

NOTICE OF AGENDA

PLANNING COMMISSION

[City of Forest Lake – Link to Meeting Livestream](#)

Forest Lake City Center – Council Chambers
Forest Lake, Minnesota

March 13, 2024 – 7:00 PM

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve the Agenda
5. Election of Officers
6. Consent Agenda Considerations (Action Items)*
 - a) Approve Planning Commission Meeting Minutes from February 28, 2024

**Planning Commission may remove any item from the consent agenda for specific consideration*
7. Regular Agenda (Action Items)
 - a) Accessory Building Proposal (23620 Forest Road North)
 1. Consideration of Resolution 03-14-24-01 – Variance
 2. Consideration of Resolution 03-14-24-02 – Site Plan Approval
8. Discussion
 - a) Municipal Urban Service Connection Requirements
9. Staff Updates
10. Adjourn

[City of Forest Lake - Livestream and Recorded Meetings](#)

1. Call to Order

The Meeting was called to order at 7:00 p.m.

2. Roll Call

Attendee Name	Title	Status	Arrived
Paul Girard	Commission Chair	Present	
Susan Young	Commission Vice-Chair	Present	
Kevin Miller	Planning Commissioner	Absent	
Don Stehler	Planning Commissioner	Absent	
Jeff Larson	Planning Commissioner	Present	

3. Pledge of Allegiance

4. Approve the Agenda

No comments on the Agenda.

Motion: Commissioner Young made a Motion to Approve the Agenda as presented.
Motion seconded by Commissioner Larson. Motion carried 3-0.

5. Consent Agenda Considerations (Action Items)*

a. Approve Planning Commission Meeting Minutes from January 24, 2024

No comments on the Consent Agenda.

Motion: Commissioner Larson made a Motion to Approve Consent Agenda Item 5.a.
Motion seconded by Commissioner Young. Motion carried 3-0.

6. Regular Agenda (Action Items)

a. Wynco Dental Clinic (9XX Centennial Drive SW)

1. Consideration of Resolution No. 02-28-24-01 – Site Plan Approval

City Planner Ken Roberts reviewed a request for site plan approval for a dental clinic on Centennial Drive from applicant Chad Wynia. A lot split was approved earlier in 2024; clinics are a permitted use in the zoning district. A tree inventory was completed, and no significant trees were noted. All trees will be removed with the exception of those located in the proposed wetland area. Due to ponding areas and underground utilities, there is limited space for larger trees to be planted, as required by City Code. The applicant is proposing the addition of seven mature trees and potential for other trees, as well as 146

shrubs. City Staff feels the site plan meets the intent of the City's landscape design standards. Rice Creek Watershed District has given approval subject to final permitting.

The applicant has agreed to reduce lighting along the south property line as the proposed lighting exceeds allowable lumens. No new public utilities will be required for this project. The City Engineer has reviewed the design plans, made comments and proposed changes to the plan, and has found them to be in compliance with City standards and requirements. City Staff finds the proposed use and site plan consistent with the City's 2040 Comprehensive Plan and recommends Planning Commission approval.

City Planner Roberts noted the following changes in the Resolution:

- Page 1 - to replace February 14 with February 28
- Condition 5 - strike "tree removal" from the requirements to allow commencement of tree removal

City Planner Roberts stated Commissioner Young noted the sidewalk along Centennial Drive could be connected to the clinic via an interior trail. He added the architect seemed to think that was workable with a few landscaping changes. He noted this can be added under Item 16 as a new item i – "addition of a sidewalk on the north side of the parking area to connect to Centennial Drive".

Commissioner Young requested clarification regarding the location of the 7 mature trees. City Planner Roberts stated the mature trees are located along the southern edge of the site. He added additional trees may be located along the stormwater pond, but final grades have not been received.

Commissioner Young asked whether the wetlands will be expanded or mitigated. City Planner Roberts stated the area has de minimis impact according to the Watershed District, and no mitigation is required.

Commissioner Young asked whether the applicant would consider the addition of native wetland plants in the wetland area, which would help with flow retention and provide a pollinator habitat.

Chair Girard asked whether irrigation would be an issue. City Planner Roberts that can be reviewed.

Commissioner Young requested that native wetland plantings and irrigation review be added to the requirements.

Scott Mower, Progressive Architecture, 30130 Loughton Avenue, Chisago City, stated they support the site plan. He added he has reviewed a potential trail location, and native wetland plants can be discussed. He added Chad (the owner) would like to reserve the option to review the potential trail as it could be costly. He noted it could be composed of a soft surface like gravel, stone or decomposed granite.

Stephan McLafferty, Shoreline Landscaping, 29159 Ivywood Trail, Chisago City, stated he will confer with the Rice Creek Watershed District with regard to the addition of native wetland plantings in stormwater areas, as well as what type of seed mixes they would like to see. He added dogwoods are planned along

Centennial Drive, and there are other native plants around the project, but they are happy to add more if needed.

Commissioner Young stated it is a good opportunity to add native plantings and should be pursued. She added this will be a nice infill project as there is existing infrastructure already in place.

Commissioner Larson stated they have done a nice job on the landscaping and native plants which will beautify the property.

Chair Girard agreed this is a good project that will be a nice addition for Centennial Drive.

Motion: Commissioner Young made a Motion to recommend Adoption of Resolution No. 02-28-24-01 Resolution Approving Site and Design Plans for the Development of a Dental Clinic on the Vacant Property Located on the East Side of Centennial Drive and North of the Existing Century Link Facilities Located at 91 11th Avenue SW (PID: 08-032-21-43- 0018), subject to 24 conditions of approval as listed in the Resolution, with the following additions:

1. Condition 5: Delete “tree removal”
2. Condition 16: Add Subsection i: “Request that the applicant work with City Staff to add an all-weather sidewalk to connect with the proposed sidewalk on the site.”
3. Request that the applicant work with the Rice Creek Watershed District to enhance wetland vegetation as much as possible.

Motion seconded by Commissioner Larson. Motion carried 3-0.

Chair Girard noted that this item will not go before the City Council for final action.

7. Staff Updates

a. Zoning Code Update Presentation

Community Development Director Wittman stated a local firm, MSA Consulting, has been retained by the City to provide an independent evaluation of the City Zoning Code. She added MSA representatives Claire Stickler and Kate Goodman were present at the meeting to review plans for updating the Zoning Code.

