIAL SEDIMENT DEPOSITS.
 - INSTALL TEMPORARY EROSION CONTROL (SILT FENCE OR EQUAL) AROUND ALL INFILTRATION AREAS TO PREVENT SEDIMENT ENTRY DURING CONSTRUCTION. TEMPORARY EROSION CONTROL SHALL REMAIN UPSTREAM UNTIL SATISFACTORY TURF ESTABLISHMENT. FINAL BASIN GRADING AND PLANTING MEDIUM PLACEMENT SHALL NOT OCCUR UNTIL PERIMETER BMP'S ARE IN PLACE.
 - IMPERMEABLE LINER MATERIAL AND INSTALLATION PRACTICES SHALL ADHERE TO MN STORMWATER MANUAL, LEVEL 1 LINER REQUIREMENTS. LINER SHALL BE HDPE (60 MIL THICKNESS), PVC (30 MIL THICKNESS), OR APPROVED EQUAL.
 - PROVIDE AN AS BUILT TOPOGRAPHIC SURVEY OF THE EXCAVATION BOTTOM, BERM, OUTLET ELEVATION, FLARED END SECTION, AND STORM STRUCTURES PRIOR TO FINAL SEEDING AND RESTORATION TO VERIFY CORRECT SLOPES AND DEPTHS. FINAL RESTORATION SHALL NOT BE PERFORMED UNTIL TOPOGRAPHIC SURVEY IS REVIEWED AND APPROVED BY THE ENGINEER.

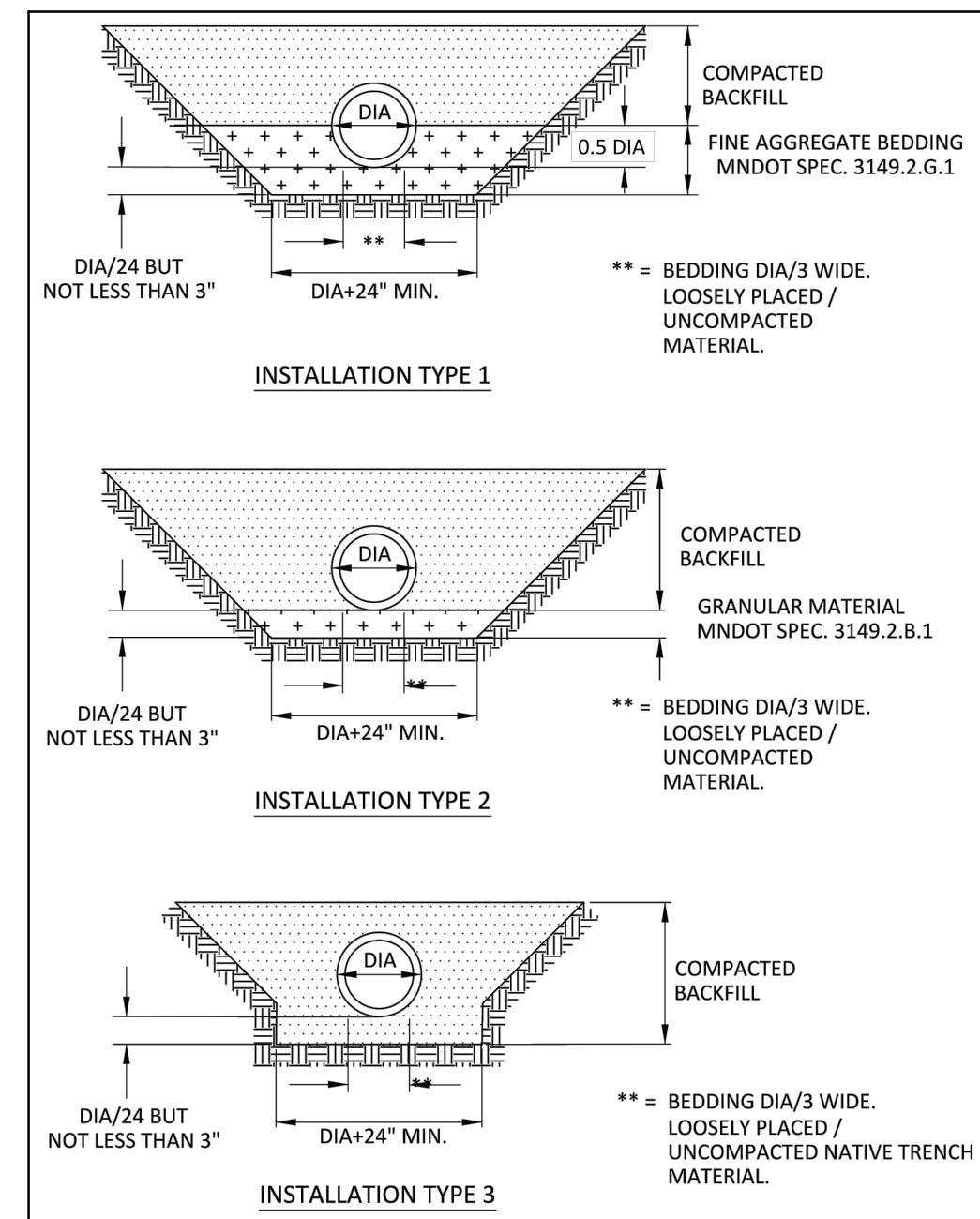


NOTE:
A STRUCTURE ADJUSTMENT SHALL INCLUDE REMOVING AND SALVAGING THE EXISTING CASTING ASSEMBLY, REMOVING EXISTING CONCRETE RINGS TO THE PRECAST SECTION, INSTALLING NEW RINGS AND SALVAGED OR NEW CASTING TO PROPOSED GRADES, CLEANING CASTING FLANGE BY MECHANICAL MEANS TO INSURE A SOUND SURFACE, AND INSTALLING AN EXTERNAL CHIMNEY SEAL FROM CASTING TO PRECAST SECTION. CHIMNEY SEAL SHALL BE INFI-SHIELD, UNI-BAND, OR AN APPROVED EQUAL.

10
C501

STORM STRUCTURE ADJUSTMENT DETAIL

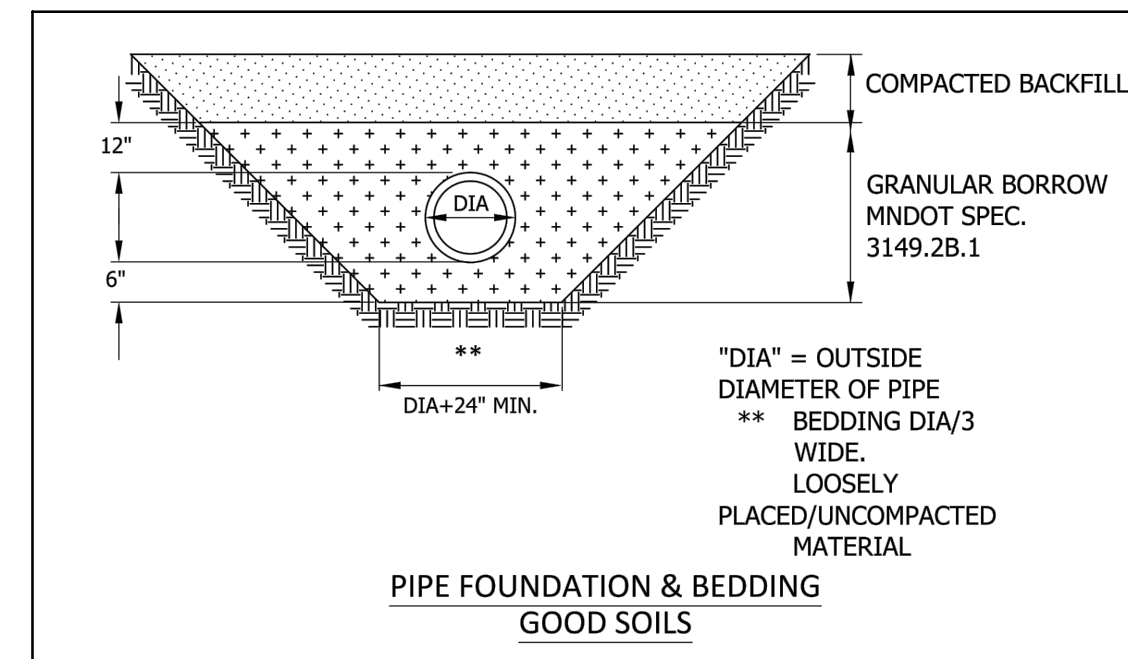
NOT TO SCALE



11
C501

WATERMAIN BEDDING DETAIL

NOT TO SCALE



12
C501

SANITARY BEDDING DETAIL

NOT TO SCALE

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM

Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsengr.com

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

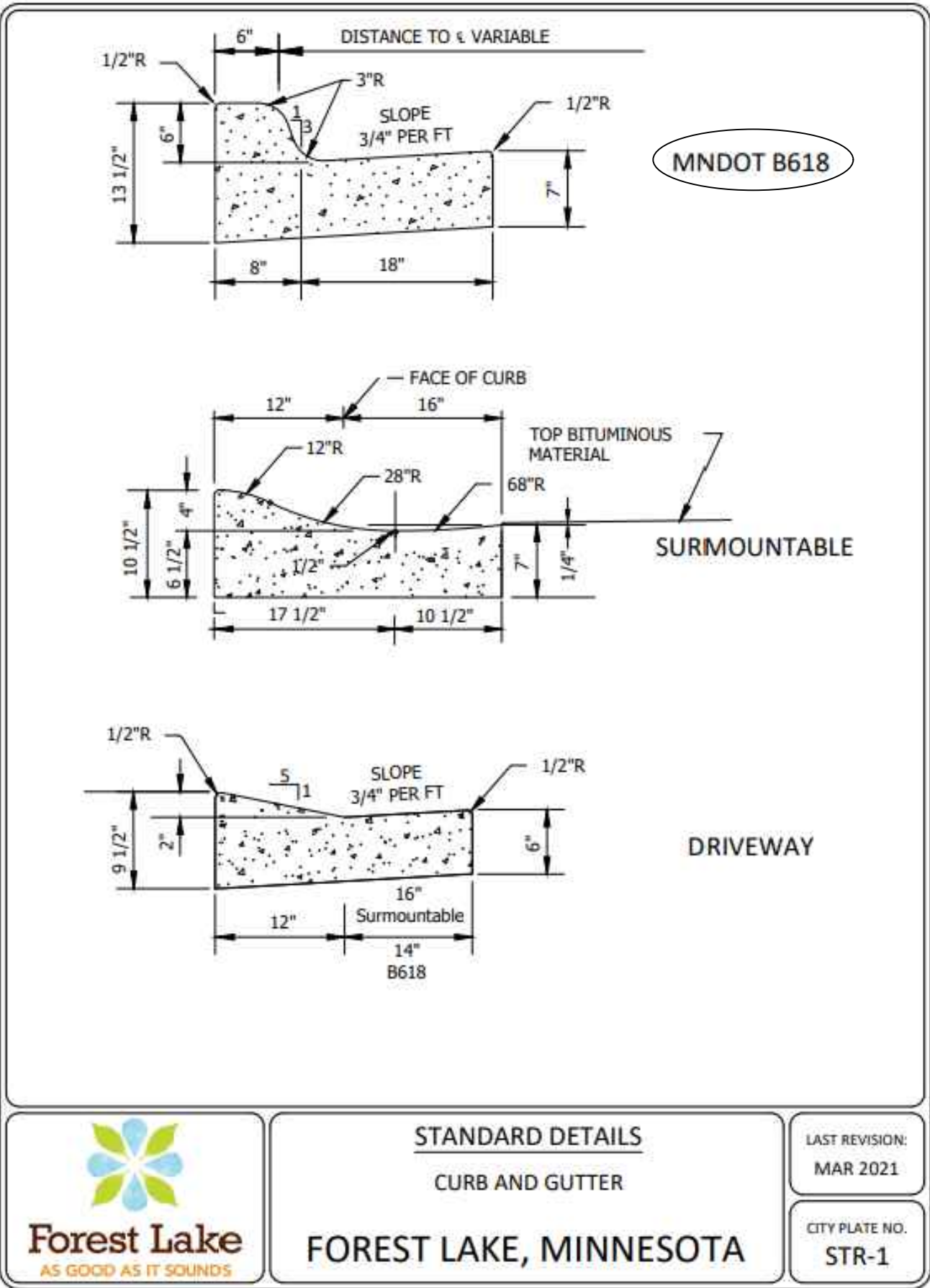
REVISIONS:		
No.	Description	Date

WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT

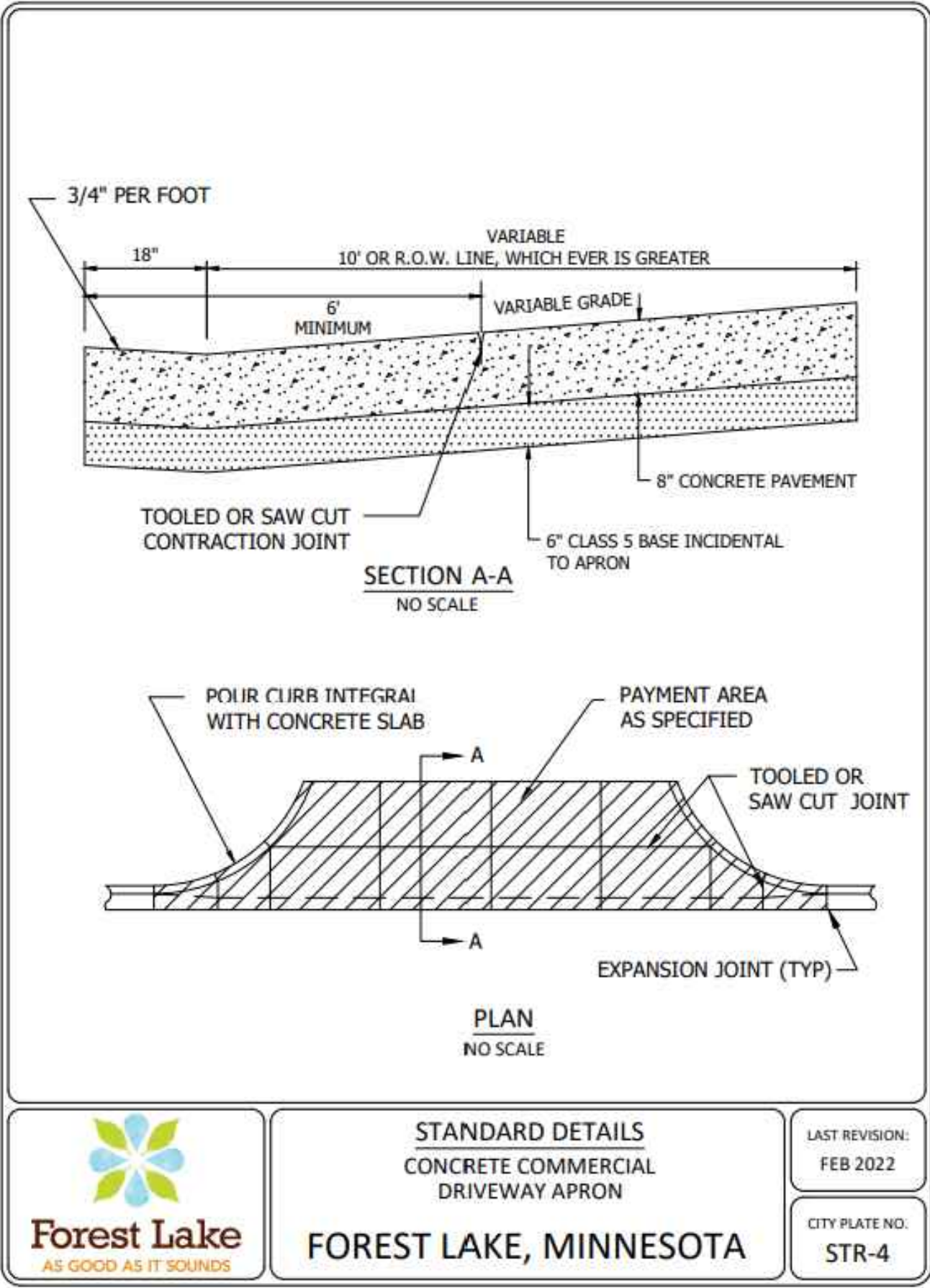
FOREST LAKE, MN 55025

C501

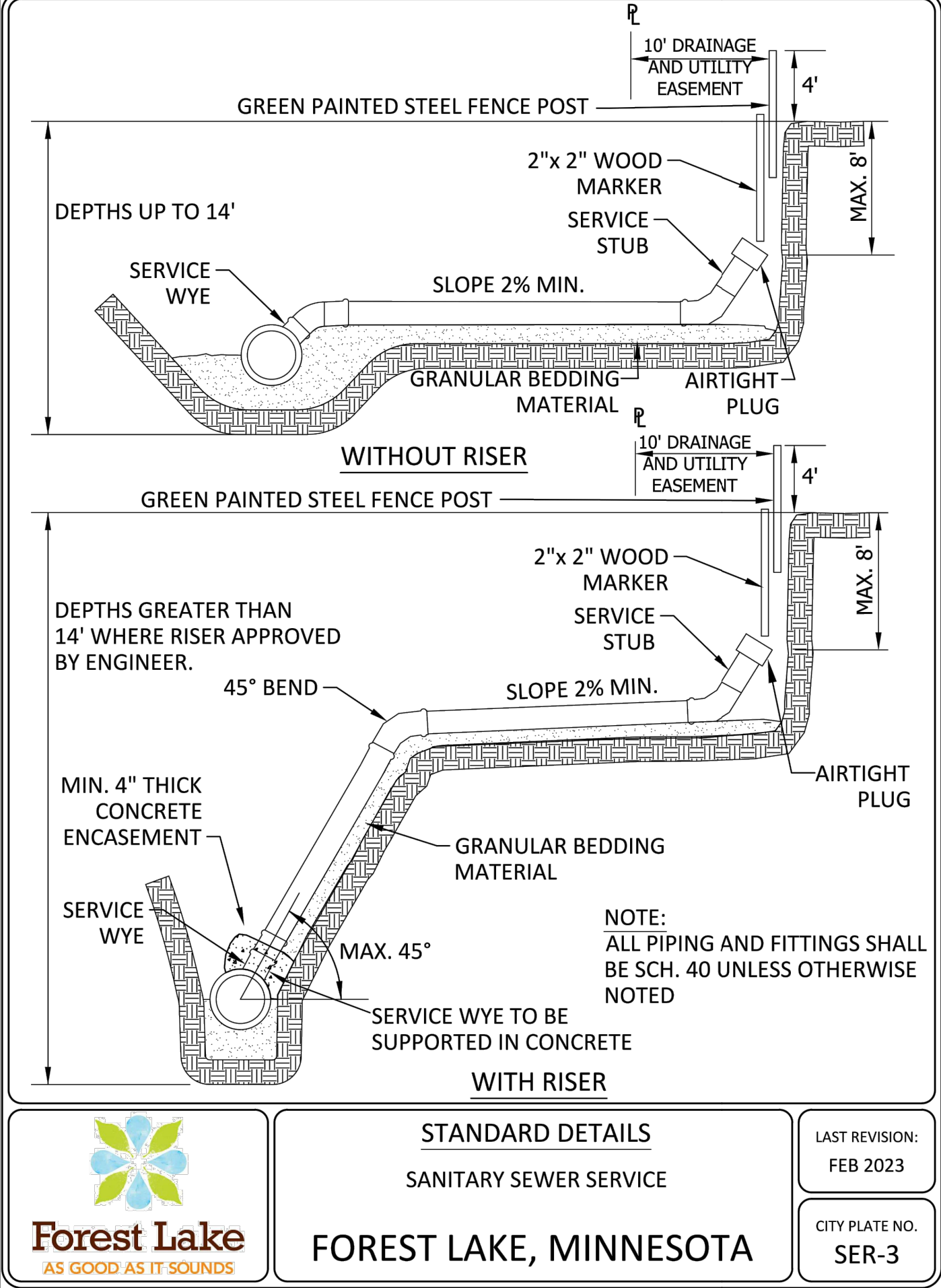
DETAILS



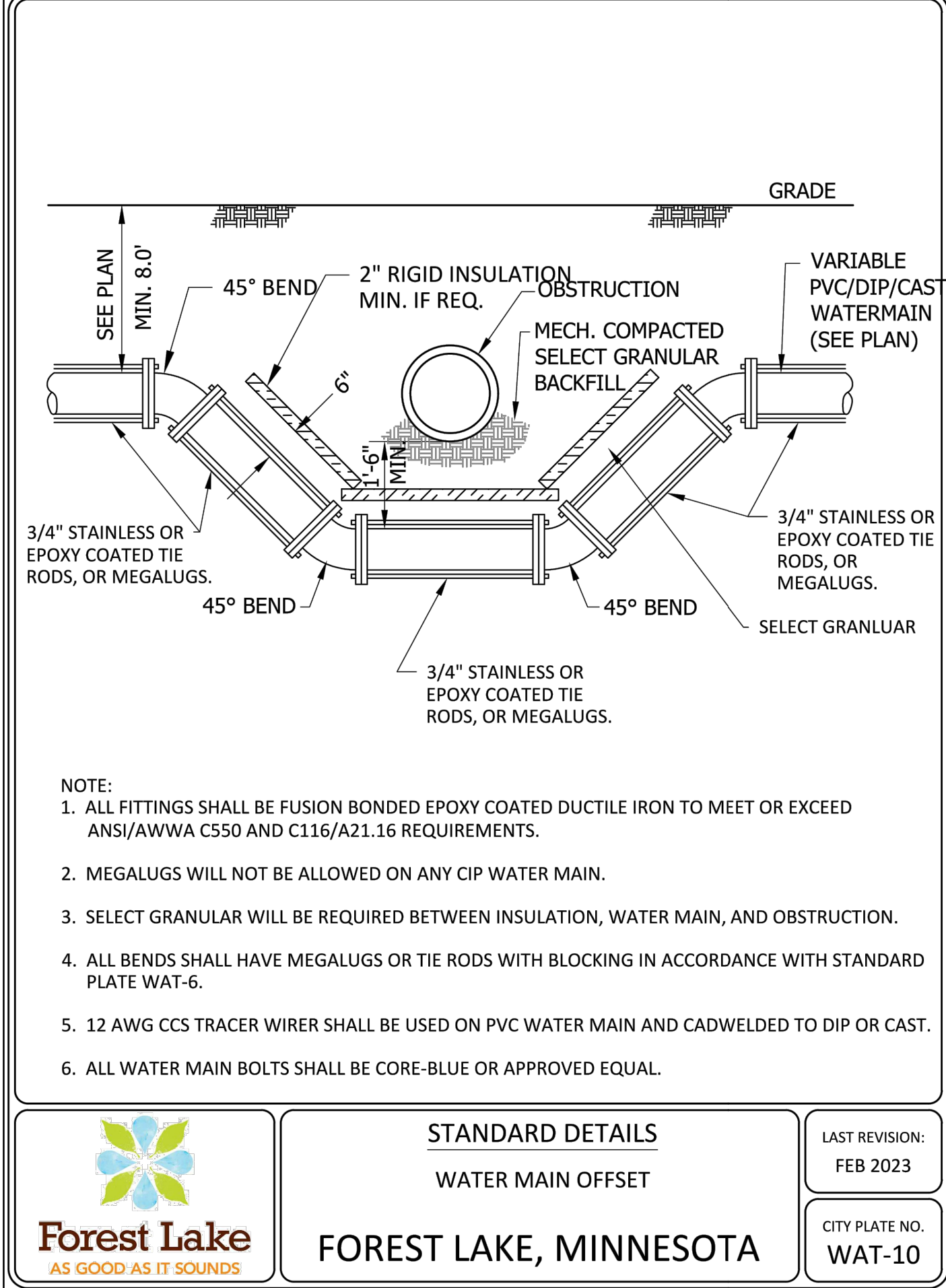
1 C502 CURB AND GUTTER DETAIL
NOT TO SCALE



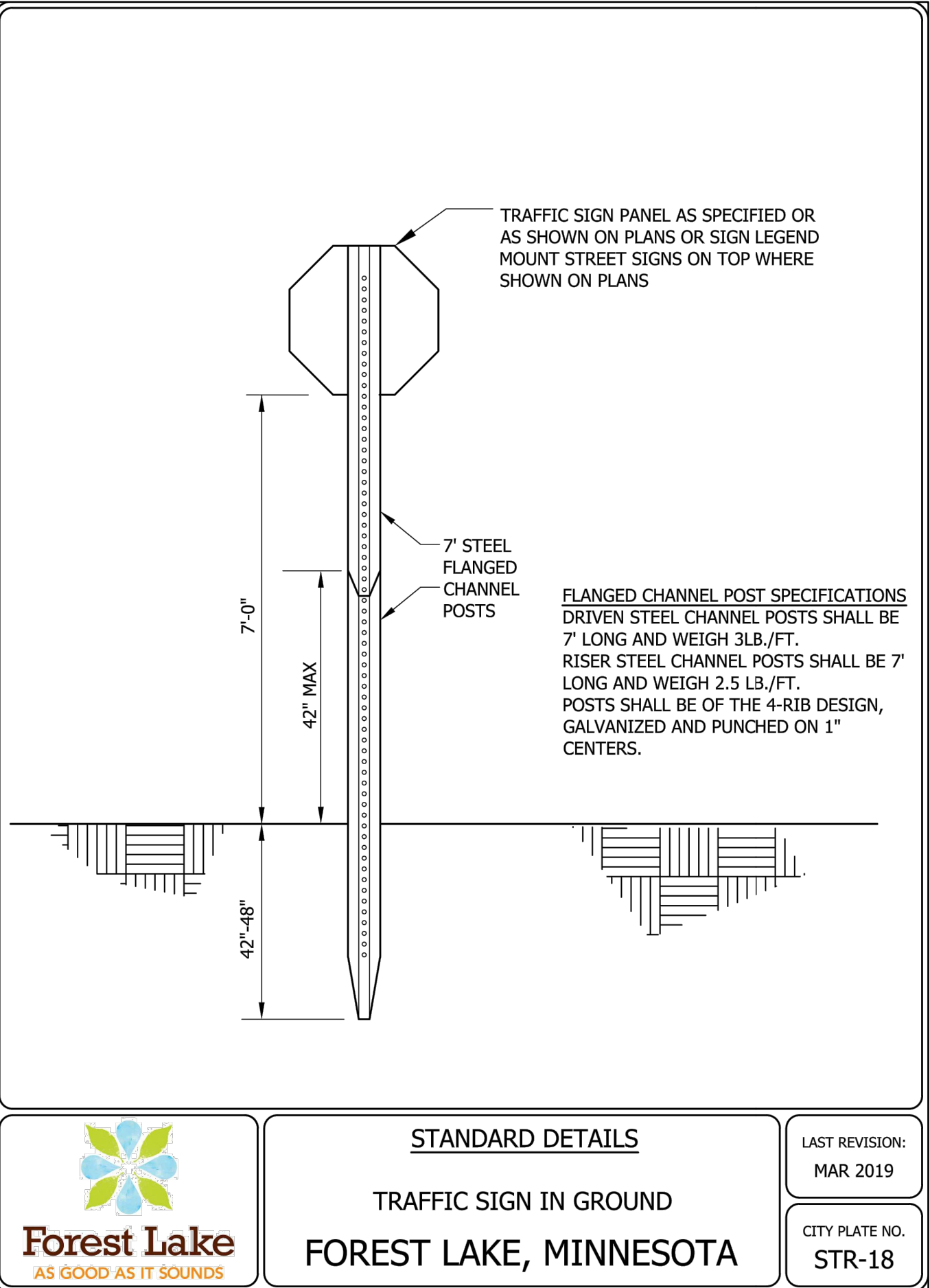
2 C502 DRIVEWAY DETAIL
NOT TO SCALE



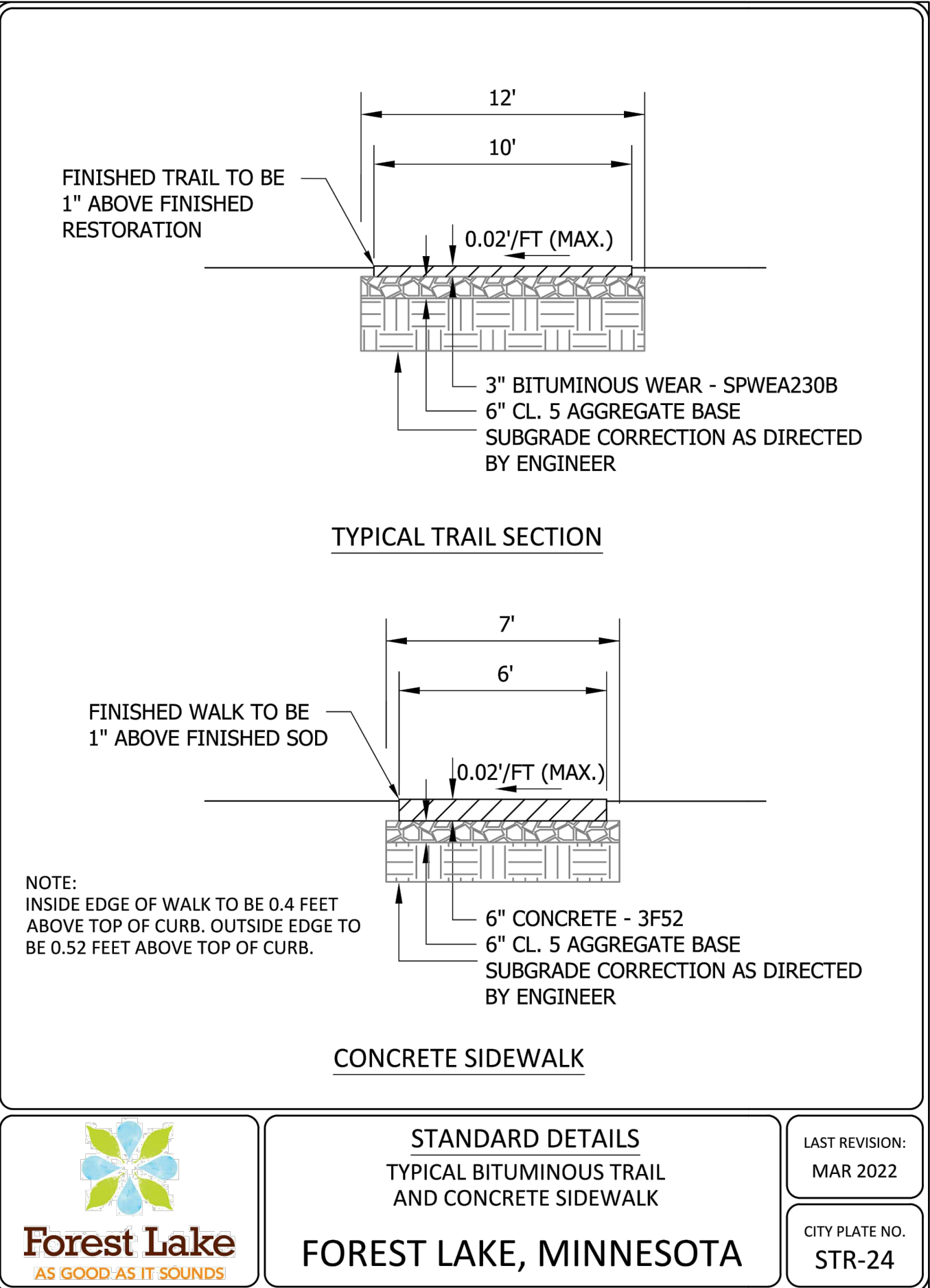
3 C502 FOREST LAKE, MINNESOTA
SANITARY SEWER SERVICE DETAIL
NOT TO SCALE



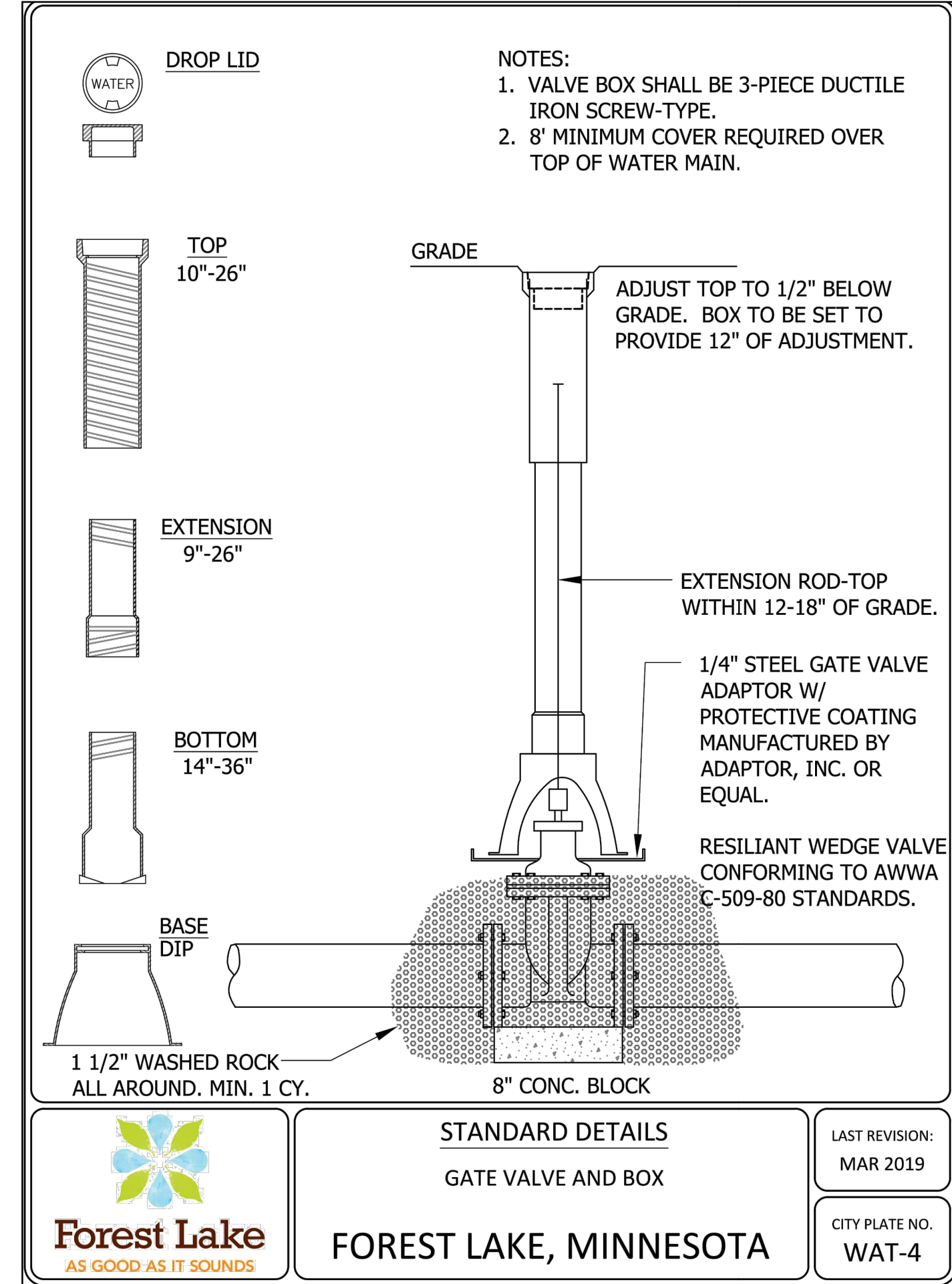
4 C502 FOREST LAKE, MINNESOTA
WATER MAIN OFFSET DETAIL
NOT TO SCALE



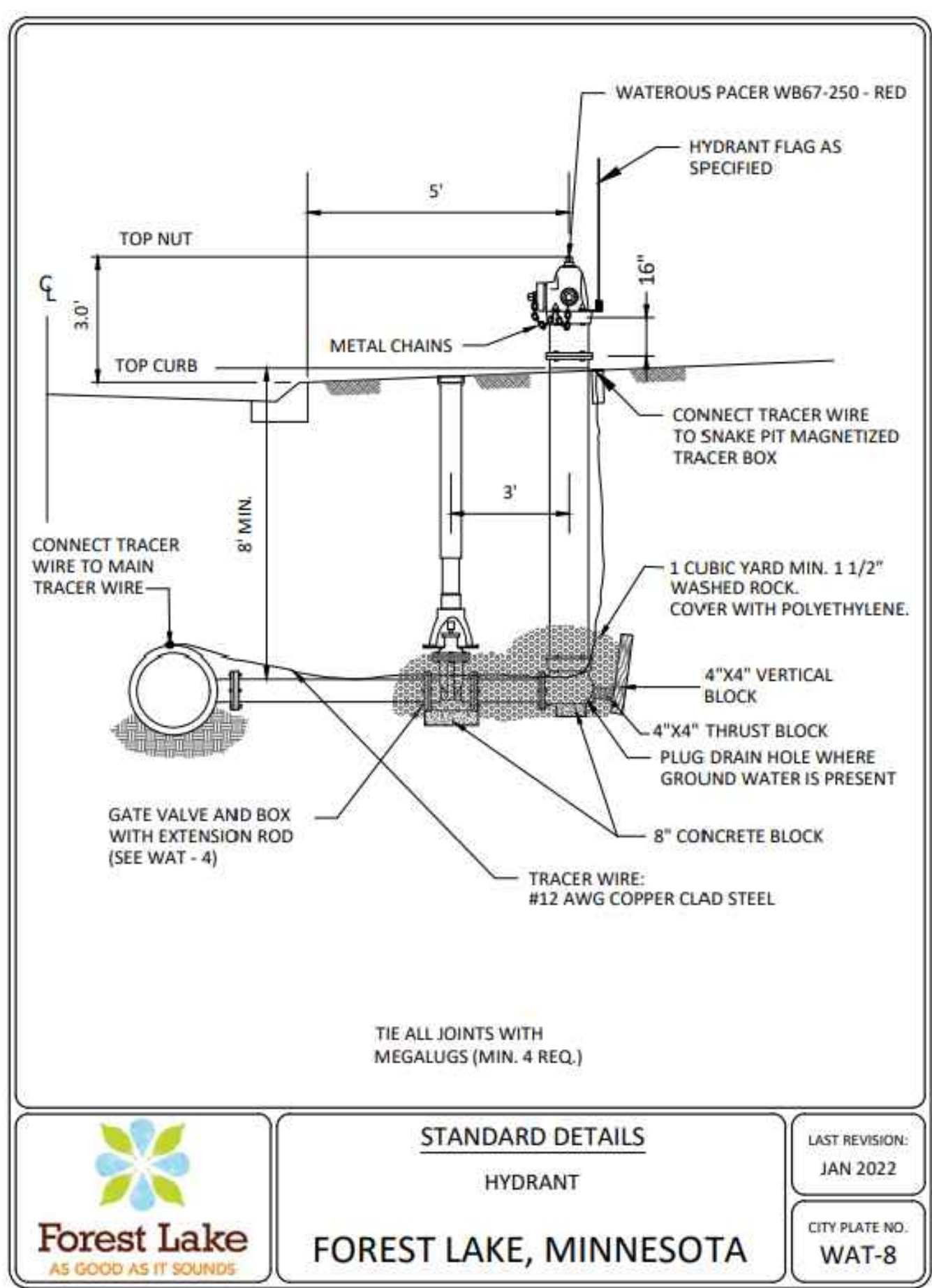
5 C502 FOREST LAKE, MINNESOTA
TRAFFIC SIGN DETAIL
NOT TO SCALE



6 C502 FOREST LAKE, MINNESOTA
CITY CONCRETE SIDEWALK DETAIL
NOT TO SCALE



7 C502 FOREST LAKE, MINNESOTA
CITY GATE VALVE AND BOX DETAIL
NOT TO SCALE



8 C502 FOREST LAKE, MINNESOTA
HYDRANT DETAIL
NOT TO SCALE

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE

Larson Engineering, Inc.
3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsonegr.com

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140
Date xx.xx.24
Drawn By KBK

REVISIONS:		
No.	Description	Date

WYNCO PROPOERTIES
NEW BUILDING & PARKING LOT
FOREST LAKE, MN 55025

C502
DETAILS

4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM
651.292.1061

PROJECT SPECIFIC SWPPP INFORMATION:

I. GENERAL CONSTRUCTION ACTIVITY INFORMATION

PROJECT NAME:
PROJECT LOCATION:

G2 DENTAL NEW BUILDING AND PARKING LOT
SW CENTENNIAL DR & 9TH AVENUE SW
FOREST LAKE, MN 55025

PROJECT CONTACTS
OWNER:

G2 DENTAL
1068 LAKE STREET SOUTH, SUITE 209
FOREST LAKE, MN 55025
CONTACT: 651-464-2248

ENGINEER:

LARSON ENGINEERING, INC.
816 WEST ST. GERMAIN, SUITE 308
ST. CLOUD, MN 56301
CONTACT: TOM HERKENHOFF, P.E., 320-774-1944,
THERKENHOFF@LARSONENGR.COM

CONTRACTOR:

COMPANY (TBD)
ADDRESS
CITY, STATE, ZIP
CONTACT: NAME, PHONE, EMAIL

CITY WHERE WORK WILL TAKE PLACE:
COUNTY WHERE WORK WILL TAKE PLACE:

FOREST LAKE, MN
WASHINGTON

LATITUDE/LONGITUDE OF APPROXIMATE CENTROID OF PROJECT:

45° 16' 10" N, 92° 59' 08" W

PROJECT TYPE (CIRCLE ONE):

RESIDENTIAL COMMERCIAL/INDUSTRIAL

ROAD CONSTRUCTION

RESIDENTIAL & ROAD CONSTRUCTION

OTHER (DESCRIBE):

DATES OF CONSTRUCTION (ESTIMATED):

Construction start date: SPRING 2024
Construction completion date: FALL 2024

PROJECT DESCRIPTION:

Construction consists of construction of a new building, parking lot, drives, sidewalks, stormwater basins, utilities, and all associated grading/erosion control measures.