Ms. Stickler reviewed the project background, and the goal of identifying a more usable structure for the Zoning Code. She added they are completing an existing conditions analysis before moving forward to recommendations for Code architecture in preparation for Planning Commission review, approval and adoption. She reviewed recommendations for new Code architecture, including no text changes; reorganize and combine articles; combination of key sections; Zoning District Regulations Use table; and combination of similar sections for General Development and environmental regulations. She noted responsibilities, enforcement and appeals are already clearly outlined.

Commissioner Young requested clarification regarding MSA's goals for this review. She asked whether the Planning Commission can be assured that nothing will be lost or removed until they have a chance to review all specifics. She asked what is proposed for "General Provisions".

Community Development Director Wittman stated the text of the Code will not be amended until the review is complete.

Chair Girard stated he is in favor of this review and potential changes to the Zoning Code. He added he likes the 4-page chart, which shows that the process needs to be streamlined so the Code can be a better tool.

Commissioner Young requested clarification regarding "Definitions". Ms. Strickland stated they will be in the "General Provisions" section rather than their own subsection.

Commissioner Young stated she likes having "Provisions" so they are easier to refer back to.

Ms. Strickland stated the City Attorney has recommended complete removal of the Sign regulations from the Zoning Code and creation of a new Sign Ordinance.

Commissioner Young stated building sign placement is integral to the Building Code in terms of appearance and surrounding areas.

Community Development Director Wittman stated Signs can be addressed in the architecture Ordinance. She added this Zoning Code review does not include any substantial changes. She added the table has changed but it does not contain new content.

Ms. Strickland agreed to share the presentation with City Staff to be forwarded to the Commissioners. She added she will be back again at the Planning Commission's March meeting with an ordinance for the architecture of the Zoning Ordinance and a draft table.

STAFF PRESENTATIONS

Community Development Director Wittman stated two new Planning Commissioners, Jesse Wagner and Tim Sandler, were approved by the City Council at their February 26, 2024, meeting.

Community Development Director Wittman stated the City Council voted to accelerate the City Administrator search to accommodate Interim City Administrator, Kristina Handt's own interview process.

Commissioner Young thanked Blake Roberts for all the work that went into the Plunge.

Councilmember Roberts thanked Commissioner Young for her work on the Plunge in the past. He thanked Community Development Director Wittman for her guidance and hard work.

Interim City Administrator Handt introduced herself to the Planning Commission. Commissioner Young expressed the importance of City Staff and Councilmembers' attendance at community events.

Commissioner Young asked for a status update on the apartment buildings as there have been excavators on site. Community Development Director Wittman stated there have been no formal submittals for final plat of the townhome project or site improvement of potential apartment building. She added review process and approvals will occur over the next few months as the landowner would like to start as soon as possible.

Commissioner Young stated there was another bad accident at County Road 50 and Highway 61. She added the proposed driveway is a concern for the community. Community Development Director Wittman agreed to look into it.

City Planner Roberts stated the Mr. Car Wash development is approved. He added the City Council approved a preliminary PUD for the Westlake shopping center, which will require the utilities that the car wash developer will put in. He added Westlake has applied for their final PUD.

Chair Girard thanked the Public Works Department for a new "No Outlet" sign on 2nd Avenue.

City Planner Roberts stated City Staff are working with a developer on an application for a redevelopment on the old KFC site.

8. Adjourn

Motion: Commissioner Larson made a Motion to Adjourn the meeting at 8:35 p.m.

Motion seconded by Commissioner Young. Motion carried 3-0.

Date: March 13, 2024

To: City of Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: Variance and Site Plan Review – Proposed Detached Accessory Building

Applicant and Owner: Mike Morley

Location: 23620 Forest Road North

Zoning District: B-3 (Limited Industrial Business District)

Comprehensive Land Use Plan: Highway Commercial

60-Day Deadline: April 1, 2024

Introduction-Background

Mr. Mike Morley, the owner of the property located at 23620 Forest Road, has applied to the City for approval of a Variance and Site Plan approval for his property. Specifically, he is proposing to construct a new 6,400 square-foot detached accessory storage building with an access driveway north of the existing single-family home and existing detached garage on his property.

Such a project requires City approval of a variance and the project site and design plans. The City requires approval of a variance as the City Code allows properties with commercial or industrial zoning to only have one detached accessory building. The Code also requires the project to receive site plan and design approval from the Planning Commission.

Please see the attached project narrative, maps and project plans for more information about these applications.

Discussion

Zoning and Land Use Review

The property in question is 20.24 acres. The City has zoned this property and all the property on the east side of Highway 61 north of Highway 8 B-3 (Limited Industrial Business). The purpose of this zoning district is to provide a district that supports a mix of industrial and commercial development. The existing house and detached garage are legal non-conforming uses on the property.

Forest Lake's 2040 Comprehensive Plan states the intent of the Highway Commercial land use designation is "to accommodate uses that provide a wide range of goods and services that serve the needs of people who live or work in and around the city. This category also provides for general and light industrial uses."

Staff Analysis

Variance

Section 153.112 of the City Zoning Code has the standards and requirements for accessory structures in business and industrial zoning districts. These include:

(A) *Building permit.* A building permit is required for any accessory structure over 120 square feet. Required trash enclosure service structures shall not be considered an accessory structure.

(B) *Number of structures.* One accessory structure (in addition to the required trash enclosure service structures) is allowed on a parcel in the B-2, B-3, and I Zoning Districts, provided it is used solely for storage related to the principal use of the property. An accessory structure related to a principal use requires a CUP.

(C) *Location.* The accessory structure must be placed to the rear of the principal building and conform to setback requirements and lot coverage standards for the principal building in the applicable zoning district. The purpose of these standards is to enhance the visual character of business and industrial development.

(D) *All accessory structures.* In business or industrial districts, the location, access, materials, color, screening, and related landscaping will be reviewed and approved as proposed or with changes in the site plan review or PUD review process.

As noted above, the City has zoned this property B-3 but Mr. Morely is using the property as a residence with a single-family home and a detached garage. The City may have zoned the property B-3 because of the snow fence manufacturing business that was previously on the property. If the City zoned the property RR (rural residential) or A (Agricultural), then the only requirement the City would have for the property owner to construct the new accessory building would be to get a building permit.

Having a second detached accessory building on this 20.2-acre property is a reasonable use of the property. The proposed accessory building will not be detrimental to the public or be injurious to other land or improvements in the vicinity of the site and the additional building will not alter the essential character of the area. There are wetlands on about 75 percent of the property and it is heavily wooded to the west and north sides of the location of the proposed accessory building. These natural features will provide buffering and screening of the proposed building to adjoining residential properties.

Site Plan and Design Review

City staff reviewed the proposed site improvements against the Design Standards established in City Code Sections 153.229 and 153.330 for conformance with requirements for properties in the Limited Industrial Business (B-3) District. An assessment of conformity is below:

Setbacks and Building Location

The project plans show the new accessory building located about 100 feet north of the existing house and detached garage near the center of the property. The proposed location of the 6,400 square-foot building and associated driveway preserves the existing trees on the site and meets or exceeds all setback requirements. The building would be about 500 feet from the western property line, 132 feet from the eastern (front) property line, 1000 feet from the north property line and about 220 feet from the south property lines.

Requirement			Existing	Proposed
Building Setbacks	Front	100 feet from Forest Boulevard ROW	N/A	132 Feet
	Side	0 feet	N/A	200+ Feet
	Rear	35 feet	N/A	500+ Feet
Building Height		4 stories or 45 feet		25 Feet maximum
Maximum Impervious Surface		80 percent	N/A	20 percent

The proposed site plan for the new building meets all requirements found in the B-3 zoning district.

Access – The project plans show the parking area for this new building accessing Forest Boulevard with one 24-foot-wide driveway for ingress and egress. The size and the location of the proposed driveway is acceptable to the City. The proposed project site plan shows Mr. Morley establishing grass around the new building and driveways.

Parking Areas and Driveways - The proposed site plan and landscape plan for the new accessory building shows a Class 5 Limestone driveway and parking areas adjacent to the new building. The City Code requires off-street parking areas and driveways in commercial districts, industrial districts, mixed use districts and non-residential uses in residential districts be improved with a durable and dustless surface such as concrete or bituminous. The City should require the applicant-owner to pave the new driveway and parking areas with bituminous or concrete as a condition of getting a Certificate of Occupancy for the new building.

Wetland – There is a large wetland area on the property to the west and north of the proposed building site. The applicant has designed the project to not disturb or impact the existing wetland.

Landscaping – Minimum landscaping requirements for properties in commercial and industrial zoning districts are established in City Code Section 153.232. The City usually requires the owner or developer of a commercial or an industrial project to plant a mix of overstory trees and understory trees and shrubs on the project site.

Because much of the property is covered in trees and as noted above, there are wetlands to the west and north of the proposed building site, there does not appear to be a need for extensive tree planting on the property with the construction of the new accessory building. Mr. Morley submitted a landscape plan for the front yard area near the proposed detached accessory building that shows the planting of two maple trees, two burning bushes and a spirea in the front yard. However, there appears to be room to add more trees and shrubs to the site than those on the proposed landscape plan. The area for additional plants would be in the front yard between the proposed building and access drive and Forest Road and would provide some screening of the new building and the parking and drive areas in front of the building. City staff is recommending the applicant prepare a revised front yard landscape plan that includes at least four additional trees to be a variety of deciduous and coniferous trees and several additional shrubs that will provide year-round interest, texture, shape, and seasonal color.

The goal of the City is to have a site with landscape design and installation with trees and plantings of a high-quality and quantity of plant materials. In all cases, City staff expect the landscaping of a new development to complement the project site, the existing natural features and existing development on adjacent parcels. In summary, the expected front-yard landscaping, with the additions and changes

recommended by City staff, should substantially conform with City landscaping standards and will meet the intent of the landscaping design requirements found in Section 153.233 by *“increasing and maintaining property values; preventing or reducing soil erosion, sedimentation, and storm water runoff; improving air quality and reducing noise pollution. . .”*

Public Infrastructure Connections - The property has a well and a septic system. The site is not served by public sanitary sewer or by public water. The applicant is not proposing to have sewer or water in the new building.

Lighting Plan – The City has established exterior lighting standards in City Code Section 153.185. The applicant is not proposing any free-standing light poles with the construction of the new accessory building. He is proposing to have three exterior lights on the building for safety and security. These lights, if they are down shielded, should not allow excess light glare to leave the property that could cause a problem for vehicles on Forest Road or the properties to the east of the site.

Building Design

Minimum Design Standards

Visual Interest and Building Materials – The proposed accessory building meets the requirements in Sec. 153.330 (A) by using the following building design criteria:

- Accent materials;
- Contrasting, yet complementary, material colors;
- A combination of horizontal and vertical design features;
- Having an irregular building shape; or
- Other architectural features in the overall concept.

Major Exterior Finishes – The proposed exterior building materials shown on the project plans include a beige metal roof, vertical upper metal siding in a light stone color and four-foot-tall beige horizontal wainscoting along the bottom sidewalls on the east and south elevations.

Accent Materials – The east (front) and south elevations of the proposed building include a variety of architectural elements such as wainscoting, metal soffits and fascia and a service door. The façade on the east (front) sides of the building each have two, white overhead doors.

Staff has determined the proposed elevations are consistent with the intent of the City’s design standards for buildings in the B-3 zoning district.

Restricted Materials – The proposed building elevations do not contain restricted materials.

Staff/Partner Agency Comments

City Engineer Comments:

The City Engineer did have any comments about this proposal.

Public Works Director Comments:

Public Works Director Dave Adams did not have any comments about this proposal.

Fire Chief

City staff provided the Fire Chief with the proposed development information and plans, but he did not have any comments.

City Building Official

City staff provided the City Building Official with the plans for the proposed accessory building. He indicated the City will require the owner to meet all City and Building Code requirements for the construction of the building.

Watershed District

The Comfort Lake-Forest Lake Watershed District has reviewed the proposal in 2023. They have issued Mr. Morley a permit for the construction of the new accessory building.

Public Comment

As of the writing of this report City staff has not received any public comment about this proposal.

Findings of Fact

Section 153.036 of the Forest Lake Zoning Code outlines the requirements and standards for variances in Forest Lake. Section 153.036 (D) of the Forest Lake Zoning Code states that “the Planning Commission shall not recommend approval of any variance application unless it finds failure to grant the variance will result in practical difficulties for the applicant.”

In deciding whether to grant a variance, the Planning Commission must consider the following criteria as outlined in the Forest Lake Zoning Code. The criteria from the zoning code are listed in **bold**, followed by staff response in italics.

- (a) Because of the particular physical surroundings, shape, or topographical conditions unique to the specific parcel of land involved, a practical difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;**

The Applicant has identified several conditions of the property, including the existing zoning that create a practical difficulty for constructing the new detached accessory building on the property.