PROJECT LIMITS:

See the project plans, in particular the grading & erosion control plans, for site disturbance limits.

SITE DISTURBANCE SUMMARY (to nearest tenth acre):

Total number of acres to be disturbed:	1.1
Pre-Construction acres of Impervious:	0.0
Post-Construction acres of Impervious:	0.6
Total new impervious acres:	0.6

II. RECEIVING WATERS

RECEIVING WATERS (WITHIN ONE MILE OF PROJECT PROPERTY EDGE):

NAME OF WATER BODY	TYPE	SPECIAL WATER?	IMPAIRED WATER?
Clear Lake	Lake	No	Yes
Forest Lake	Lake	No	Yes
Judicial Ditch 2	Ditch	No	Yes

TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS

n/a

IDENTIFY WETLAND IMPACTS:

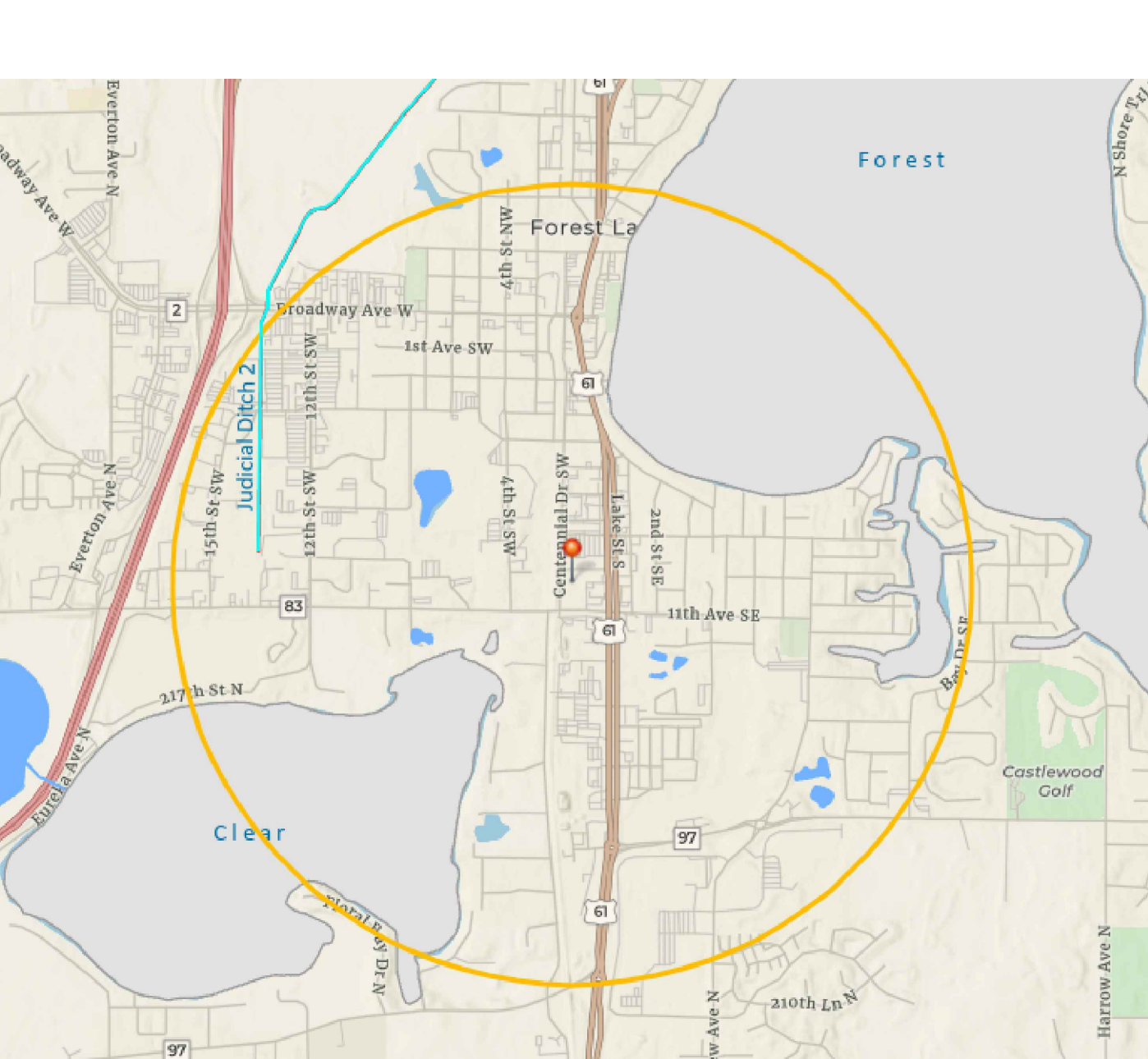
1. Will construction result in any potential adverse impacts to wetlands, including excavation, degradation of water quality, draining, filling, permanent inundation or flooding, conversion to a stormwater pond?
Yes.
If yes, describe impacts and mitigation measures that were taken to address the impacts and include copies of permits or approvals from an official state wide wetland program issued specifically for this project or site:
The project includes a de-minimus exception for filling +/-354 SF which is below the allowed 400 SF, see WCA Joint Application.

ENVIRONMENTALLY SENSITIVE AREAS:

1. Identify adjacent public waters where the MN DNR has declared "work in water restrictions" during fish spawning timeframes:
None identified.

2. Describe any stormwater mitigation measures that will be implemented, as a result of an environmental review, endangered or threatened species review or archeological site review:
N/A

PROJECT LOCATION AND RECEIVING WATERS MAP:



GENERAL SWPPP REQUIREMENTS AND NOTES:

SWPPP AMENDMENTS (SECTION 6):

- One of the individuals described in item 21.2.a or 21.2.b of the permit or another qualified individual must complete all SWPPP changes. Changes involving the use of less stringent BMPs must include a justification describing how the replacement BMP is effective for the site characteristics.
- The SWPPP shall be amended to include additional or modified BMPs as necessary to correct problems identified or address situations whenever there is a change in design, construction, operation, maintenance, weather or seasonal conditions having a significant effect on the discharge of pollutants to surface waters or groundwater.
- The SWPPP shall be amended to include additional or modified BMPs as necessary to correct problems identified or address situations whenever inspections or investigations by the site owner or operator, USEPA or MPCA officials indicate the SWPPP is not effective in eliminating or significantly minimizing the ischarge of pollutants to surface waters or groundwater or the discharges are causing water quality standard exceedances (e.g., nuisance conditions as defined in Minn. R. 7050.0210, subp. 2 or the SWPPP is not consistent with the objectives of the USEPA approved TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

- All BMPs identified in the SWPPP document and construction plans shall be selected, installed, and maintained in an appropriate and functional manner in accordance with relevant manufacturer specifications and accepted engineering practices.
- Do not disturb more land (i.e., phasing) than can be effectively inspected and maintained in accordance with Section 11.

TEMPORARY EROSION PREVENTION PRACTICES (SECTION 8)

- Prior to beginning any construction work at the site, locations of areas not to be disturbed must be delineated (e.g., with flags, stakes, signs, silt fence, snow fence, etc.) throughout the project site.
- Minimize the need for disturbance of portions of the project with steep slopes. For those sloped areas which must be disturbed, use techniques such as phasing and stabilization practices designed for steep slopes (e.g., slope draining and terracing).
- Stabilize all exposed soil areas (including stockpiles). Stabilization must be initiated immediately to limit soil erosion whenever any construction activity has permanently or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days (or 7 days if within one mile of an identified impaired water). Stabilization must be completed no later than 14 calendar days (or 7 days if within one mile of an identified impaired water) after the construction activity has ceased.
- Stabilization is not required on constructed base components of roads, parking lots, and similar surfaces. Stabilization is not required on temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) but sediment controls must be placed at the base of the stockpile.
- For Public Waters that the Minnesota Department of Natural Resources has promulgated "work in water restrictions" during specified fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete the stabilization activities within 24 hours during the restriction period.
- Stabilize the normal wetted perimeter of the last 200 linear feet of temporary or permanent drainage ditches or swales that drain water from the site within 24 hours after connecting to a surface water or property edge. Stabilize remaining portions of temporary or permanent ditches or swales within 14 calendar days (or 7 days if within one mile of an identified impaired water) after connecting to a surface water or property edge and construction in that portion of the ditch temporarily or permanently ceases.
- Temporary or permanent ditches or swales being used as sediment containment systems during construction (with properly designed rock-ditch checks, bio rolls, silt dikes, etc.) do not need to be stabilized during the temporary period of use as a sediment containment system. These areas must be stabilized within 24 hours after no longer being used for as a sediment containment system.
- Applying mulch, hydromulch, tackifier, polyacrylamide or similar erosion prevention practices is not acceptable within any portion of the normal wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.
- Pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours after connection to a surface water or permanent stormwater treatment system.
- Route water around unstabilized areas on the site and to reduce erosion, unless infeasible. Use erosion controls and velocity dissipation devices such as check dams, sediment traps, riprap, or grouted riprap at outlets within and along the length of any constructed stormwater conveyance channel, and at any outlet, to provide a non-erosive flow velocity, to minimize erosion of channels and their embankments, outlets, adjacent stream banks, slopes, and downstream waters during discharge conditions.
- Unless infeasible due to lack of pervious or vegetated areas, direct discharges from BMPs to vegetated areas of the site (including any natural buffers) in order to increase sediment removal and maximize stormwater infiltration. Use velocity dissipation devices if necessary to prevent erosion when directing stormwater to vegetated areas.
- Infiltration areas shall not be excavated until all upstream areas have been stabilized and/or upstream BMPs are in place to properly prevent sediment deposition. Only low impact equipment shall be allowed in infiltration areas which shall be clearly identified, staked, and marked/fenced off.
- Project phasing shall be implemented to ensure land disturbance and temporary erosion control measures can be effectively inspected and maintained throughout the duration of the project in accordance with the Inspection and Maintenance requirements of Section 11.

TEMPORARY SEDIMENT CONTROL PRACTICES (SECTION 9)

- Sediment control practices must be established on all down gradient perimeters and be located upgradient of any buffer zones. The perimeter sediment control practices must be in place before any upgradient land-disturbing activities begin. These practices shall remain in place until Final Stabilization has been established.
- If downgradient sediment controls become overloaded, based on frequent failure or excessive maintenance requirements, additional upgradient sediment control practices or redundant BMPs shall be installed to eliminate the overloading concerns. All changes shall be recorded in the SWPPP.
- Temporary or permanent drainage ditches and sediment basins designed as part of a sediment containment system (e.g., ditches with rock-check dams) require sediment control practices only as appropriate for site conditions.
- A floating silt curtain placed in the water is not an acceptable sediment control BMP except when working on a shoreline or below the waterline. The perimeter sediment control activity (e.g., installation of rip rap along the shoreline) in that area is complete, upland perimeter control practices shall be installed if exposed soils still drain to a surface water.
- Re-install all sediment control practices that have been adjusted or removed to accommodate short-term activities such as clearing or grubbing, or passage of vehicles, immediately after the short-term activity has been completed. Complete any short-term activity that requires removal of sediment control practices as quickly as possible and re-install sediment control practices before the next precipitation event even if the short-term activity is not complete.
- All storm drain inlets must be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be removed for a particular inlet if a specific safety concern (street flooding/freezing) has been identified by the Permittee(s) or the jurisdictional authority (e.g., city/county/township/MnDOT engineer). The Permittee(s) must document the need for removal in the SWPPP.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in any natural buffers or surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
- Where vehicle traffic leaves any part of the site (or onto paved roads within the site) install a vehicle tracking BMP to minimize the track out of sediment from the construction site. Examples of vehicle tracking BMPs include (but are not limited to) rock pads, mud mats, slash mulch, concrete or steel wash racks, or equivalent systems. Use street sweeping if such vehicle tracking BMPs are not adequate to prevent sediment from being tracked onto the street.
- The Permittee(s) must install temporary sedimentation basins as required in accordance with permit requirements.
- Minimize soil compaction by restricting vehicle access in areas where final vegetative stabilization will occur, unless otherwise infeasible.
- Discharges from BMPs shall be directed to vegetated areas unless infeasible.
- Preserve a 50 foot natural buffer or (if a buffer is infeasible on the site) provide redundant (double) perimeter sediment controls when a surface water is located within 50 feet of the project's earth disturbances and stormwater flows to the surface water.
- Perimeter sediment controls shall be installed at least 5 feet apart unless limited by lack of available space. Natural buffers are not required adjacent to road ditches, judicial ditches, county ditches, stormwater conveyance channels, storm drain inlets, and sediment basins. If preserving the buffer is infeasible, the reasons for which shall be recorded in the SWPPP.
- The use of polymers, flocculants, or other sedimentation treatment chemicals, if used on the project, shall be used in accordance with accepted engineering practices, dosing specifications, and sediment removal design specifications provided by the product manufacturer or supplier. Use conventional erosion and sediment controls prior to the chemical addition to ensure effective treatment. Chemicals may only be applied where treated stormwater is directed to a sediment control system which allows or filtration of settlement of the floc prior to discharge.
- If the proposed project as shown on the plans has 10 or more acres draining to a common location or 5 acres or more if the site is within one mile of a special or impaired water (as identified in Section II - Receiving Waters and Environmentally Sensitive Areas), then a temporary sediment basin must be constructed as shown on the plans. Temporary sediment basins will have a minimum of 3,600 cubic feet of storage per acre draining to the basin. The basin outlet shall provide for discharging water from the surface to minimize discharging of pollutants. A stabilized emergency overflow shall be constructed.

DEWATERING AND BASIN DRAINING (SECTION 10)

- Discharge turbid or sediment-laden waters related to dewatering or basin draining (e.g., pumped discharges, trench/ditch cuts for drainage) to a temporary or permanent sediment basin on the project site unless infeasible. Discharge from the temporary or permanent sedimentation basins to surface waters if the basin water has been visually checked to ensure adequate treatment has been obtained in the basin and that nuisance conditions will not result from the discharge. If the water cannot be discharged to a sedimentation basin prior to entering the surface water, it must be treated with the appropriate BMPs, such that the discharge does not adversely affect the receiving water or downstream properties.
- Discharge water that contains oil or grease, must use an oil-water separator or suitable filtration device (e.g. cartridge filters, absorbents pads) prior to discharging the water.
- All water from dewatering or basin-draining activities must be discharged in a manner that does not cause nuisance conditions, erosion in receiving channels or downslope properties, erosion or scour in the immediate vicinity of discharge points, or inundation in wetlands causing significant adverse impact to the wetland.
- The use of filters with backwash water, haul the backwash water away for disposal, return the backwash water to the beginning of the treatment process, or incorporate the backwash water into the site in a manner that does not cause erosion. Discharge backwash water to the sanitary sewer if permission is granted by the sanitary sewer authority. Replace and clean the filter media used in dewatering devices when required to retain adequate function.

INSPECTIONS AND MAINTENANCE (SECTION 11)

- Owner and Contractor shall ensure that a trained person (as identified in item 21.2.b) of the permit will inspect the entire construction site at a minimum:
 - Once every seven (7) days during active construction, and
 - Within 24 hours after a rainfall event greater than 1/2 inch in 24 hours
 - Inspect all erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness during all routine and post-rainfall event inspections. All nonfunctional BMPs must be repaired, replaced, or supplemented with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow access unless another time frame is specified below. Investigate and comply with the following Inspection and Maintenance requirements:
 - All perimeter control devices must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches one-half (1/2) of the height of the device. These repairs must be made by the end of the next business day after discovery, or thereafter as soon as field conditions allow access.
 - Temporary and permanent sedimentation basins must be drained and the sediment removed when the depth of sediment collected in the basin reaches one-half (1/2) the storage volume. Drainage and removal must be completed within 72 hours of discovery, or as soon as field conditions allow access.
 - Inspect and photograph dewatering discharges at the beginning and at least once every 24 hours during operation.
 - Surface waters, including drainage ditches and conveyance systems, must be inspected for evidence of erosion and sediment deposition during each inspection. Remove all deltas and sediment deposited in surface waters, including drainage ways, catch basins, and other drainage systems, and restabilize the areas where sediment removal results in exposed soil. The removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints. Use all reasonable efforts to obtain access. If precluded, removal and stabilization must take place within seven (7) calendar days of obtaining access. Contact all local, regional, state and federal authorities and receiving any applicable permits, prior to conducting any work in surface waters.
 - Construction site vehicle exit locations must be inspected for evidence of off-site sediment tracking onto paved surfaces. Tracked sediment must be removed from all paved surfaces both on and off site within 24 hours of discovery, or if applicable, within a shorter time.
 - Streets and other areas adjacent to the project must be inspected for evidence of off-site accumulations of sediment. If sediment is present, it must be removed in a manner and at a frequency sufficient to minimize off-site impacts (e.g., fugitive sediment in streets could be washed into storm sewers by the next rain and/or pose a safety hazard to users of public streets).
 - Inspection frequency adjustment:
 - Inspections of areas with permanent cover can be reduced to once per month, even if construction activity continues on other portions of the site; or
 - where sites have permanent cover on all exposed soil and no construction activity is occurring anywhere on the site, inspections can be reduced to once per month and, after 12 months, may be suspended completely until construction activity resumes. The MPCA may require inspections to resume if conditions warrant; or
 - where construction activity has been suspended due to frozen ground conditions, inspections may be suspended. Inspections must resume within 24 hours of runoff occurring, or upon resuming construction, whichever comes first.
 - All inspections and maintenance activities within 24 hours of being conducted must be recorded and retained in the SWPPP. These records must include:
 - Date and time of inspections
 - Name of person(s) conducting inspections
 - Findings of inspections, including the specific location where corrective actions are needed
 - Corrective actions taken (including dates, times, and party completing maintenance activities)
 - Date and amount of all rainfall events greater than 1/2 inch (0.5 inches) in 24 hours. Rainfall amounts must be obtained by a properly maintained rain gauge installed onsite, a weather station that is within 1 mile of your location or a weather reporting system that provides site specific rainfall data from radar summaries.
 - If any discharge is observed to be occurring during the inspection, a record of all points of the property from which there is a discharge must be made, and the discharge should be described (i.e., color, odor, floating, settled, or suspended solids, foam, oil sheen, and other obvious indicators of pollutants) and photographed.
 - Any amendments to the SWPPP proposed as a result of the inspection must be documented within seven (7) calendar days.
 - All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area. All infiltration areas must be inspected to ensure that equipment is not being driven across the infiltration area.
- Implement the following pollution prevention management measures on the site:
- Storage, Handling, and Disposal of Construction Products, Materials, and Wastes shall comply with the following to minimize the exposure to stormwater of any of the products, materials, or wastes. Products or wastes which are either not a source of contamination to stormwater or are designed to be exposed to stormwater are not held to this requirement:
 - Building products that have the potential to leach pollutants must be under cover (e.g., plastic sheeting or temporary roofs) to prevent the discharge of pollutants or protected by a similarly effective means designed to minimize contact with stormwater.
 - Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscape materials must be under cover (e.g., plastic sheeting or temporary roofs) to prevent the discharge of pollutants or protected by similarly effective means designed to minimize contact with stormwater.
 - Hazardous materials, toxic waste, (including oil, diesel fuel, gasoline, hydraulic fluids, paint solvents, petroleum-based products, wood preservatives, additives, curing compounds, and acids) must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or hazardous materials must be in compliance with Minn. R. ch. 7045 including secondary containment as applicable.
 - Solid waste must be stored, collected and disposed of properly in compliance with Minn. R. ch. 7035.
 - Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. ch. 7041.
 - Fueling and Maintenance of Equipment or Vehicles; Spill Prevention and Response: Take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where chemicals or fuel will be loaded or unloaded including the use of drip pans or absorbents unless infeasible. Conduct fueling in a contained area unless infeasible. Ensure adequate supplies are available at all times to clean up discharged materials and that an appropriate disposal method is available for recovered spilled materials. Report and clean up spills immediately as required by Minn. Stat. § 115.061, using dry clean up measures where possible.
 - Vehicle and equipment washing: Wash the exterior of vehicles or equipment on the project site, washing must be limited to a defined area of the site. Runoff from the washing area must be contained in a sediment basin or other similarly effective controls and waste from the washing activity must be properly disposed of. Properly use and store soaps, detergents, or solvents. No engine degreasing is allowed on site.
 - Concrete and other washouts waste: Provide effective containment for all liquid and solid wastes generated by washout operations (concrete, stucco, paint, form release oils, curing compounds and other construction materials) related to the construction activity. The liquid and solid washout wastes must not contact the ground, and the containment must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

POLLUTION PREVENTION MANAGEMENT MEASURES (SECTION 12)

PERMIT TERMINATION (SECTIONS 4 AND 13)

- Permittees must submit a NOT within 30 days after all termination conditions listed in Section 13 are complete.
- Permittees must submit a NOT within 30 days after selling or otherwise legally transferring the entire site, including permit responsibility for roads (e.g., street sweeping) and stormwater infrastructure final clean out, or transferring portions of a site to another party. The permittees' coverage under the permit terminates at midnight on the submission date of the NOT.
- Permittees may terminate permit coverage prior to completion of all construction activity if they meet all of the following conditions:
 - Construction activity has ceased for at least 90 days; and
 - b. at least 90 percent (by area) of all originally proposed construction activity has been completed and permanent cover has been established on those areas; and
 - c. on areas where construction activity is not complete, permanent cover has been established; and
 - d. the site complies with items 13.3 through 13.7 of the permit.
- After permit coverage is terminated under this item, any subsequent development on the remaining portions of the site will require permit coverage if the subsequent development itself or as part of the remaining common plan of development or sale will result in land disturbing activity of one (1) or more acres in size.
- Permittees may terminate coverage upon MPCA approval after submitting information documenting the owner canceled the project.
- Permittees must complete all construction activity and must install permanent cover over all areas prior to submitting the NOT. Vegetative cover must consist of a uniform perennial vegetation with a density of 70 percent of its expected final growth. Vegetation is not required where the function of a specific area dictates no vegetation, such as impervious surfaces or the base of a sand filter.
- Permittees must clean the permanent stormwater system of any accumulated sediment and must ensure the system meets all applicable requirements in Section 15 through 19 of the permit and is operating as designed.
- Permittees must remove all sediment from conveyance systems prior to submitting the NOT.
- Permittees must remove all temporary synthetic erosion prevention and sediment control BMPs prior to submitting the NOT. BMPs designed to decompose on-site may be left in place.
- For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
- For construction projects on agricultural land (e.g., pipelines across cropland), disturbed land must be returned to its preconstruction agricultural condition prior to submitting the NOT.
- When submitting the NOT, permittees must include either ground or aerial photographs showing vegetative cover requirements have been met as listed above. All submitted photographs shall include the date and specific site location.

LONG TERM OPERATION AND MAINTENANCE:

- Upon the completion of construction activity and NPDES permit termination, in accordance with Sections 4 and 13, the Property Owner shall become the responsible party for long term operation and maintenance (O&M) of all permanent stormwater management features under this project.
- All associated operations, inspections, maintenance, and record keeping shall be performed by trained individual(s) familiar with the site stormwater management system.
- Record keeping of inspections and maintenance items shall be maintained by the Owner in accordance with applicable Maintenance Agreements/Declarations as required by local jurisdictional authorities.

2024.02.07 CITY SUBMITTAL - NOT FOR CONSTRUCTION

PROGRESSIVE
ARCHITECTURE

4920 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061



Larson
Engineering, Inc.

3524 Labore Road
White Bear Lake, MN 55110
651.481.9120 (F) 651.481.9201
www.larsonegr.com

© 2024 Larson Engineering, Inc. All rights reserved.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Herkenhoff, P.E.
Date: xx.xx.2024 Lic. No.: 25520

Project Number 12236140

Date xx.xx.24

Drawn By KBK

REVISIONS:

No.	Description	Date

WYNCO
PROPOERTIES
NEW
BUILDING &
PARKING LOT

FOREST LAKE, MN
55025

C601

SWPPP



- Ground Cover Key**

 - = 5' Wide Foundation Beds
- 2"-4" River Rock Installed over Geotextile.
- Beds Edged with Poly Edger.
 - = 6" - 15" Dresser Trap Rock Blend Installed over Geotextile.
 - = Areas to be Sodded (Include 4"s of Modified Topsoil as needed)
 - = Delineated Lowland No Work In Area
- Native Seeding**

 - = Native "Wet" Seed Mix in New Storm Water Ponds
-Tracked equipment only - As needed.
-Loosen / Rip soils Prior to seed installation.
-Install native seed mix w/ crop cover.
-Install natural net or net free erosion blanket.
 - = Upland Native Seed Mix / Wet Edge Native Seed Mix
-Loosen Soils Prior to seeding
-Install topsoil as needed.
-Install native seed mix.
-Install natural net or net free erosion blanket.

-Note:
[Landscape contractor to seek guidance from the RCWD for desirable native seed mix designs.](#)

 - = Areas Outside of Project Limits.
 - = Decorative Boulder Qty - 3
 - = Hardwood Shredded Mulch. (Natural Color)

- Plant Key**

Shrubs / Perennials

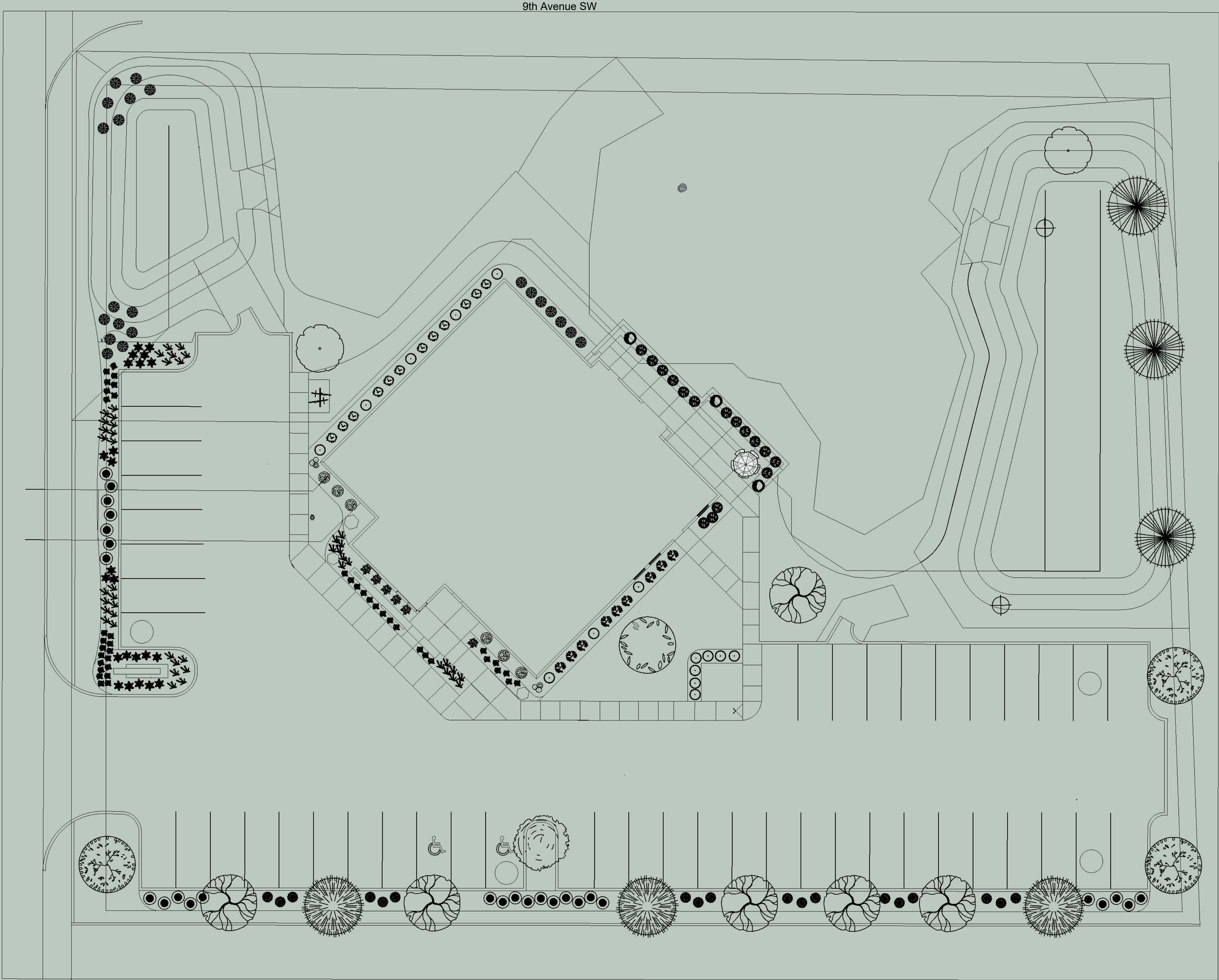
 - Highbush Cranberry (Qty - 18) #5 Cont.
 - Miss Kim Lilac (Qty - 28) #5 Cont.
 - Gold Flame Spirea (QTY - 9) #5 Cont.
 - Dwarf Bush Honeysuckle (QTY - 12) #5 Cont.
 - Snow Mound Spirea(QTY - 16) #5 Cont.
 - Bird Nest Spruce (QTY - 3) #5 Cont.
 - Siberian Iris - CB (QTY - 6) #1 Cont.
 - Karl Forester Grass (QTY - 46) #1 Cont.
 - Lime Light Hydrangea (QTY - 6) #5 Cont.
 - Redosier Dogwood (QTY - 22) #5 Cont.
 - Amber Jubilee Nine Bark (QTY - 15) #5 Cont.
 - Sun King Aralia (Qty -6) #2 Cont.
 - Prairie Dropseed (Qty - 41) #1 Cont.
 - Walkers Low Nepeta (Qty- 23) #1 Cont.

Trees

 - White Spruce (QTY 2) 6' B&B (IF ANY TBD)
 - Sunburst Honey Locust (QTY - 1) 2.5" Cal.
 - Spring Snow Crabapple Tree (QTY - 1) 1.5" Cal.
 - Bur Oak (QTY - 3) 2.5" Cal.
 - American Larch (QTY - 3) 2.5" Cal. (IF ANY TBD)
 - River Birch (QTY 6) Clump B&B
 - Redmond Linden (QTY - 0) 2.5" Cal.
 - Northwood Maple (QTY - 3) 2.5" Cal.

DRAWN BY SJM	PROJECT NO. 245.170	PROJECT WYNCO PROPERTIES New Building & Lot	ISSUE 11/2023	RE-ISSUE MM.DD.YY	G2 Dental Forest Lake, MN	Shoreline Landscaping & Contracting 29159 Ivywood Trail Chicago City, MN 55013 651-257-2655

DESCRIPTION
Landscape Plan
Scale 1/16" = 1'



Plant Key

Shrubs / Perennials

- Highbush Cranberry (Qty - 18) #5 Cont.
- Miss Kim Lilac (Qty - 28) #5 Cont.
- Gold Flame Spirea (QTY - 9) #5 Cont.
- Dwarf Bush Honeysuckle (QTY - 12) #5 Cont.
- Snow Mound Spirea(QTY - 16) #5 Cont.
- Bird Nest Spruce (QTY - 3) #5 Cont.
- Siberian Iris - CB (QTY - 6) #1 Cont.
- Karl Forester Grass (QTY - 46) #1 Cont.
- Lime Light Hydrangea (QTY - 6) #5 Cont.
- Redosier Dogwood (QTY - 22) #5 Cont.
- Amber Jubilee Nine Bark (QTY -15) #5 Cont.
- Sun King Aralia (Qty -6) #2 Cont.
- Prairie Dropseed (Qty - 41) #1 Cont.
- Walkers Low Nepeta (Qty- 23) #1 Cont.

Trees

- White Spruce (QTY 2) 6" B&B (IF ANY TBD)
- Sunburst Honey Locust (QTY - 1) 2.5" Cal.
- Spring Snow Crabapple Tree (QTY - 1) 1.5" Cal.
- Bur Oak (QTY - 3) 2.5" Cal.
- American Larch (QTY - 3) 2.5" Cal. (IF ANY TBD)
- River Birch (QTY 6) Clump B&B
- Redmond Linden (QTY - 0) 2.5" Cal.
- Northwood Maple (QTY - 3) 2.5" Cal.

Shoreline Landscaping & Contracting
29159 Ivywood Trail
Chicago City, MN 55013
651-257-2655

G2 Dental
Forest Lake, MN

ISSUE
11/2023

PROJECT NO.
245.170

DRAWN BY
SJM

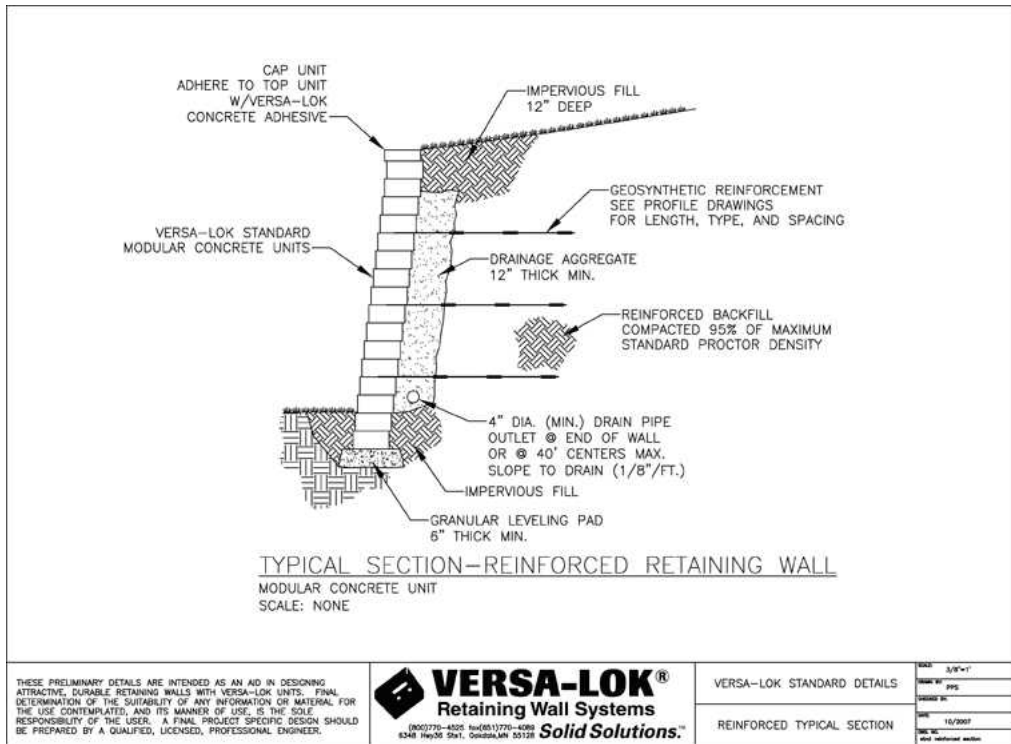
RE-ISSUE
MM.DD.YY

PROJECT
WYNCO PROPERTIES
New Building & Lot

DESCRIPTION
Landscape Plan
Scale 1/16" = 1'

Versa-Lok Retaining Wall (6" Block - 3" Cap)
Wall Dimensions = 3.5' Tall x 94' Long

A - 03 - 01

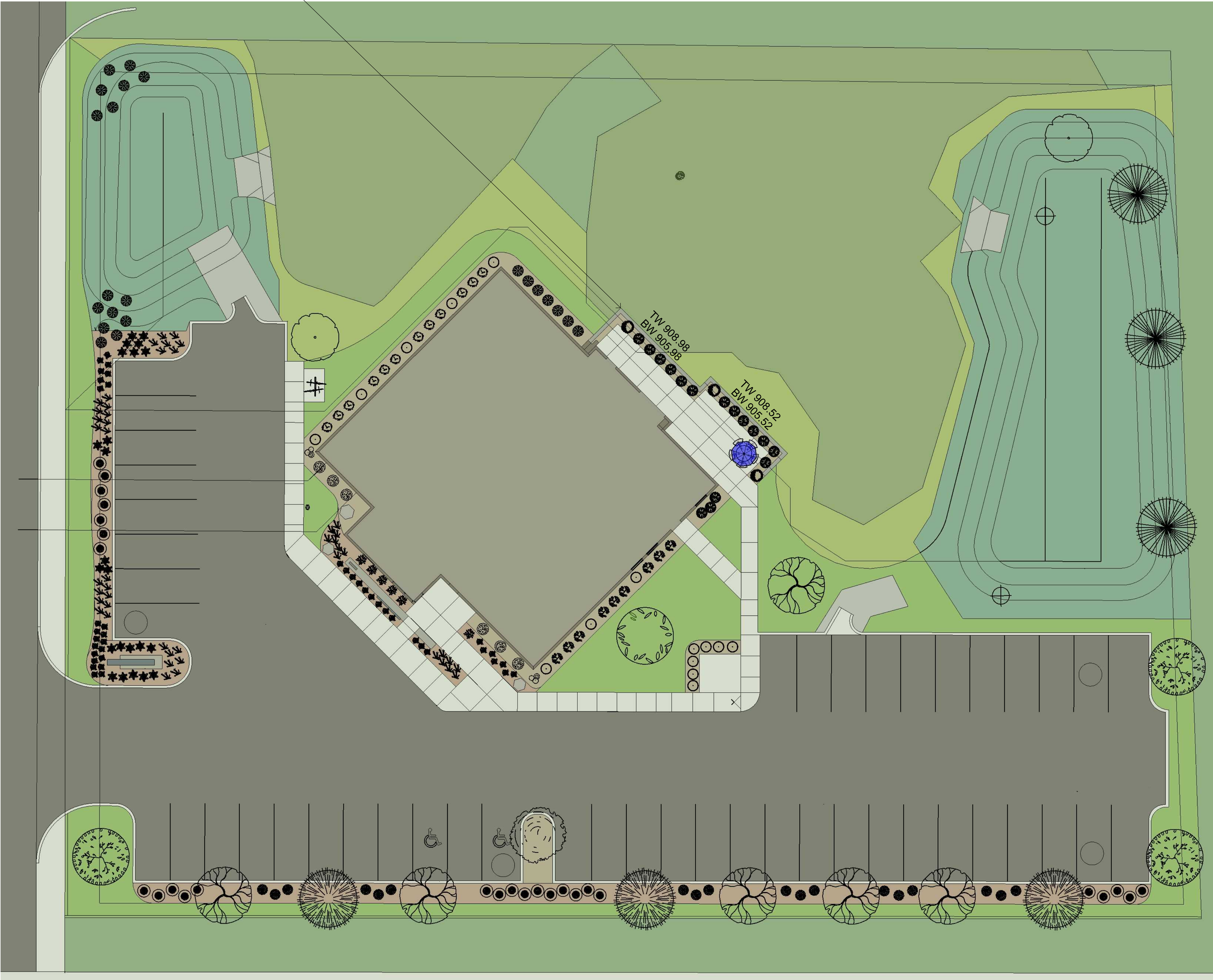


Note: Retaining Wall Contractor to install a minimum of one layer of Geosynthetic Reinforcement.