- (b) The property owner proposes to use the property in question in a reasonable manner not permitted by this chapter. Economic considerations alone (or desire to increase the value or income potential of the land) shall not constitute practical difficulties if reasonable use of the property exists under the terms of this chapter;**

The Applicant is proposing to build a 6,400 square-foot detached accessory building on the 20.2-acre property that has an existing single-family home and a detached garage. This proposed use of the property with the new accessory building for personal purposes is reasonable.

(c) The plight of the landowner is due to circumstances unique to the property not created by the landowner;

The existing house and detached garage make the property legally nonconforming as the City has zoned the property B-3 (Limited Industrial Business). The location of the existing house and detached garage and the existing zoning of the property are unique to the property and were not created by the landowner.

(d) The granting of the variance will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity of the parcel or land, nor shall it alter the essential character of the locality;

The proposed plan for the detached accessory building is not expected to adversely impact the surrounding community, nor will it be injurious to or alter the essential character of the area. The proposed location of the new accessory building is in an area with existing trees on two sides and an existing wetland to the rear (west) and is at least 1000 feet from the nearest residential building.

(e) The proposed variance is in keeping with the spirit and intent of this chapter and thus approval of the variance will not: 1. Impair an adequate supply of light and air to adjacent property; 2. Substantially increase the congestion of the public streets; 3. Increase the danger of fire; 4. Endanger the public safety; or 5. Substantially diminish or impair property values within the neighborhood; or 6. Cause drainage issues for an adjacent property.

This request appears to meet the intent of the zoning ordinance. Approval of the proposed variance will not impair an adequate supply of light and air to adjacent properties, should not increase congestion on public streets, endanger public safety and will not diminish or impair property values in the neighborhood. As proposed, the site plan and land use are not expected to create or enhance any detrimental impacts on adjacent properties. The City will review the grading and drainage plans as part of the building permit process to ensure there will be no negative impacts or drainage issues caused by this project on adjacent properties.

Site Plan Considerations for Approval

City Code Section 153.038(E)(6) provides the following criteria for the Planning Commission to consider when evaluating whether to approve a site plan review request. Staff assessment is provided in *italics*.

a) Consistency with the City Comprehensive Plan;

The proposed use with the addition of another accessory building on the property is not consistent with the City's 2040 Comprehensive Plan as the owner is using the property for residential purposes.

- b) Compliance with the Zoning Ordinance;

The proposed use and site plan will be consistent with the City's adopted zoning ordinance with the exceptions and the variance noted in this report.

- c) The preservation of the site in its natural state to the extent practicable by minimizing tree loss, soil removal, and grading;

The proposed site development will not alter the natural state of the property. The proposed detached accessory building preserves the existing wetland and all the existing trees on the property.

- d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulations; and

The site plan will be consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like with the changes as recommended by City staff.

- e) The protection of adjacent and neighboring properties.

City staff do not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan with the existing and required screening, landscaping and conditions of approval.

Findings & Staff Recommendations

As proposed, the addition of the proposed detached accessory building to the property will not detract from existing development in the area, will be compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities. The proposed plan for the detached accessory building will be consistent with the City requirements for setbacks, parking, yard areas, screening, lighting, and the like with the changes as recommended by City staff.

In summary, staff finds that, with proper conditions, the applicant's proposal to add another detached accessory building to the property is a reasonable use of the property and it will meet the findings of fact for approving a variance and will conform to the plans, policies, and standards set forth by the City for the construction of such a building.

Recommendations

- A. City staff recommends the Planning Commission **move to approve Resolution 03-13-24-01**. This resolution is for the approval of a variance to allow the construction of a second accessory building on the property located at 23620 Forest Road North (PID: 05-032-21-13-0001). This approval would allow the construction of a new 6,400 square-foot detached accessory building on the property with B-3 (Limited Industrial Business) zoning designation.

This approval shall be subject to the following conditions:

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1242.

2. No further grading or construction shall occur before the issuance of the required City approvals and permitting.
 3. The applicant or contractor must obtain all required Comfort Lake-Forest Lake Watershed District permits before starting any additional site work.
 4. The applicant or contractor shall install all necessary erosion control measures before starting any further grading or site work. The erosion control measures should be located down gradient of all land disturbance activities and as may be required by the Comfort Lake – Forest Lake Watershed District.
- B. City staff recommends the Planning Commission move to ***approve Resolution 03-13-24-02***. This Resolution is for the approval of the site and design plans for the proposed detached accessory building for the property located at 23620 Forest Road North (PID: 05-032-21-13-0001). **This approval shall be subject to the following conditions as proposed staff:**
1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1243.
 2. The applicant/owner shall develop the site with the new detached accessory building in substantial conformance with the following plans and review comments as approved by the City that are on file with the Community Development and Building Departments as part of Case No. PZ 24-1243, except as may be modified by the conditions of approval here:

a. General Notes and Site Plan	Sheet S1	Dated October 31, 2022
b. Elevations	Sheet S2	Dated October 31, 2022
c. Elevations	Sheet S3	Dated October 31, 2022
d. Floor Plan	Sheet S4	Dated October 31, 2022
e. Roof Framing Plan	Sheet S5	Dated October 31, 2022
f. Sidewall Section and Details	Sheet S6	Dated October 31, 2022
g. Endwall Section and Details	Sheet S7	Dated October 31, 2022
h. Overhead Door Details	Sheet S8	Dated October 31, 2022
i. Sidewall Section and Details	Sheet S9	Dated October 31, 2022
j. Endwall Sections and Details	Sheet S10	Dated October 31, 2022
k. Overhead Door Details	Sheet S11	Dated October 31, 2022
l. Steel Application Details	Sheet S12	Dated October 31, 2022
m. Colored Site Plan		
n. Colored Building Elevations		
o. Proposed landscape plan		
 3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
 4. The applicant or owner shall receive all approvals and permits from the City, the Comfort Lake-Forest Lake Watershed District and any other State or any other regulatory agencies before starting any further grading or construction activity.
 5. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the review and approval process, shall be submitted and approved by the City before the owner or contractor starts any further grading or construction activity on site.

6. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Owner for all outstanding invoices related to the project.
7. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
8. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on Forest Road North.
9. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting any further construction. The revised plans shall show the following:
 - a. All exterior light fixtures shall be downlit and/or shielded to prevent glare.
 - b. The use of native plantings in the new landscape areas that are tolerant to harsh conditions.
 - c. A revised tree and shrub planting landscape plan for the front yard between the proposed building and access drive and Forest Road North. Such landscaping shall be to provide some screening of the new building and the parking and drive areas in front of the building. The revised front yard landscape plan shall include at least four additional trees to be a variety of deciduous and coniferous trees and several additional shrubs to provide year-round interest, texture, shape, and seasonal color.
 - d. Paving the driveway and parking areas adjacent to the new accessory building with bituminous or concrete.
10. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the applicant or owner to obtain City approval of an amendment of this Site Plan approval and possibly City approval of a variance or a Planned Unit Development (PUD).
11. The applicant shall complete all planning, zoning and building permit reviews and approval before the City releases any permits for this project.
12. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Applicant's Project Narrative dated January 29, 2024
2. Location Map
3. Property Line Map
4. Zoning Map
5. Aerial Photo With Wetlands
6. Aerial Photo (Enlarged)
7. Site Plan
8. Proposed Landscape Plan
9. Proposed Building Elevations - Colored
10. Project Construction Plans dated October 31, 2022 (12 Pages)
11. Resolution 03-13-24-01 (approving variance)
12. Resolution 03-13-24-02 (approving site design plans)

January 29, 2024

Zoning Code Variance Request – Accessory Building

Mike Morley is requesting approval of a variance of the City Zoning Code from the Planning Commission to allow for the construction of a second detached accessory building on his property located at 23620 Forest Road. The 20.24 acre property presently has a house and a 720 sq ft detached garage; he is requesting a variance to build a second detached storage building that would be 6,400 sq ft on the property. Mike intends to use the new building for personal inside storage and maintenance shop. He is not intending to use the new building for commercial or business purposes.

This particular property originally consisted of six buildings in a state of disrepair when Mike purchased the property in 2016. The property contained a house, a detached garage, a 12 foot by 15 foot shed and snow fence manufacturing buildings. The buildings consisted of three structures attached to one another. The sizes were roughly a 15 foot by 70 foot, a 12 foot by 15 foot and a 20 foot by 20 foot structure. The buildings are shown on the attached historical aerial photo. These buildings were unsafe and unsightly; they were demolished and removed by Mike in 2017. Mike renovated the entire inside and outside of the home in 2018 and is currently living there. The garage located near the house was replaced in 2019 with a new 720 sq ft garage due to its deterioration.

The position that the owner, Mike Morley, finds himself in is due to circumstances unique to the property as it continues to be his primary residence. The property was rezoned to Limited Industrial Business (B-3). The situation where the property was rezoned to B-3 was not created by the owner of the property. The snow fence manufacturing business that was on the property discontinued in the late 1970s. Mike would like to replace the four previously removed dilapidated outbuildings with one new building that would be north of the existing garage. The proposed location is relatively level and screened by existing trees on the north and west sides. In his quest to clean up the premises, the old outbuildings were removed and now Mike would like to replace the four buildings he removed with one new, safe and visually appealing building. For this to happen, a variance is being requested. As the zoning ordinance only allows one detached accessory building on a property with commercial zoning, this variance to have a second accessory building is a reasonable use on the property and it would not be detrimental to the public welfare or injurious to other land or improvements in the vicinity of the parcel or land, nor will it alter the essential character of the locality.

Mike believes this variance stays within the spirit and intent of the Zoning Ordinance since the variance:

- will not impair an adequate supply of light and air to adjacent property,
- will not substantially increase the congestion of the public streets,
- will not increase the danger of fire,
- will not endanger the public safety,
- will not substantially diminish or impair property values within the neighborhood,
- will not cause drainage issues for an adjacent property.

To provide a visually interesting building, the new accessory building will be an L-shaped painted tin finished metal building (see attached drawing). From the east, it will provide a frontage road view of a building shaped with a combination of horizontal and vertical design features. The first forty feet of the building from the north will project out toward the street with beige accented trim along with two white garage doors and beige roof trim for visual appeal. A white walk-in front entry door will also provide a

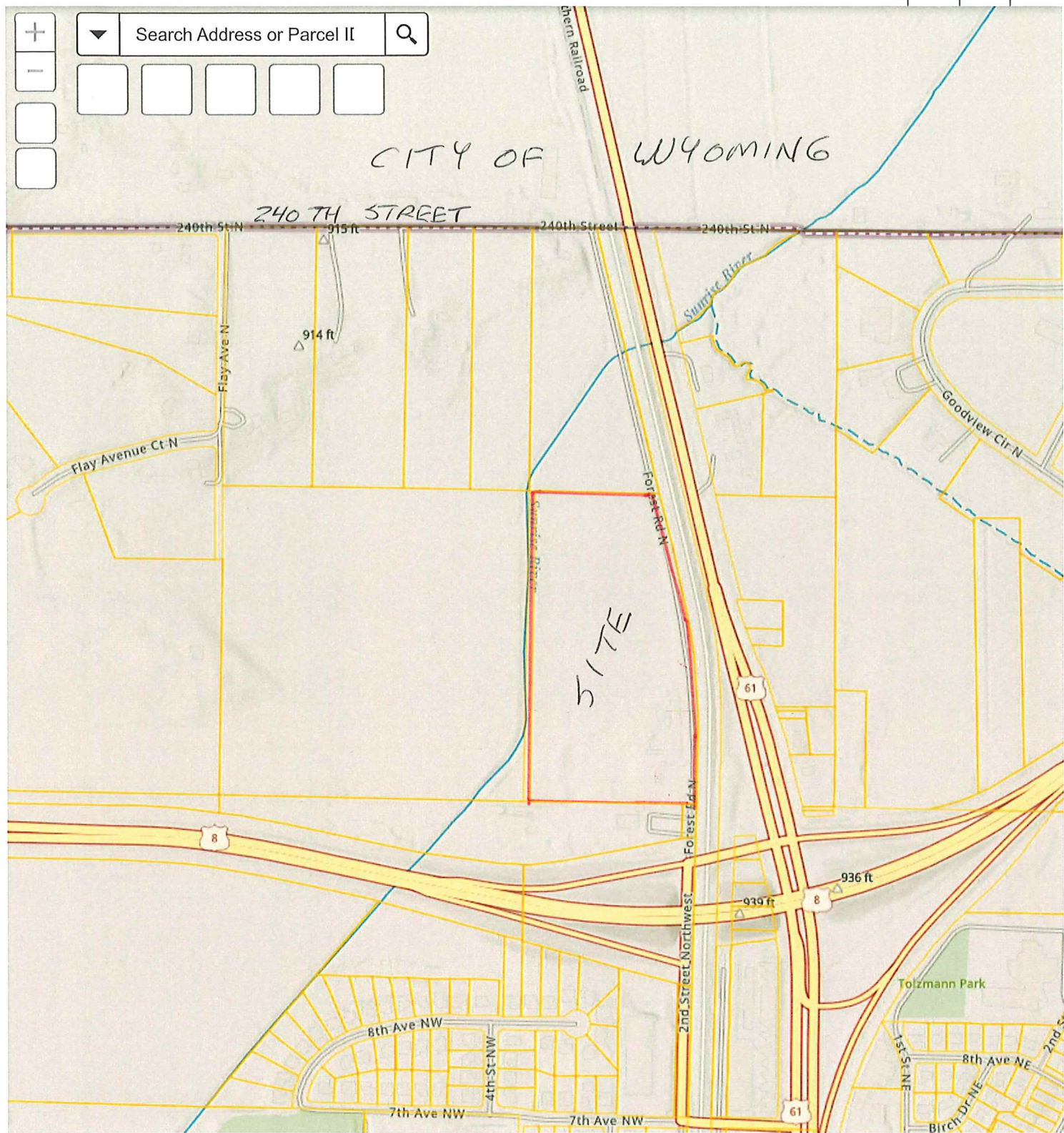
visually interesting and pleasing element. The next fifty-six feet of the street view portion of the building will have two full size white garage doors and a contrasting visible beige roof line. The contrasting, yet complementary material colors will be a beige roof with light stone side walls and four-foot-tall beige horizontal wainscoting along the bottom sidewalls. Beige accent trim will be used around the doors, along the sidewall corners and along the roof trim. The roof will be beige and metal. Three exterior lights above doors will provide safety and security to the building. The non-gravel surfaces will be seeded to grass. The Comfort Lake Forest Lake Water Shed District has approved this design.