Weathered Charcoal Blend

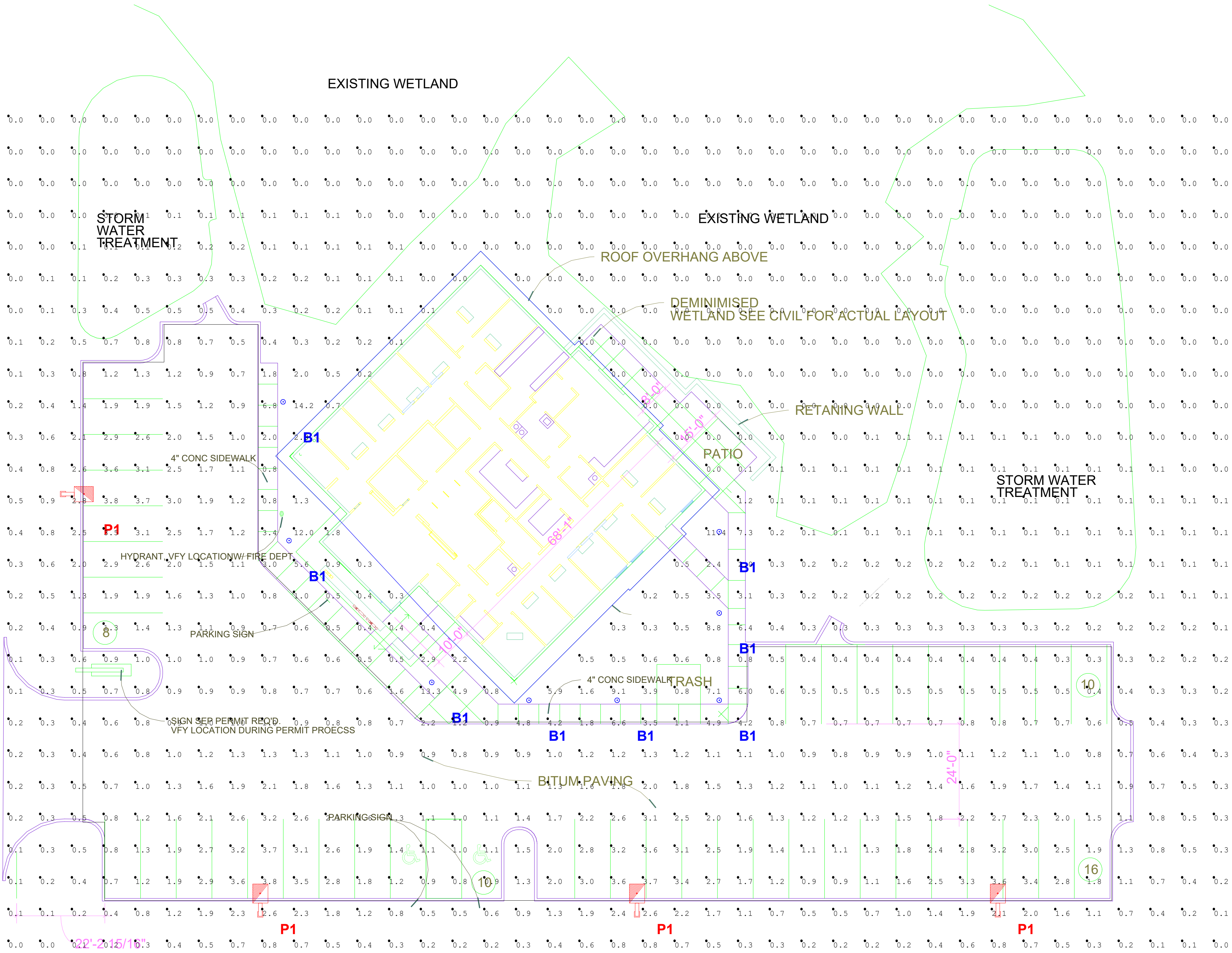


Weathered Bronze Blend



Luminaire Schedule						
Symbol	Qty	Label	Mounting Height	Lum. Watts	LLF	Description
	8	B1	3	17.7	0.900	PBL-36-14L-350-NW-G2-5-UNV
	4	P1	22	63.59	0.900	OPF-S-A03-740-T4M

Calculation Summary						
Project: Calculations						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot	Fc	1.49	3.8	0.3	4.97	12.67



DISCLAIMER: Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

Fixture nomenclature to be finalized by engineer and/or architect.
This drawings is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



SITE INFO	
LOT SIZE	61,994 SF (1.40 ACRES)
BUILDING SIZE	5782 SF
DRIVEWAY	19,178 SF
SIDEWALK	2417 SF
TOTAL HARD SURFACE	27,377 SF 44.1%
ZONING	MU-2 GENERAL MIXED USE
PARKING	
PARKING SPACES REQUIRED	24
PARKING SPACES STANDARD PROVIDED ACCESSABLE	42 2
TOTAL	44

PROGRESSIVE
Architecture

REVISIONS:		
No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

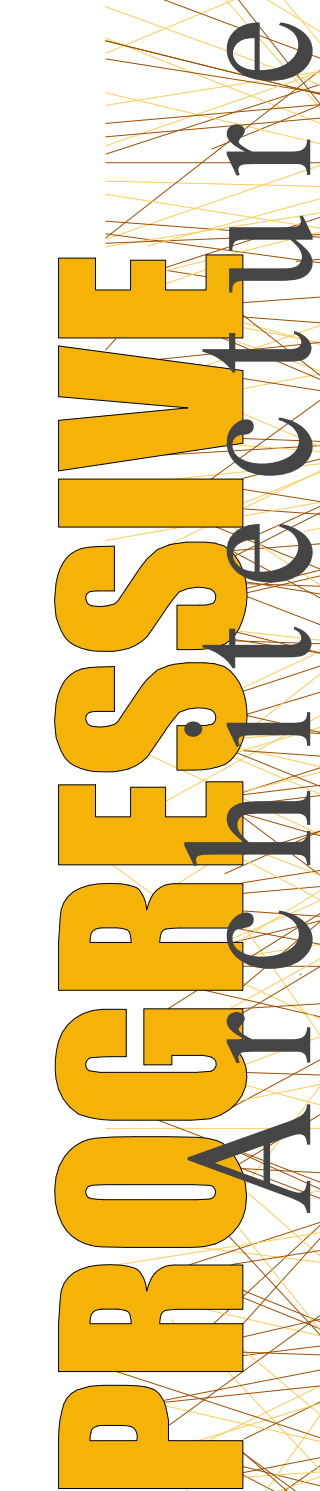
2.7.24	19826	
SCOTT C. MOWER	DATE	LICENSE #
Project Number		Project Number
Date		2.7.24
Drawn By		Author

Wynco
Properties

9XX
SW Centennial Dr.
Forest Lake MN

A1.0
SITE

PLANNING REV



I HEREBY CERTIFY THAT THIS
PLAN, SPECIFICATION, OR
REPORT WAS PREPARED BY
ME, OR UNDER MY DIRECT
SUPERVISION, AND THAT I AM
DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE
STATE OF MINNESOTA.


 2.7.24 1982
 SCOTT C. MOWER DATE LICEN
 Project Number Pro
 Num
 Date 2.
 Drawn By Aut