Mike is requesting city approval of a site plan and a variance to construct the new accessory building on his premises. He has applied for and received a permit for this project from the Comfort Lake Forest Lake Watershed District (see attached permit). The poles for this project were set in 2022. The City of Forest Lake posted a stop work order and there has not been any additional work performed.

Parcel Viewer - Quick Access

Beta

Washington County, MN



LOCATION MAP

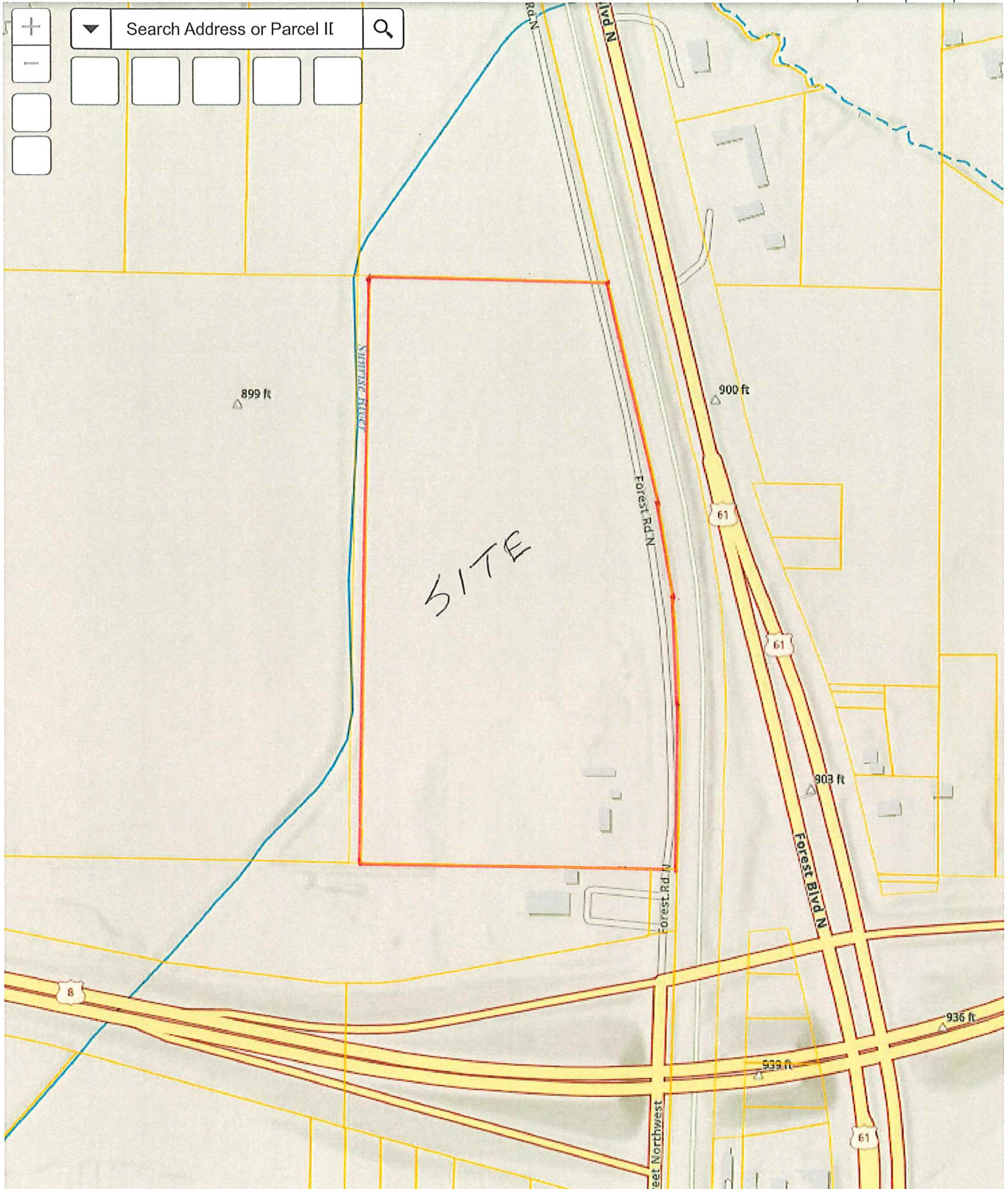
600ft

-92.962 45.294 Degrees

Parcel Viewer - Quick Access

Beta

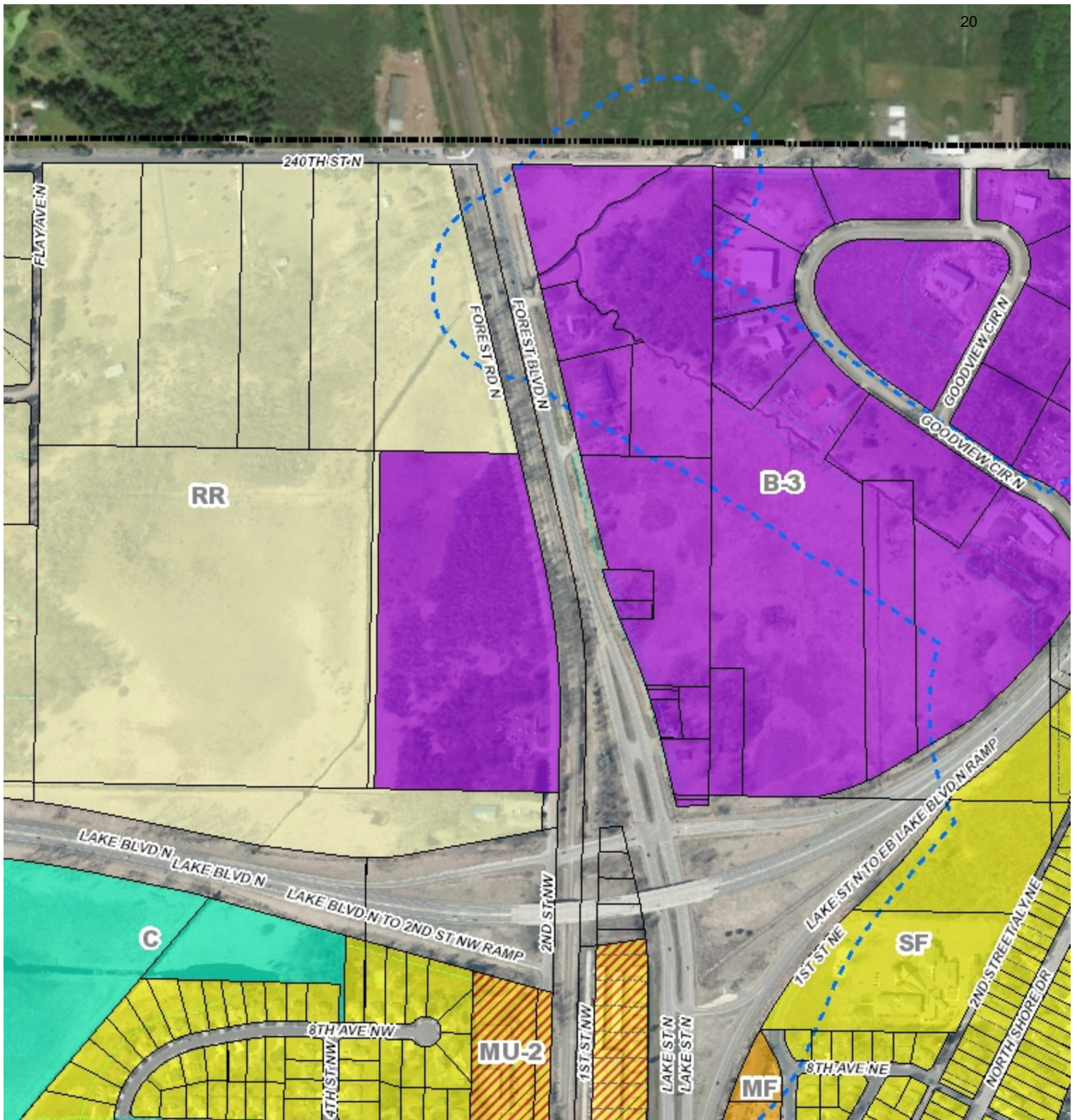
Washington County, MN



300ft

-92.972 45.293 Degrees

PROPERTY LINE MAP



0 527 Feet



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Disclaimer:

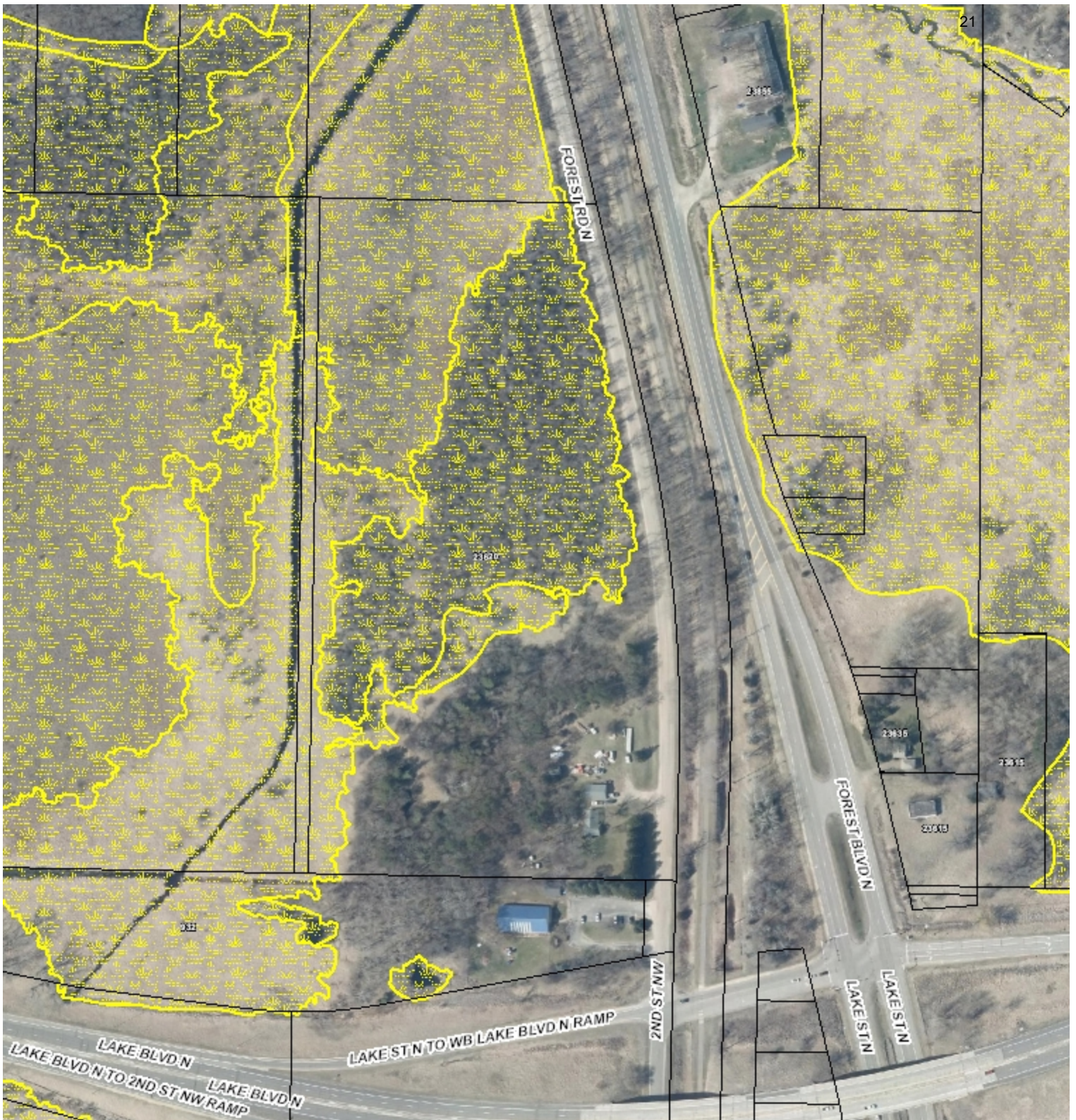
This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