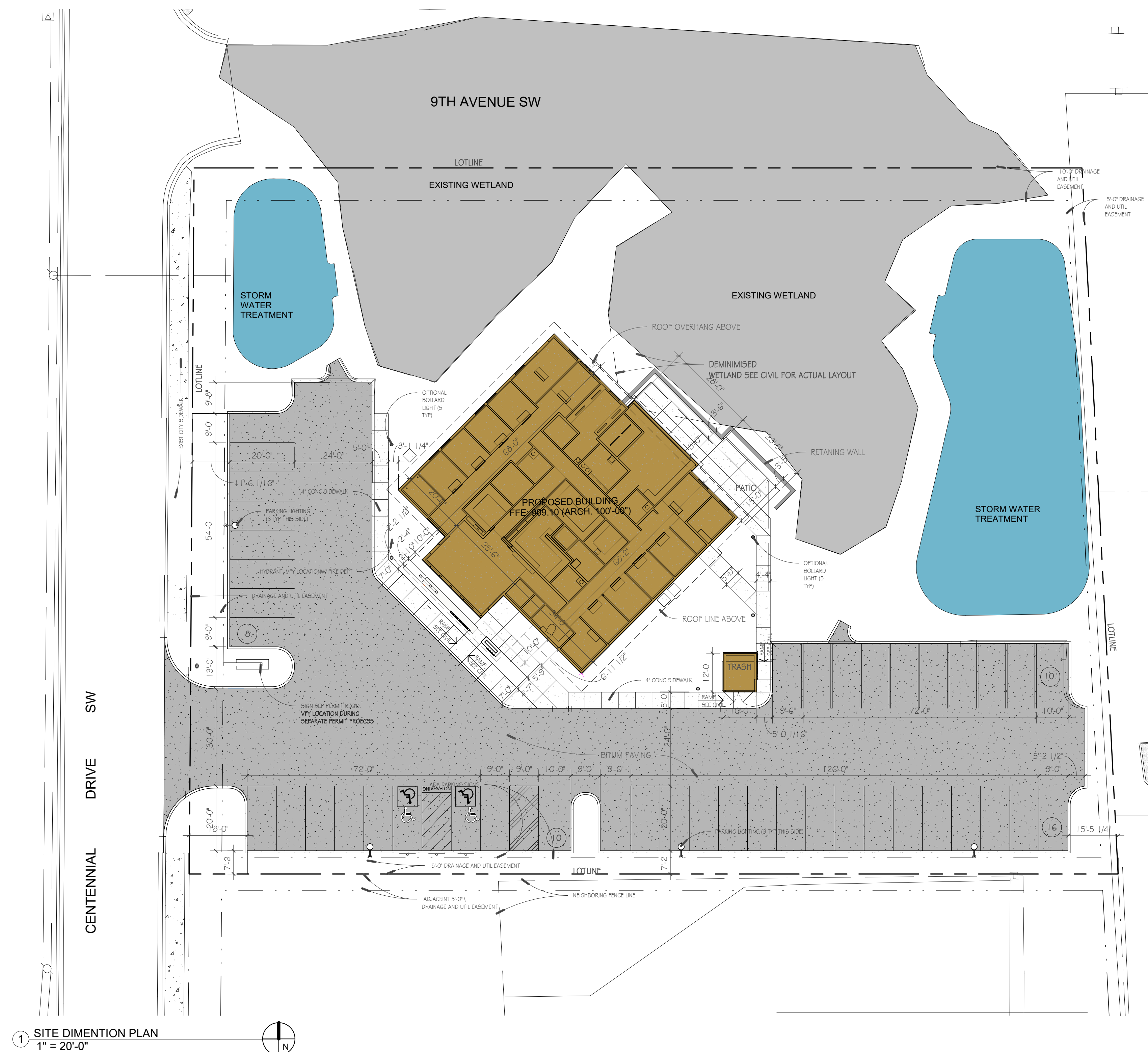
**Wynco
Properties**

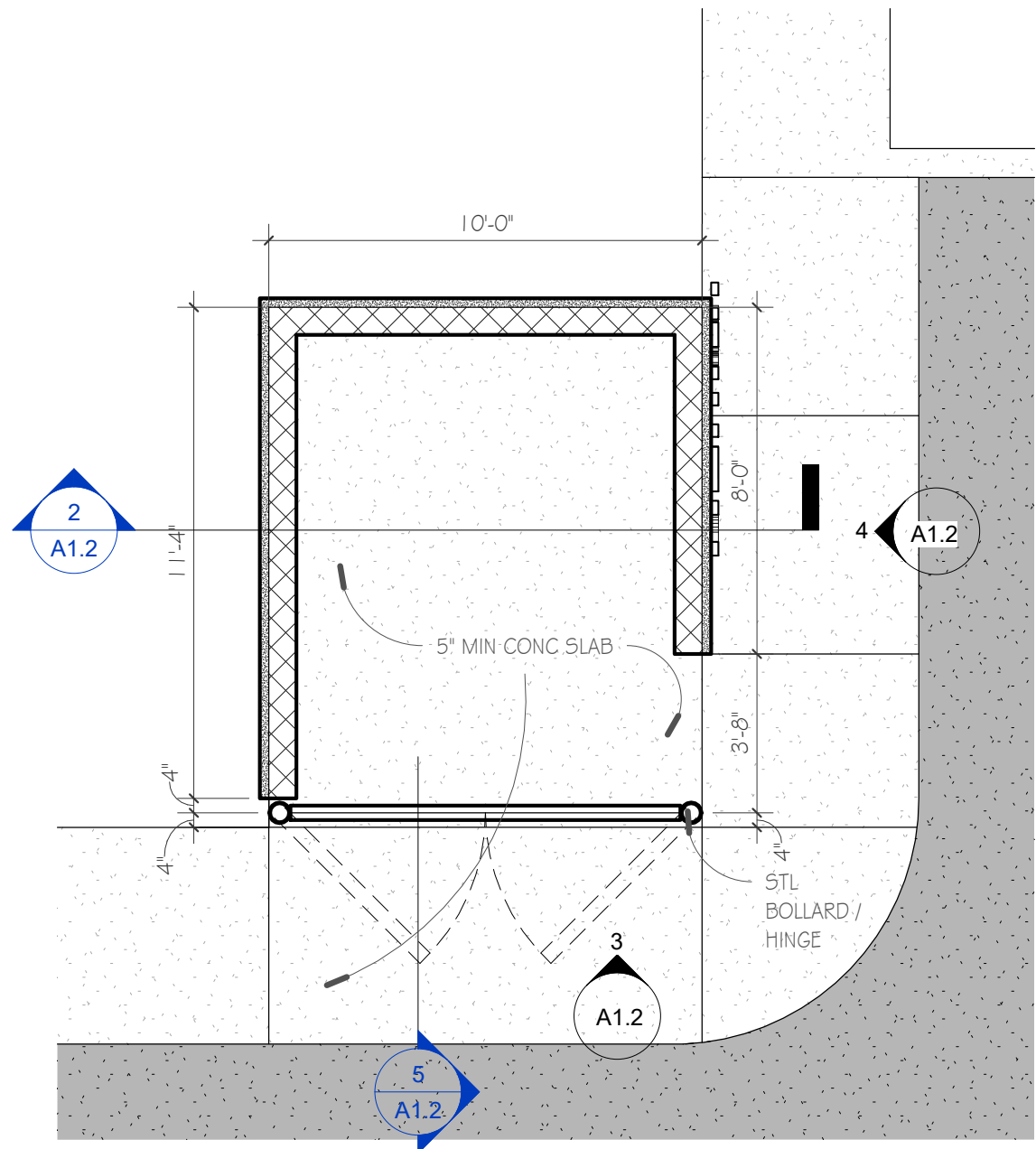
9XX
SW Centennial Dr
Forest Lake MN

A1.1

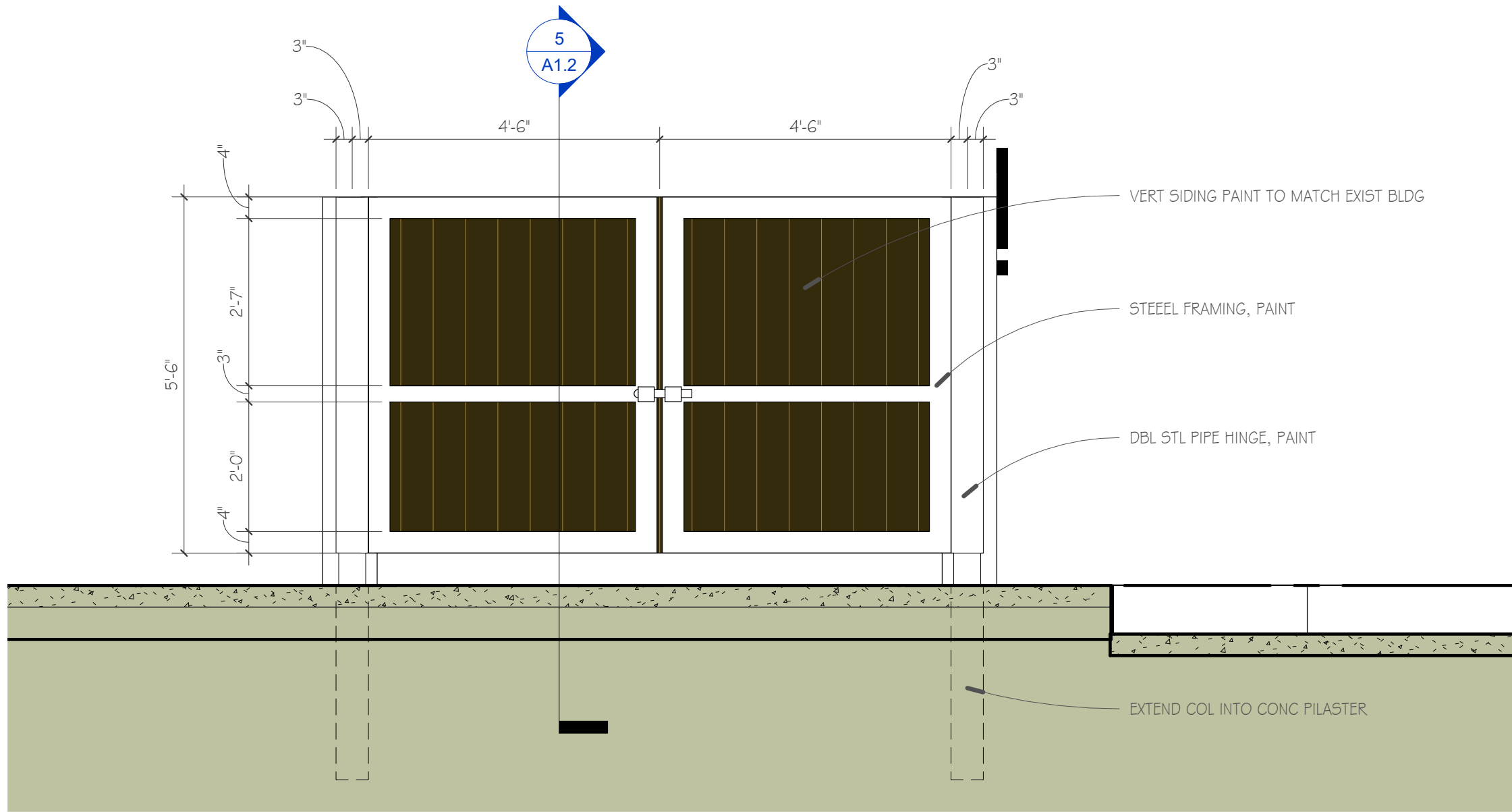
SITE DIMENSION

PLANNING REVIEW

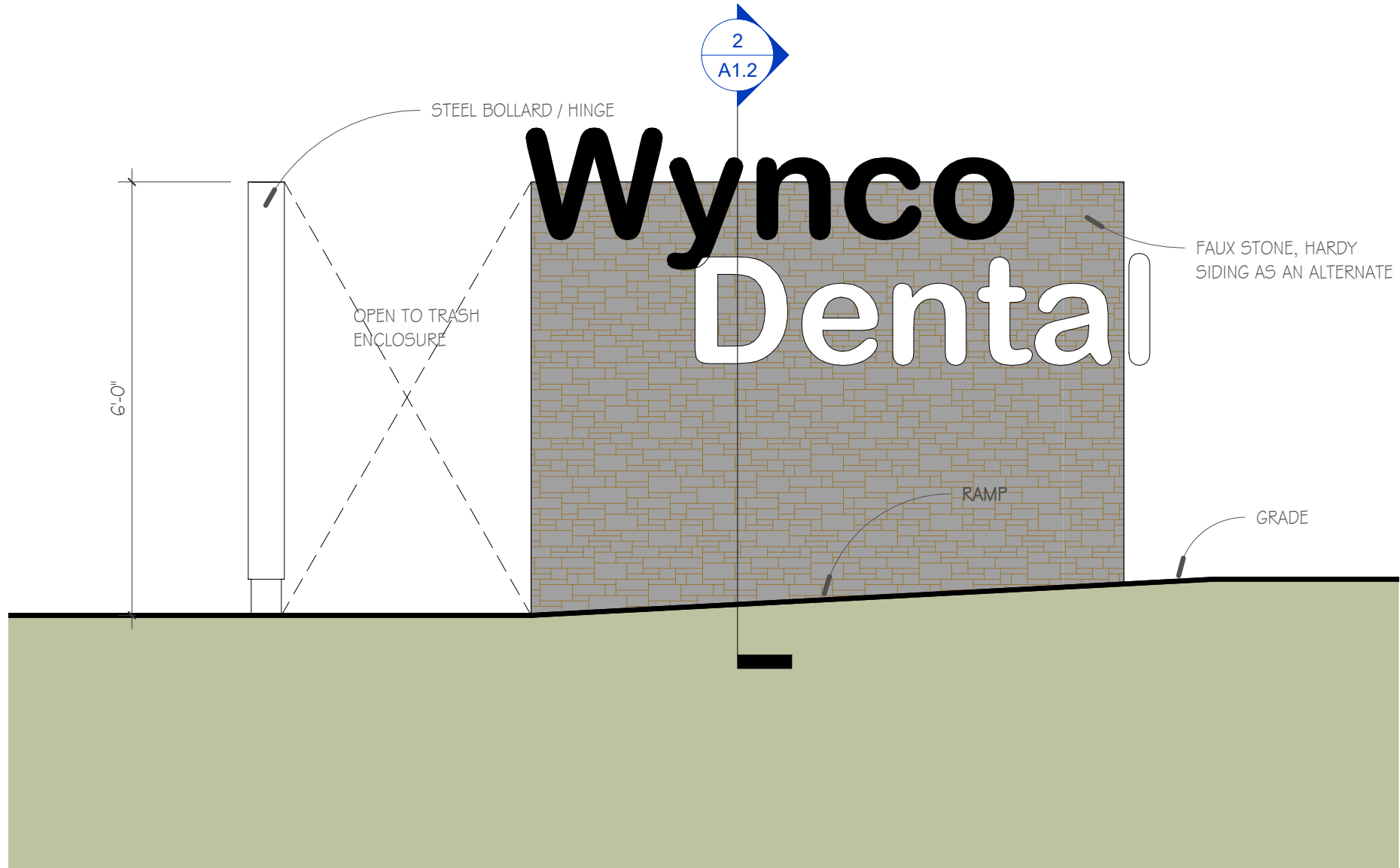




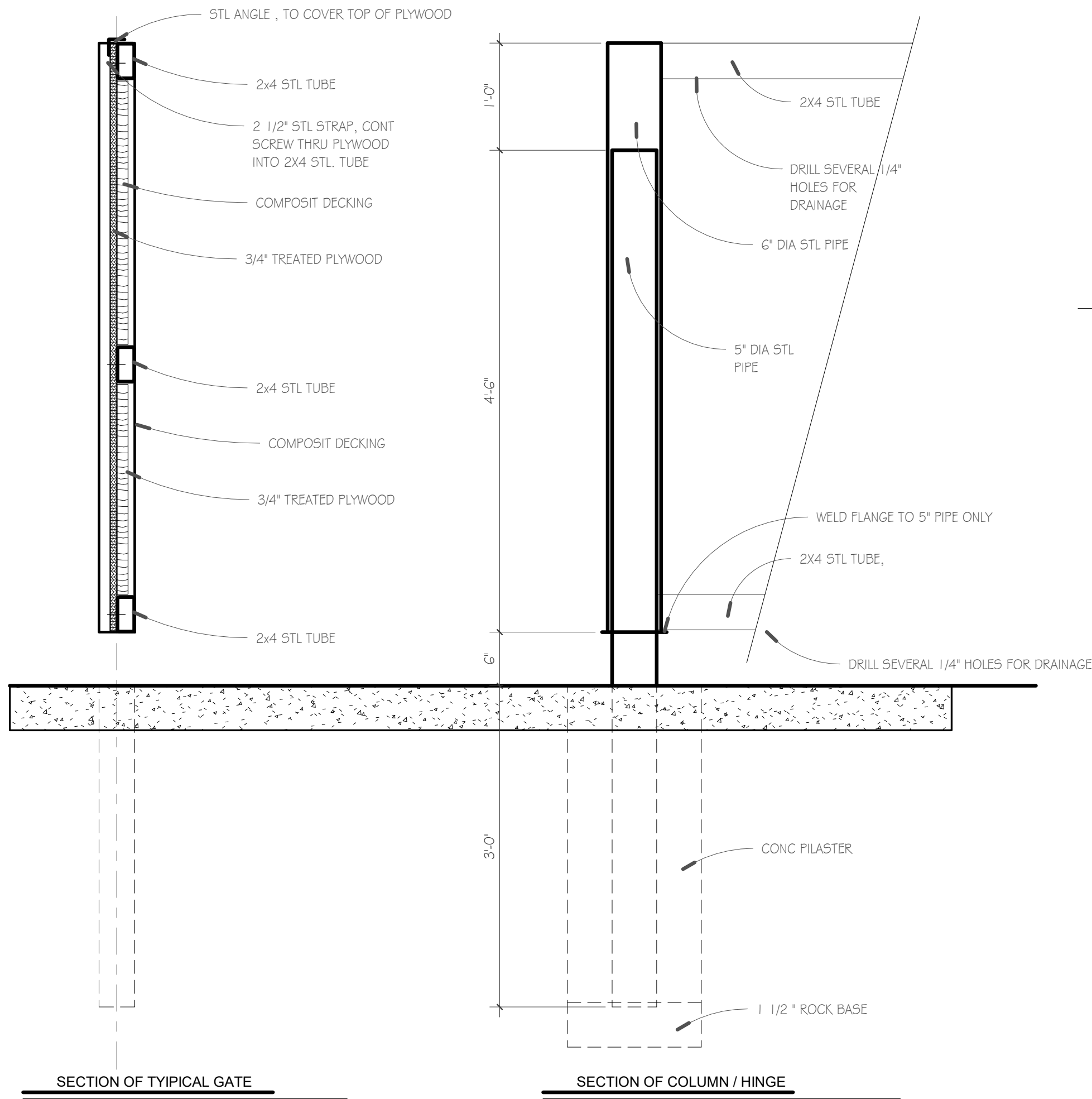
1 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



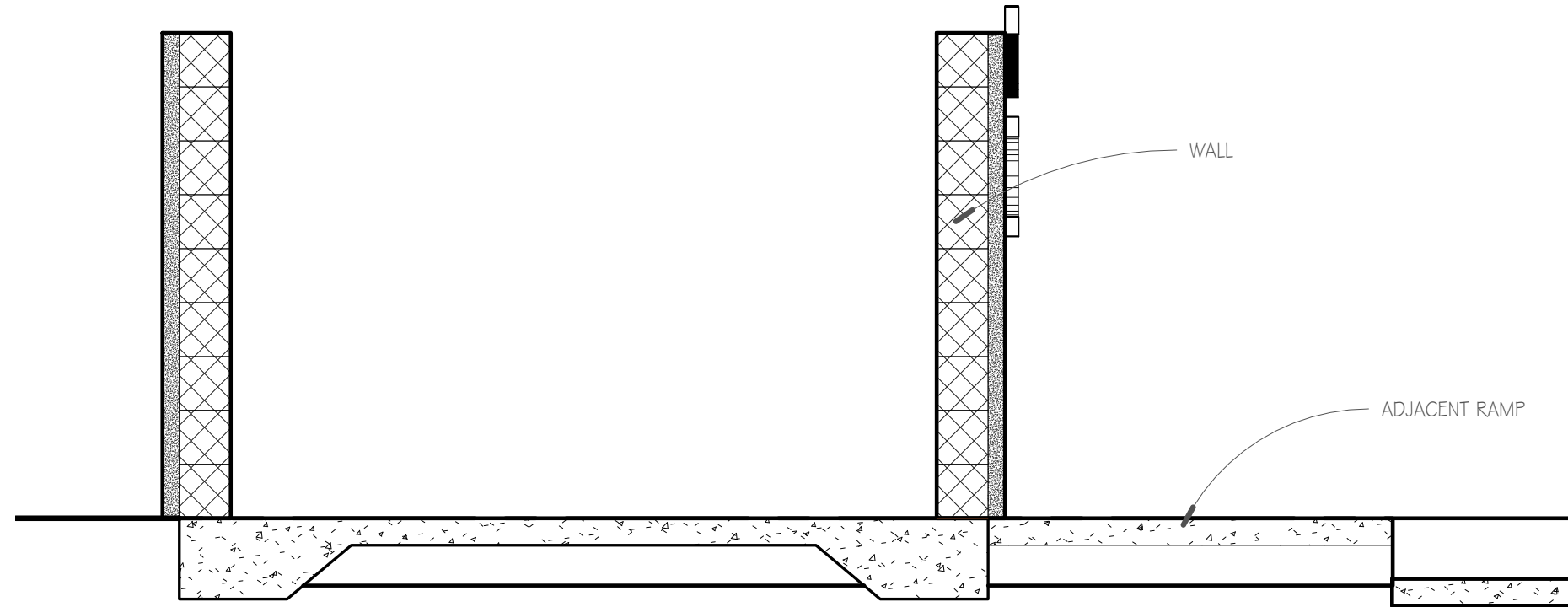
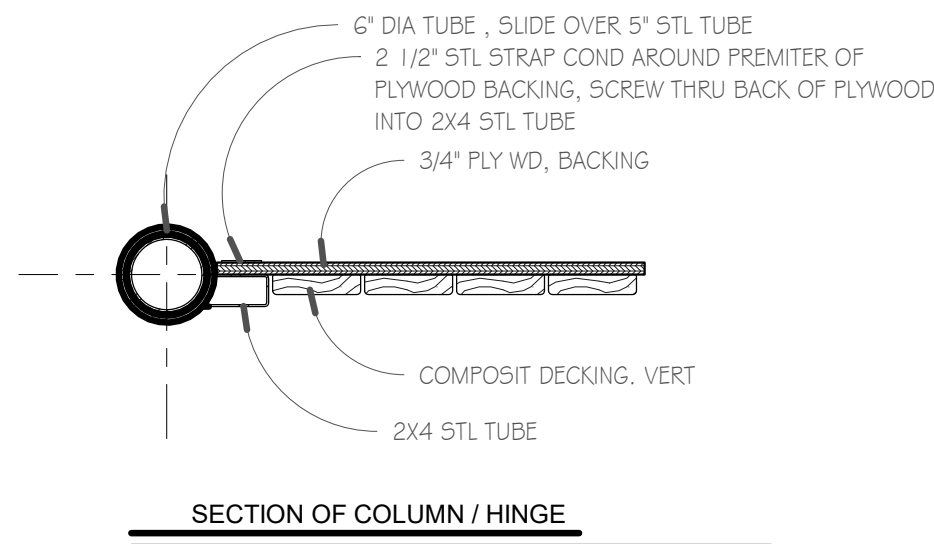
3 TRASH ENCLOSURE- SOUTH ELEVATION
1/2" = 1'-0"



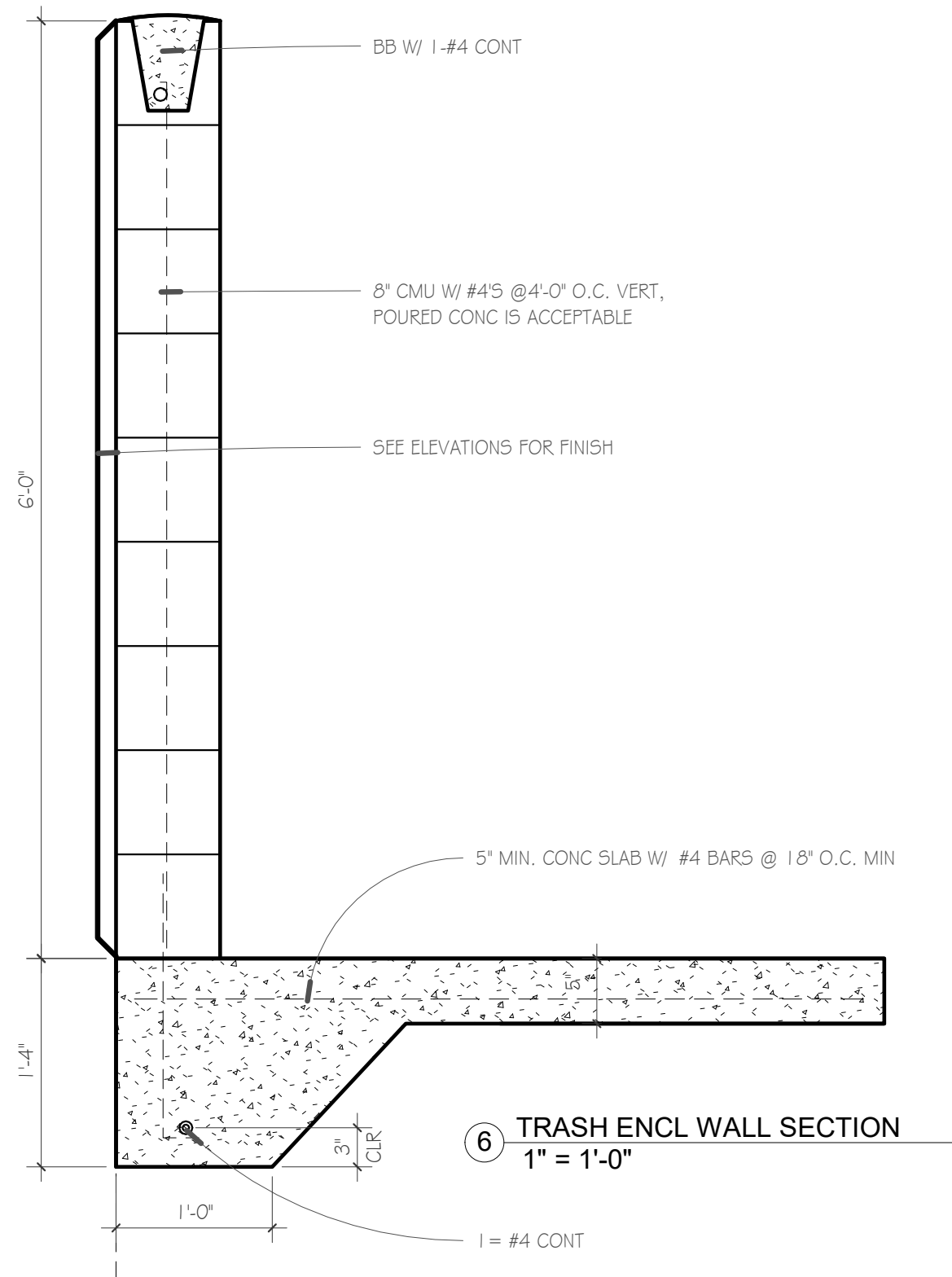
4 TRASH ENCLOSURE EAST ELEVATION
1/2" = 1'-0"



5 TRASH ENCLOSURE GATE SECTIONS
1" = 1'-0"



2 TRASH ENCLOSURE SECTION
1/2" = 1'-0"



6 TRASH ENCL WALL SECTION
1" = 1'-0"

REVISIONS:

No.	Description	Date
-----	-------------	------

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

	2.7.24	19826
SCOTT C. MOWER	DATE	LICENSE #
Project Number		Project Number
Date		2.7.24
Drawn By		PA

Wynco Properties

9XX
SW Centennial Dr.
Forest Lake MN

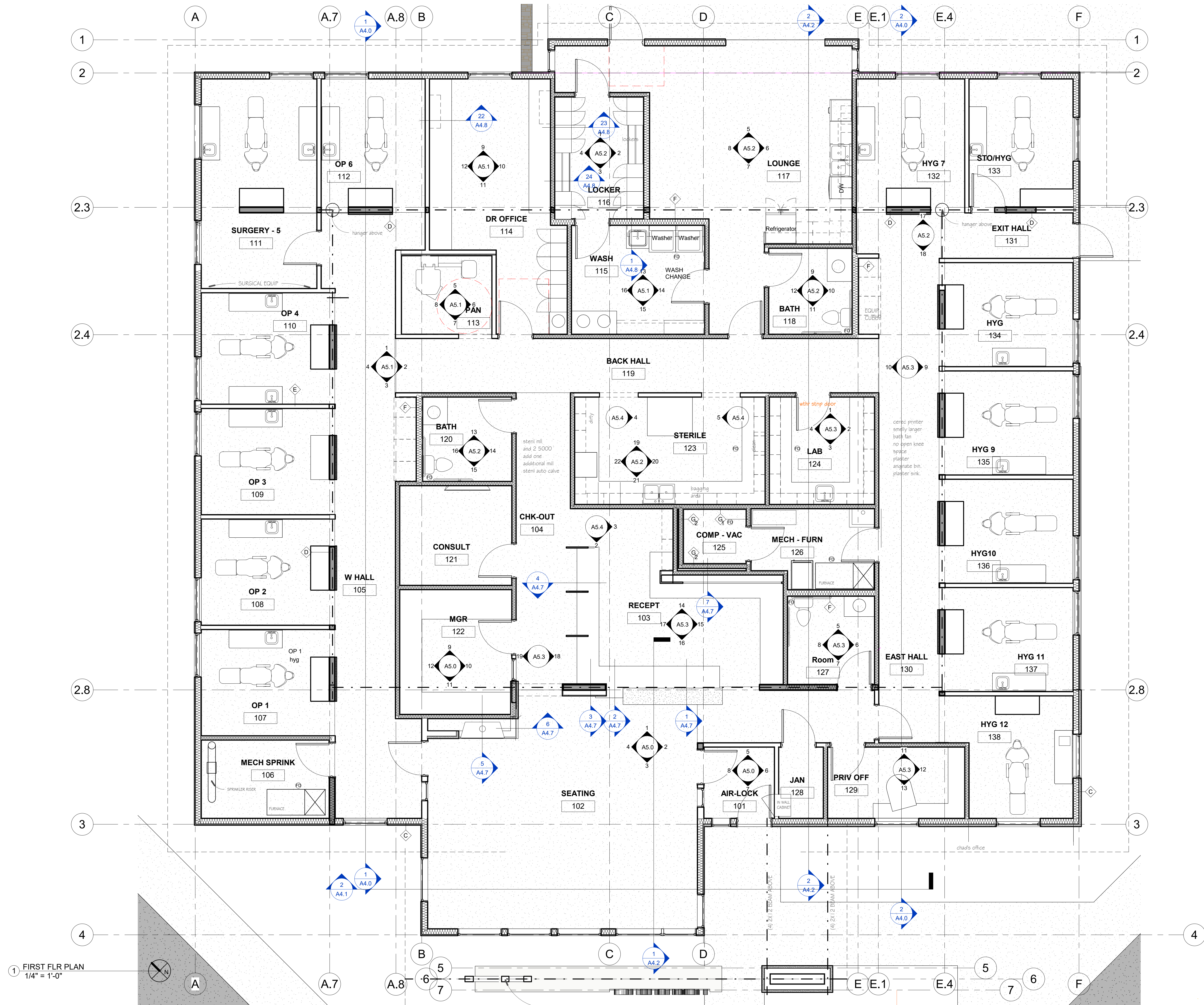
A1.2

TRASH ENCLOSURE

PLANNING REV

PROGRESSIVE Architecture

4920 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061



1 FIRST FLR PLAN
1/4" = 1'-0"

PROGRESSIVE
Architecture

4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061

REVISIONS:		
No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

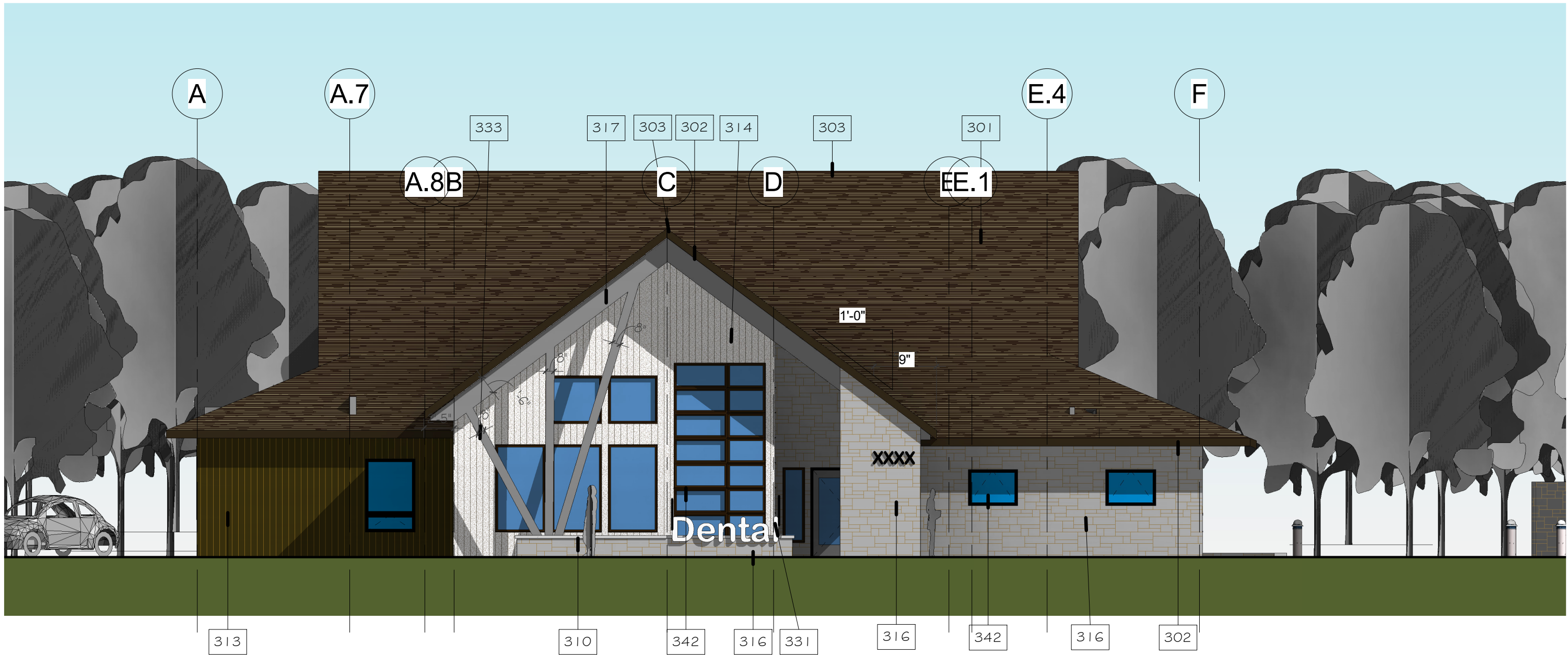

SCOTT C. MOWER DATE 2.7.24 LICENSE # 19826
Project Number Project Number
Date 2.7.24
Drawn By Author

Wynco
Properties

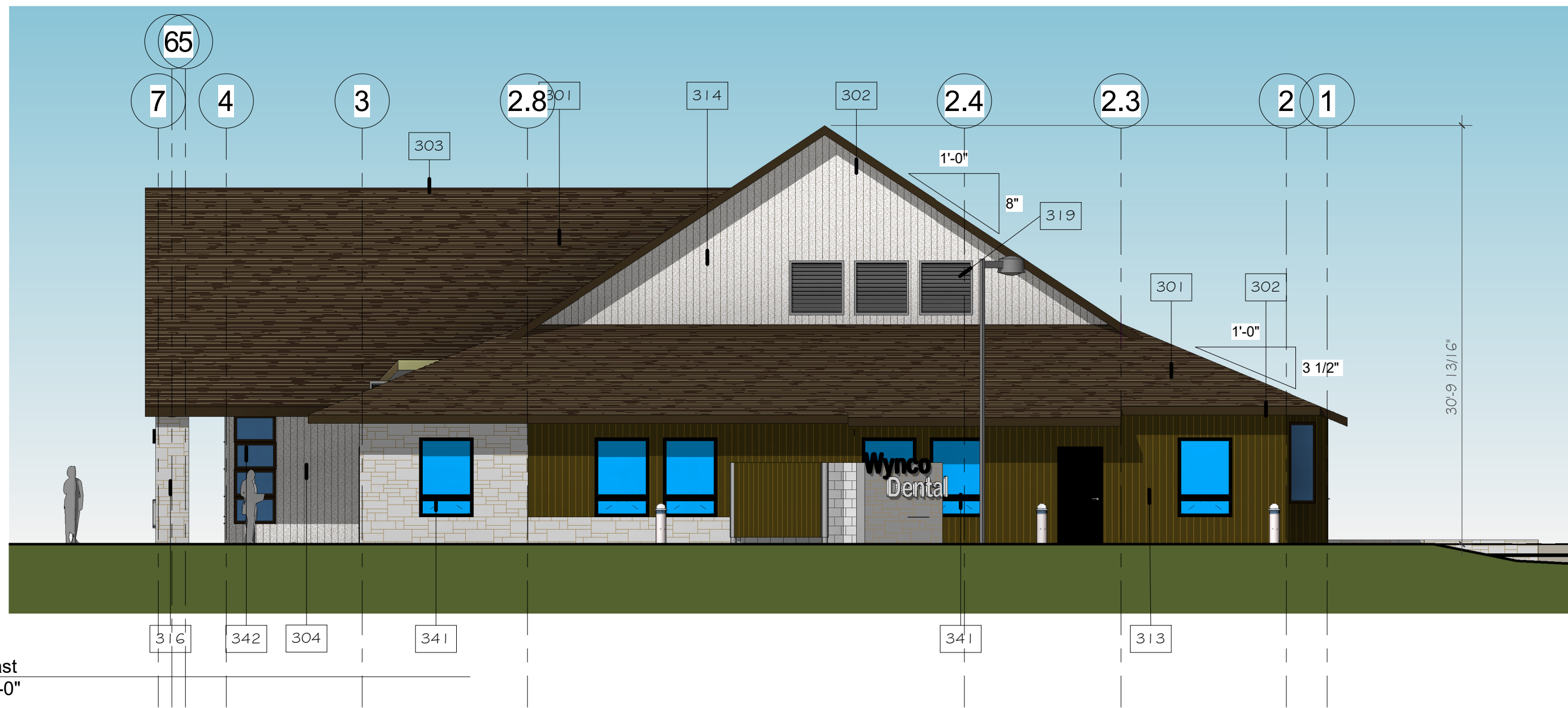
9XX
SW Centennial Dr.
Forest Lake MN

A2.0
FLOOR

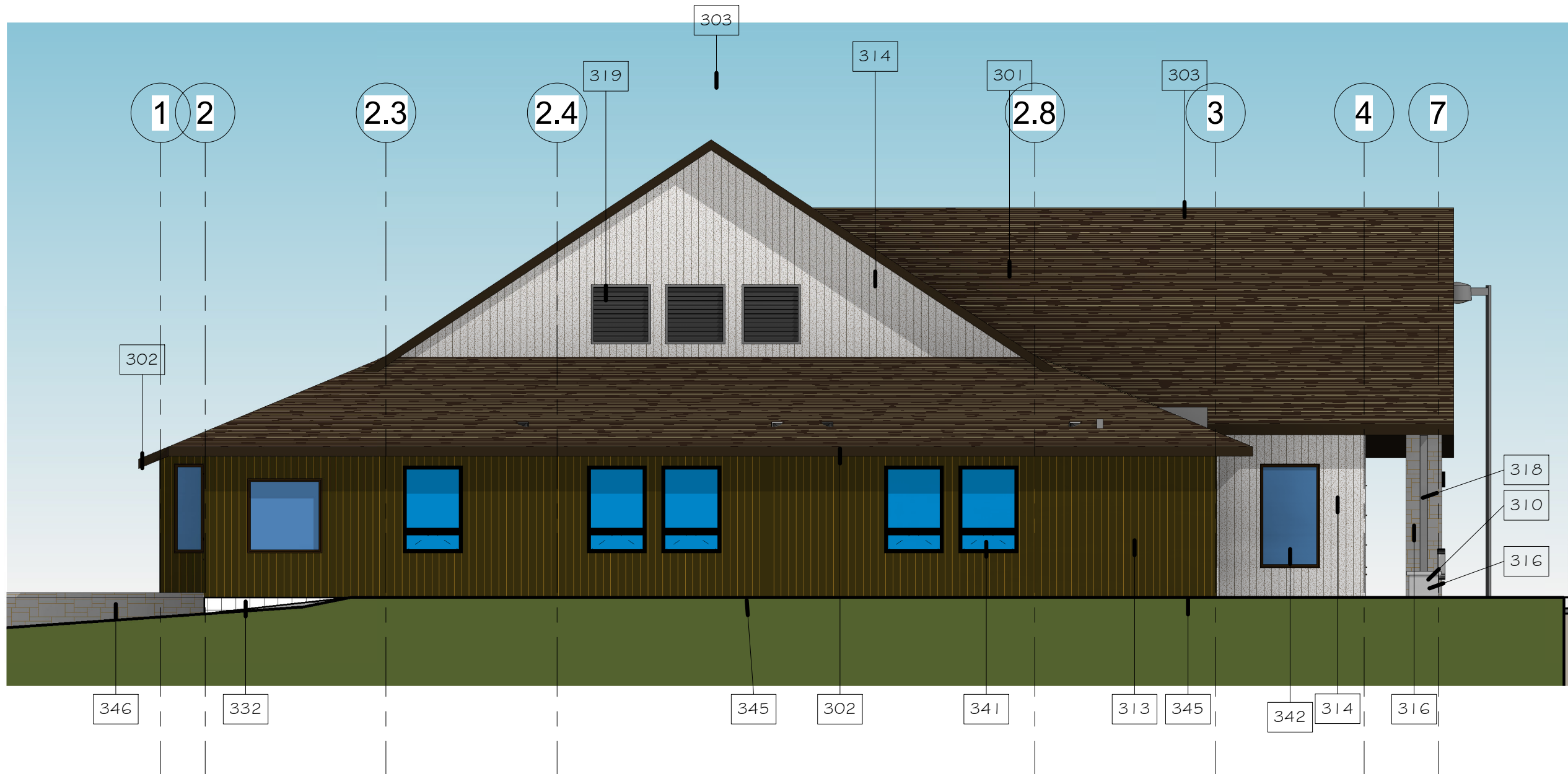
PLANNING REV



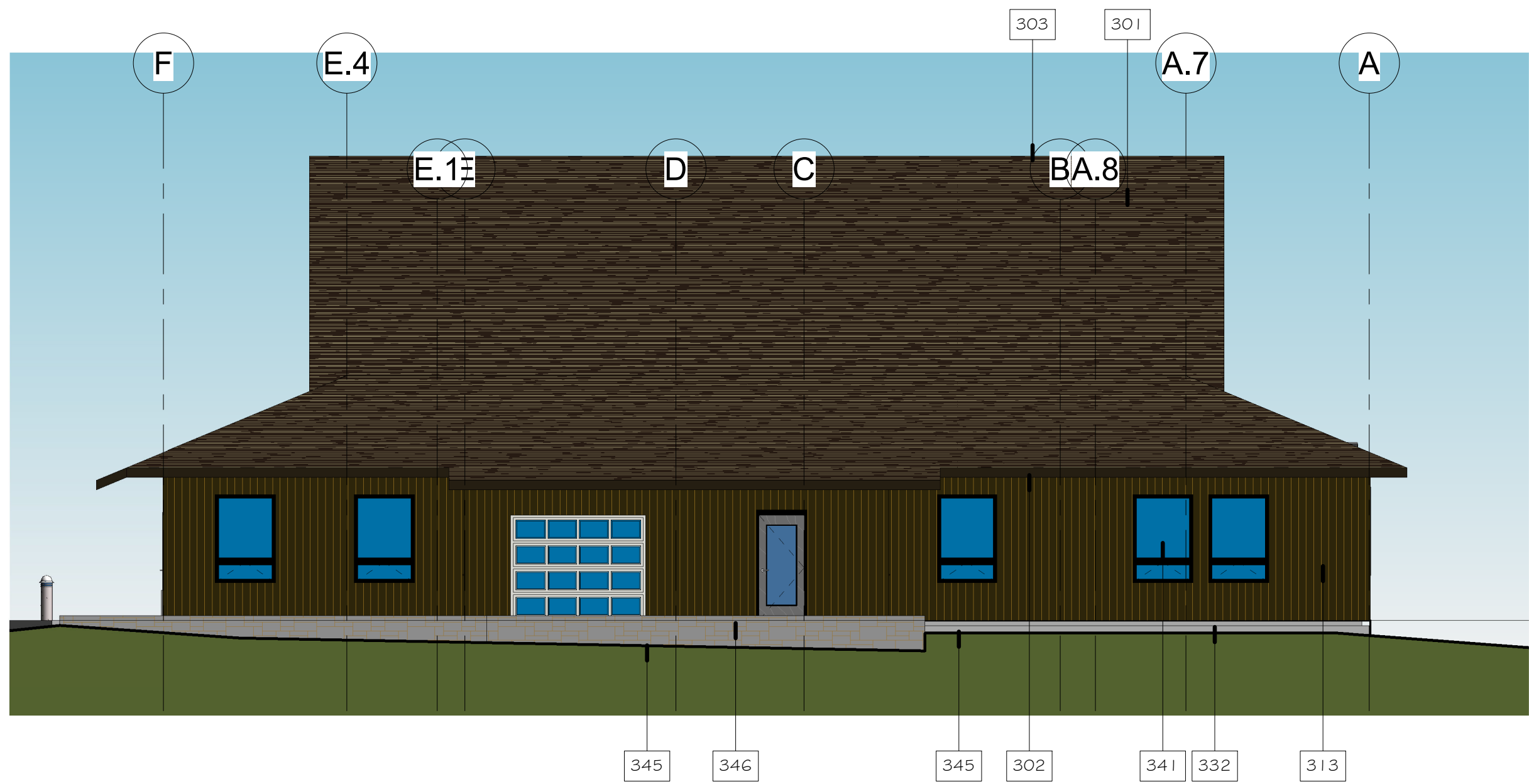
1 South West
1/8" = 1'-0"



2 South East
1/8" = 1'-0"



3 North West
1/8" = 1'-0"



4 North East
1/8" = 1'-0"

ELEVATION KEYNOTES

NUMBER	DESCRIPTION
301	ASPHALT SHINGLES - COMMERCIAL GRADE
302	ALUM OR STEEL SOFFIT AND FACIA. SEE FINISH SPEC
303	CONT RIDGE VENT
304	
310	
313	BOARD AND BATTON HARDY OR SMART SIDING, PAINT DARK BROWN - SEE FINISH SPEC
314	COURIGATED SIDING, SEE FINISH SPEC
316	FAUX STONE - SEE FINISH SPEC
317	
318	PANTED STEEL TUBING STRUCTURE- SEE FINISH SPEC
319	FAUX LOUVER - PAINT SEE FINISH SPEC
331	BUILDING SIGNAGE SUPPLY ELECTRIC POWER, SIGN SUPPLY AND INSTALL B.O.
332	FOUNDATION WALL
333	WRAP BEAM WITH HARDY OR SMART SIDING - SEE FINSH SPEC
341	RESIDENTIAL STILE WINDOWS. SEE WDW SCHEDULE
342	ALUM STOREFRONT WINDOWS, SEE WDW SCHEDULE
345	APPROX GRADE
346	RETANING WALL

REVISIONS:

No.	Description	Date
-----	-------------	------

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

2.7.24 19826
SCOTT C. MOWER DATE LICENSE #
Project Number Project Number
Date 2.7.24
Drawn By Author

Wynco Properties

9XX
SW Centennial Dr.
Forest Lake MN

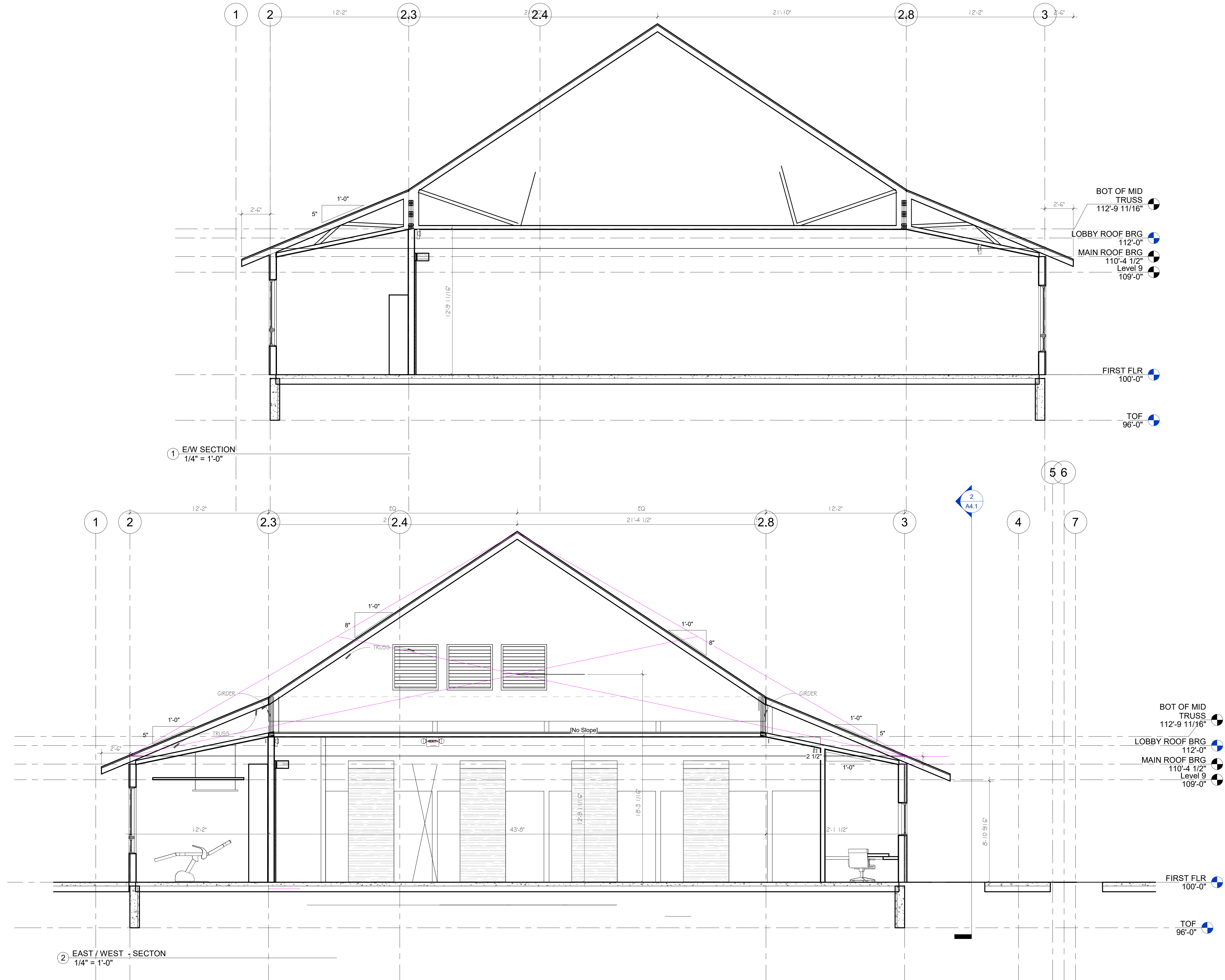
A3.0

ELEVATIONS

PLANNING REV

PROGRESSIVE Architecture

4920 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061



REVISIONS:

No.	Description	Date
-----	-------------	------

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Scott C. Mower

2.7.24 19826

SCOTT C. MOWER DATE LICENSE #

Project Number Project Number

Date 2.7.24

Drawn By Author

Wynco Properties

9XX
SW Centennial Dr.
Forest Lake MN

A4.0
SECTIONS

PLANNING REV

**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 02-28-24-01

**A RESOLUTION APPROVING SITE AND DESIGN PLANS FOR THE
DEVELOPMENT OF A DENTAL CLINIC ON THE VACANT PROPERTY LOCATED
ON THE EAST SIDE OF CENTENNIAL DRIVE AND NORTH OF THE EXISTING
CENTURYLINK FACILITIES LOCATED AT 91 11TH AVENUE SW**

WHEREAS, Mr. Chad Wynia, (“Applicant”), representing Wynco Properties, owners of the vacant property located on the east side of Centennial Drive, north of 11th Avenue SW, located in the City of Forest Lake, Washington, County, Minnesota with PID 08.032.21.14.0028, (“Property”); and

WHEREAS, the legal description of the part of the Property for the proposed new development is detailed on **Exhibit A** attached hereto; and

WHEREAS, the Applicant submitted an application and project plans to the City of Forest Lake on January 11, 2024, for site plan review for the development of a new 5,782-square-foot dental clinic building and associated parking on the Property; and

WHEREAS, the requested improvements to the site include the construction of a new 5,782 square-foot building the owners intend to use as a dental clinic, associated parking, landscaping improvements and storm water facilities as shown in the plans dated December 12, 2023; and

WHEREAS, Staff recommended approval of the site plan review request as further articulated in the City Staff Report dated February 28, 2024, for the February 14, 2024, Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The proposed use and site plan are consistent with the City’s adopted 2040 Comprehensive Plan.
2. The proposed land use and the proposed site improvements will be consistent with the City’s adopted zoning ordinance provided the applicant revises the project plans to meet the requirements of the City Engineer and the Watershed District. The City will require all future site improvements to meet the standards of the zoning code.
3. The proposed improvements will alter the natural state of a portion of the property as it requires the removal of most of the trees on the property. The proposed development preserves most of the existing wetland on the property. In addition, the project will “clean-up” the property by removing the dead trees and underbrush and installing a new building with new landscaping and parking areas and a storm water management system that meets current City and Watershed District standards.

4. The site plan is consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like.
5. City staff does not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan with the existing and required screening, landscaping and conditions of approval.

WHEREAS, the Forest Lake Planning Commission (Planning Commission) considered the request at its February 28, 2024, meeting, and reviewed the staff report; and

WHEREAS, the Forest Lake Planning Commission has determined the City should conditionally approve the proposed Site Plan Review to permit the site improvements as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Site Plan Review for the Property as described herein with the following conditions:

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1241.
2. The applicant/owner shall develop the site in substantial conformance with the following plans and review comments as approved by the City that are on file with the Community Development Department as part of Case No. PZ 24-1241, except as may be modified by the conditions of approval here:

a.	Alta Site Survey	Sheet 1	Dated December 19, 2023
b.	Title Page	Sheet A0.1	Dated February 7, 2024
c.	Site Demolition Plan	Sheet C100	Dated February 7, 2024
d.	Paving and Dimension Plan	Sheet C200	Dated February 7, 2024
e.	Grading Plan	Sheet C300	Dated February 7, 2024
f.	Erosion Control Plan	Sheet C301	Dated February 7, 2024
g.	Utility Plan	Sheet C400	Dated February 7, 2024
h.	Details	Sheet C500	Dated February 7, 2024
i.	Details	Sheet C501	Dated February 7, 2024
j.	Details	Sheet C502	Dated February 7, 2024
k.	SWPPP	Sheet C600	Dated February 7, 2024
l.	SWPPP	Sheet C601	Dated February 7, 2024
m.	Landscape Plan	Sheet a01	Dated February 8, 2024
n.	Landscape Plan	Sheet a02	Dated February 8, 2024
o.	Landscape Plan	Sheet a03	Dated February 8, 2024
p.	Exterior Lighting Plan		Dated December 04, 2023
q.	Proposed Site Plan	Sheet A1.0	Dated February 7, 2024
r.	Site Dimension Plan	Sheet A1.1	Dated February 7, 2024
s.	Trash Enclosure Plans	Sheet A1.2	Dated February 7, 2024

t.	Floor Plan	Sheet A2.0	Dated February 7, 2024
u.	Proposed Building Elevations	Sheet A3.0	Dated February 7, 2024
v.	Proposed Building Sections	Sheet A4.0	Dated February 7, 2024

3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
4. The requirements of the City Engineer (as noted in his review memos dated January 23, 2024 and February 7, 2024), Public Works Director and the Fire Chief must be met before or during the construction and development of this project.
5. The applicant or owner shall receive all approvals and permits from the City, the Rice Creek Watershed District, the Minnesota Department of Labor and Industry (DOLI), and any other State or any other regulatory agencies before starting any demolition, tree removal, grading or construction activity.
6. The landowner shall enter into a site improvement agreement for the project. The agreement shall include all required financials and charges including, but not limited to:
 - o Letter of Credit for the cost of the design and installation of the proposed and required improvements and landscaping.
 - o Water System Trunk Area Charges (WTAC), Sanitary Sewer Trunk Area Charges (SSTAC), Stormwater Trunk Area Charges (STAC) (Collected by the City at the time of the Improvement Agreement).
 - o Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sanitary Sewer Fee. (Collected by the City at the time of Building Permit issuance).

This agreement shall be completed and recorded at Washington County before the applicant or contractor starts any grading or construction activity on the site. The City shall not release the building permit until the Site Improvement Agreement is executed.

7. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the review and approval process, shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
8. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Developer for all outstanding invoices related to the project.
9. The City shall not release the building permit until the Site Improvement Agreement is fully executed and recorded.
10. The applicant or developer shall revise the final project plans to show all existing, proposed and required drainage and utility easements.
11. All required documents shall be recorded at Washington County at the applicant's expense.
12. Prior to the City issuing a building permit for the construction of the dental clinic building, the applicant shall revise the project site plan(s) to show all public drainage and utility easements on all project plans.

13. The building materials for the dumpster enclosure and gate shall be quality materials consistent with the style and colors of the principal structure. The gates of the enclosure shall be constructed with solid materials such as cedar planks or other solid wood. The applicant or contractor shall submit details of the enclosure in conjunction with the building permit application submittal and City staff shall review and approve these plans before the City issues a building permit for the project.
14. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
15. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on Centennial Drive SW.
16. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. A certificate of survey and a revised, detailed grading and drainage plan with the building permit for City approval.
 - b. An exterior lighting plan meeting the City's standards for exterior lighting in the MU-2 zoning district including not exceeding 0.4-foot candles at any property line.
 - c. The height of any the freestanding lighting poles shall not exceed 25 feet.
 - d. All exterior light fixtures shall be downlit and/or shielded to prevent glare.
 - e. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - f. The use of native plantings in the new landscape areas that are tolerant to harsh conditions.
 - g. Additional tree and shrub planting wherever possible on the property that will not be in easements and will not interfere with the function or maintenance of the proposed storm water ponds.
 - h. The concrete sidewalk along the front of the building and adjacent to the parking lot shall meet American with Disabilities (ADA) standards. The sidewalk shall be wide enough to ensure vehicles parking adjacent to it do not overhang the sidewalk in a manner that could obstruct pedestrians from using the sidewalk.
17. If the project requires retaining walls greater than four feet in height, the owner or applicant must have said walls designed by an engineer and the City requires the owner or applicant to get a building permit for any such retaining walls.
18. The applicant or contractor shall hold a preconstruction meeting before starting any construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
19. The Fire Chief shall approve the location for the required fire hydrant on the site.
20. The project engineer shall provide the City with as-built plans for review and approval of the new and removed public utilities.
21. All signs require City approval of a sign permit issued by the City before the contractor installs the signs. The monument sign proposed for along Centennial Drive SW requires a City sign permit and a City building permit.

22. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the applicant or owner to obtain City approval of an amendment of this Site Plan approval and possibly City approval of a variance or a Planned Unit Development (PUD).
23. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
24. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

This resolution is adopted by the Planning Commission of the City of Forest Lake on the 28th day of February 2024.

Paul Girard, Planning Commission Chair

Attest:

Kristina Handt, Interim City Clerk

RESOLUTION NO. 02-28-24-01**EXHIBIT A****Legal Description of Subject Property for New Development****Parcel B: (Northern Parcel – New Building Development Site)****PARCEL B DESCRIPTION**

The North 218 feet of Block Thirteen (13) of WALKER AND GOODINE'S ADDITION to the Village of Forest Lake, excepting the easterly three hundred two (302) feet as per the original plat thereof on file and of record in the office of the Register of Deeds of Washington County, Minnesota, or two hundred ninety-seven (297) feet exclusive of the East five (5) feet thereof conveyed for highway widening.

PID: 08.032.21.14.0018

ADDRESS: 9XX CENTENNIAL DRIVE SW, FOREST LAKE MINNESOTA

Date: February 28, 2024

To: Chair Girard and Planning Commission Members

From: Abbi Wittman, Community Development Director

Re: Zoning Code Update

As the Commission may remember, staff engaged with MSA Professional Services, Inc. (MSA) to conduct analysis of the City's Zoning Code (the Code) and make recommendations for alterations needed to change the zoning code to make it more user friendly for City staff, Commission members, as well as members of the general public.

Enclosed is a memo from MSA which outlines their initial findings and recommendations. As Commissioners will read, the architecture of the Code is problematic. First, there are 18 sections with 366 subsections; this, alone, is daunting for users to navigate. Next, two thirds of the subsections are reserved for future use though staff is unaware of the reasons these reservations were made. Lastly, the baseline zoning district regulations (the area of the Code most users are looking to find) are in the third to last subsection of the Code.

The memo further outlines the fact that the Code is both redundant and has gaps. These inconsistencies make the administration of the Code extremely difficult for staff. One example outlined in the enclosed memo is the fact that the Code has 320 definitions but, not identified in the memo, is the fact some of the definitions are not elsewhere in the code. Additionally, the Code outlines 140+/- different types of uses – often omitting uses that are a commonplace in modern zoning codes. A copy of the use table is also enclosed for Commission review. This said, the City is not in a position to clean up these inconsistencies, redundancies, gaps, etc. without first creating an architecture suitable for updates – be that piecemeal or in an overhaul.

At the Commission's meeting, MSA staff Claire Michelson and Kate Eiyndck will present the Planning Commission with the initial recommendation to create new architecture for the Code. This new architecture will reduce the total number of subsections of the Code into five. Baseline zoning district regulations will be move to a location near the beginning of the Code. Performance standards (i.e. landscaping, lighting, signage, etc.) that do not apply to the fast majority of properties and projects in the City will be placed behind the baseline zoning district regulations. It is not the intent to substantially change the content of the Code in this initial ordinance. It would be the intent of staff, however, that after the initial ordinance amendment creating new architecture for the Code is adopted, the City would proceed with a subsequent ordinance which cleans up some of the inconsistencies, redundancies, gaps, etc.

While it has been discussed an ‘overhaul’ is needed to fully repeal and replace the Code, staff does not recommend this approach. A full rewrite of the Code would likely take the City 18 months to complete. Between staff’s time with the Code and the findings of MSA’s analysis, it is staff’s recommendation the City should not wait 18 months to make amendments to the Code. Simply put, we need better tools now to help make things easier for everyone. Taking the approach to create, review, and adopt a series of ordinance amendments would allow for improved user experiences at the same times as improving and modernizing the Code.

Recommendation

The Commission should hear the presentation from MSA. After presentation, the Commission should ask questions of staff and the consulting team to gain clarity on the analysis findings or the recommended approach. The Commission should further provide direction to staff and the consulting team regarding any considerations the Commission would like staff to make in the coming ordinance amendments.



To: Forest Lake Planning Commission

CC: Abbi Wittman, Community Development Director
Ken Roberts, City Planner

From: MSA Professional Services

Subject: Zoning Code Architecture Review

Date: February 20th, 2024

Project Background

City Staff identified the need for a better organized, user-friendly zoning ordinance. MSA Professional Services has performed an in-depth analysis of the code to provide recommendations on how the code can be better organized. The goal is a new code architecture that provides a usable structure and layout for all. There are no edits to the content of the code at this time.

The proposed recommendations are designed to enhance the City's zoning code by streamlining its structure for improved clarity, organization, and user-friendliness.

Outline and Analysis

The zoning code outline has 18 sections that are organized sub-sections with 'General' and 'Applications and Procedures' sections at the top followed by the General Development Regulations. The code has 366 subsections, of which 237 are reserved for future use.

Chapter 153 Zoning (existing outline)

- General Provisions
- Applications and Procedures
- Nonconformities
- General Development Regulations
- General Standards for Use Regulations
- Detached Accessory Structure Regulations
- Off-street Parking and Loading Regulations
- Exterior Storage in Residential Districts; Screening and Fence Regulations
- Lighting Regulations
- Sign Regulations
- Landscaping Regulations

Environmental Regulations
 Land Alteration and Grading Regulations
 Woodland Preservation Regulations
 Additional Requirements
 Zoning District Regulations
 Overlay Districts
 Responsibilities, Enforcement, and Appeals

Section 1 includes the definitions (320 definitions) as well as sections on authority, relationship to the comprehensive plan, application, and interpretation, official map, and scope. Many of these sections can be placed further back in the outline to enhance use and readability of the code document.

The user does not reach actual zoning district regulations until section 16, when the code finally addresses the City's 15 zoning districts. These are all Euclidean based (single-use) districts – the most common zoning code structure in Minnesota and the country. The district regulations and uses are typically the information that the user is looking for. An updated code architecture would move this information closer to the beginning and include other supplemental information in the section rather than having it broken out into other sections of the code.

In general, the organization of the zoning code can be difficult to follow. It jumps around with hidden additional regulations in differing sections that are not well connected to the zoning districts. The current organization makes it difficult for residents, developers etc. to get the full picture of standards and requirements.

Improving the readability and usability of the code without major content can be achieved by reducing the number of sections. Many of the sections and additional regulations can be joined in with others to simplify the layout and reduce jumping around.

For example – General Development Regulations can house lighting, screening, landscape etc as those are all development regulations and do not need to be separately called out. This will also ensure that there is no redundancy or incompatibility between sections.

Recommendations:

The current zoning code outline contains 18 sections with 366 subsections, 237 of which are reserved for future use. The organization is challenging to follow, to enhance readability and usability without content/textual changes, we propose reorganizing the code for continuity. Reducing the 18 sections to 5.

Functionally the best way to achieve this is by keeping general provisions at the beginning and combining applications and procedures and nonconformities into general provisions. Move Zoning District Regulations to the second section, after General Provisions. The first thing the reader is going to look for is the district or the uses. It would benefit the code to include a use table at the beginning of Zoning District Regulations that lays out all the uses and the associated permit type required for that use in each district. The draft table is included in your packets. The detached accessory structures section could be better suited integrated within district regulations along with Overlay Districts, and General Standards for Use Regulations.

1. Combine Sections for Greater Clarity:

- Keep General Provisions at the top.

- Combine Applications and Procedures and Nonconformities into General Provisions.
 - Move Zoning District Regulations right under General Provisions.
 1. Integrate a use table into district regulations and supplemental use regulations
 2. Integrate Detached Accessory Structure Regulations,
 3. Overlay Districts
 - General Development Regulations would follow Zoning Districts and incorporate Landscape, lighting, screening, and off street parking
 - Environmental Regulations (woodland preservation, wetland banking)
2. **Use Table for Uses:**
- Add use table to beginning of Zoning District Regulations so all use information is in one place.
3. **Consider Visual Aids for Bulk/Dimensional Requirements:**
- Future consideration for a chart and visual diagram for bulk and dimensional requirements to improve readability within Zoning District Regulations Section of the code.

Current Outline	Proposed New Outline
General Provisions	General Provisions <i>Combination of General Provisions, Applications and Procedures and Nonconformities</i>
Applications and Procedures	Zoning District Regulations <i>Overlay Districts</i> Uses (subsection with use table) <i>Includes General Standards for Use Regulations</i>
Nonconformities	
General Development Regulations	General Development Regulations <i>Now includes Detached Accessory Structure and Exterior Storage in Residential Districts:</i> <i>Screening and Fence Regulations</i> <i>Lighting</i> <i>Landscaping</i> <i>Off- street parking and loading</i> <i>Land Alterations and Grading</i>
General Standards for Use Regulations	Environmental Regulations <i>Now includes Woodland Preservation and Wetland Banks</i>
Detached Accessory Structure Regulations	Responsibilities, Enforcement, and Appeals
Off-street Parking and Loading Regulations	
Exterior Storage in Residential Districts; Screening and Fence Regulations	
Lighting Regulations	
Sign Regulations (REMOVING FROM ZONING ORDINANCE ALL TOGETHER)	
Landscaping Regulations	
Environmental Regulations	
Land Alteration and Grading Regulations	
Woodland Preservation Regulations	
Additional Requirements	
Zoning District Regulations	
Overlay Districts	
Responsibilities, Enforcement, and Appeals	

Next Steps:

- Public Hearing for Code Architecture Change and Inclusion of Table of Uses
- City Council Review and Approval
- Kickoff Phase 1B
 - MSA and Staff review of textual inconsistencies within the code.
 - Present textual inconsistencies of the code from analysis to the Planning Commission. (examples – definitions that are unclear, removal of supplemental use regulations that do not have a coordinating allowed use in any district, ensuring that standards regulating similar things (landscaping) are removed and only written in one location of the code.
 - Public hearing for content/text clean up

In summary, these recommendations, coupled with ongoing updates and considerations, are positioned to significantly elevate the effectiveness of the zoning code in guiding development within Forest Lake, MN. The proposed changes are not only practical but also geared towards fostering a more intuitive and user-friendly regulatory framework for the benefit of residents, developers, and stakeholders alike.

P = Permitted
AP = Accessory Permitted
COC = Certificate of Compliance
CUP = Conditional Use Permit
IUP = Interim Use Permit

				Single- Family Residential (SF)	Mixed Single- Family Residential (MXR-1)	Mixed Residential Single and Two Family (MXR-2)	Mixed Residential (MXR-3)	Multiple Family Residential (MF)	Neighborhood Commercial (NC)	Broadway Business (B-1)	Highway Business (B-2)	Limited Industrial Business (B-3)	Industrial (I)	Business Park (BP)	Down- town Mixed Use (MU-1)	General Mixed Use (MU-2)
Agriculture																
Agricultural seasonal sale									AP	AP	AP	AP				
Agricultural uses	P	P	P		IUP		IUP				IUP			P		
Agriculture building	COC	COC	COC													
Agriculture business	AP	AP	AP													
Feed lot	CUP	CUP	CUP													
Horse training facilities, commercial	CUP	CUP	CUP													
Horse training facilities, private	COC	COC	COC													
Kennel, commercial	CUP	CUP	CUP								CUP	CUP	CUP			
Kennel, private - 3 pets or fewer	AP	AP	AP	AP	AP	AP	AP									
Kennel, private - more than three pets	COC	COC	COC		CUP											
Pasture	AP	AP	AP													
Plant nursery, commercial											P	P				
Plant nursery, wholesale	P	P	P								P	P				
Topsoil removal					IUP											
Transportation																
Bicycle and public/private transit shelters														AP		
Motor vehicle, convenience store											P	P				
Motor vehicle, fuel stations																CUP
Motor vehicle, parts sales											P	P				P
Motor vehicle, repair and service										P (existing)	P	P				P (existing)
Motor vehicle, service station									CUP		P	P				
Motor vehicle, wash									CUP		P	P				
New auto dealership - licensed											P	P				P (existing)
On-site removal/installation of minor motor vehicle parts																AP
Open sales lot											CUP	P				
Park and ride lots/transit hubs														CUP		
Parking facilities and structures - public															P	AP
Parking facilities and structures - public															AP	
Truck stop											P	P				
Used auto dealership - licensed											P	P				P (existing)
Civic/Institutional																
Cemetery		CUP	CUP	CUP												
Essential services, government buildings and storage		CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP		CUP	P / AP	CUP	P		P
Museums/art galleries															P	P
Place of worship		CUP	CUP	CUP	CUP	CUP	CUP			CUP	CUP	CUP				CUP

Place of worship - columbarium		CUP	CUP	CUP		CUP	CUP			CUP	CUP	CUP				
Place of worship - leasing space											IUP	IUP	IUP	IUP		IUP
Public airport and related facilities													P			
Public open space plaza, square, or															AP	AP
Public parks					P											
Public studios or performance theaters															P	
Recreation, public	P	P	P	P		P	P	P					P	P	P	
School			CUP	CUP	CUP	CUP	CUP				CUP					CUP
School - leasing space											IUP	IUP	IUP	IUP		
School, specialty									P	P	P	P / CUP		P	P	CUP
Commercial/Retail																
General Office/Commercial/Retail																
Attached smoking facility associated with a principal use									AP	AP	AP	AP	AP	AP	AP	AP
Cafeterias not open to the general public														P		
Coffee shops, cafeterias, medical facilities, and athletic/fitness facilities (if														P		
Data processing														P		
or fewer persons					P											
Daycare facility, licensed									CUP	P	P	P				
Daycare facility, licensed - serving 12 or fewer persons					P											
Daycare facility, licensed - serving 7 to 14 persons	COC	COC	COC	COC		COC	COC	COC								
Daycare facility, licensed - serving more than 14 persons	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP								
Daycare facility, unlicensed - serving 6 or fewer persons	AP	AP	AP	AP		AP	AP	AP								
Daycare, freestanding														CUP		
Exterior employee break areas														AP		
Financial institutions and banks - no drive-thru facilities															P	P
Financial institutions and banks - with drive-thru facilities														CUP		
Funeral home										CUP	P	P			CUP	
Garden supply store and nursery yard		CUP	CUP								P	P				
Health/recreation facility											P	P		CUP		P
Marina, public/private															CUP	
Medical uses									P	P		P	P	CUP	P	P
Movie theater																P
Office									P	P	P	P	P	P	P	P
Permitted uses with a drive-thru									CUP	CUP					CUP	CUP

[illegible]

Residential																
Accessory apartment within a single-family detached building	COC	COC	COC	COC	AP	COC	COC									
Accessory dwelling		AP			AP											
Accessory structure		AP	AP													
Accessory structure on adjacent non-riparian lot			CUP	CUP												
Detached accessory structure				AP		AP	AP	AP					CUP			
Dwelling, apartment/condominium							CUP	P								P
Dwelling, duplex or two family						P										
Dwelling, multi-family, row house style townhome															CUP	P
Dwelling, multiple-family (apartment, condominium, cooperative, townhouse) when located above the street level floor															P	
Dwelling, single-family attached - 8 units per building max.					P		P									
Dwelling, single-family detached	P	P	P	P	P	P	P	P (existing)								
Dwelling, temporary care facility	IUP	IUP	IUP	IUP												
Dwelling, temporary during construction	IUP	IUP	IUP	IUP												
Home occupations	COC	COC	COC	COC	AP	COC	COC	COC								
Industrial condominium/multi-tenant structure													P			
Manufactured home park								CUP								
Nursing home								CUP			CUP					
Residential facility, licensed - serving 6 or fewer persons	AP	AP	AP	AP	P	AP	AP	AP								
Residential facility, licensed - serving 7-10 persons.	COC	COC	COC	COC		COC	COC	COC								
Residential facility, licensed - serving more than 10 persons	CUP	CUP	CUP	CUP		CUP	CUP	CUP								
Miscellaneous																
Commercial overnight delivery drop box														AP		
Gate security detached building														AP		
Information kiosk														AP		
for products that are used in conjunction with the primary use														CUP		
Utilities																
Amature radio antenna	P	P	P	AP	AP	AP	AP	AP	AP	AP	AP	AP	AP	AP	AP	AP
Essential services, utility substation	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP			P / AP	CUP	P		

Solar energy systems - ground-mounted	COC	COC	COC	COC	AP	COC	COC	COC						AP		
Solar energy systems - roof-mounted	COC	COC	COC	COC	AP	COC	COC	COC	AP	AP	AP	AP	AP	AP	AP	
Towers - Accessory	COC	COC			IUP						CUP	CUP	CUP	CUP		
Towers - Principal	CUP	CUP	CUP		IUP						CUP	CUP	CUP	CUP		