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Forest Lake
AS GOOD AS IT SOUNDS

**23620 Forest Road - Zoning
Map**



0 263 Feet



**BOLTON
& MENK**

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Disclaimer:

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Forest Lake
AS GOOD AS IT SOUNDS

23620 Forest Road



0 132 Feet



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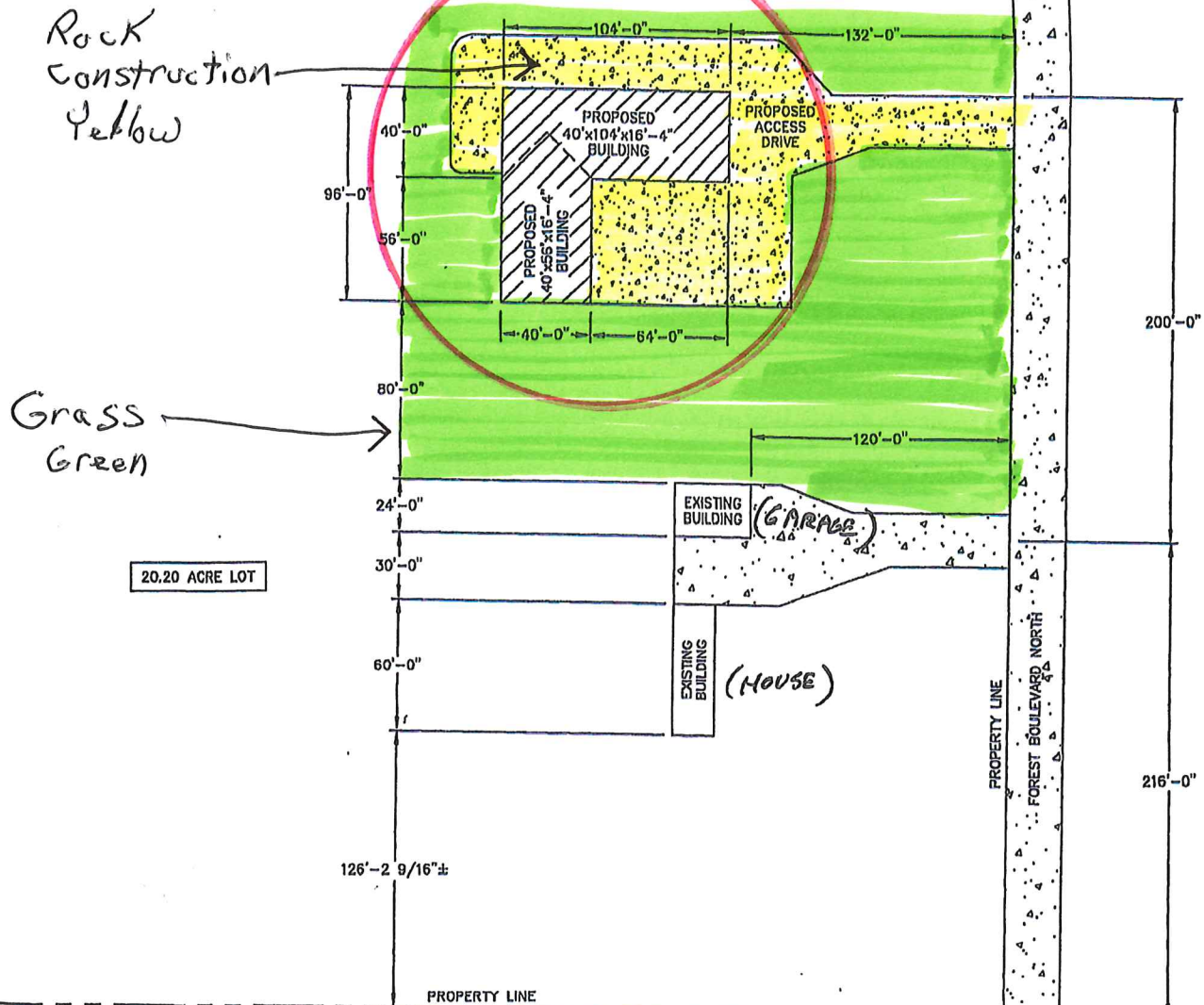
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Forest Lake
AS GOOD AS IT SOUNDS

23620 Forest Road



SITE PLAN

SCALE: 1"=50'

SHEET INDEX

SHEET DESCRIPTION

GENERAL NOTES AND SITE PLAN
ELEVATIONS
ELEVATIONS
FLOOR PLAN
ROOF FRAMING PLAN
SIDEWALL SECTION AND SECTION DETAILS
ENDWALL SECTION AND SECTION DETAILS
OVERHEAD DOOR DETAILS
SIDEWALL SECTION AND SECTION DETAILS
ENDWALL SECTION AND SECTION DETAILS
OVERHEAD DOOR DETAILS
STEEL APPLICATION DETAILS

NOTE:

OWNER/CONTRACTOR SHALL PROVIDE A PLAT SURVEY WITH PROPOSED BUILDING LOCATIONS AND VERIFY ALL PROPOSED BUILDING SETBACKS AND LOCATION ON PROPERTY WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION AND MAKE ADJUSTMENTS ACCORDINGLY.

BUILDING INFORMATION:

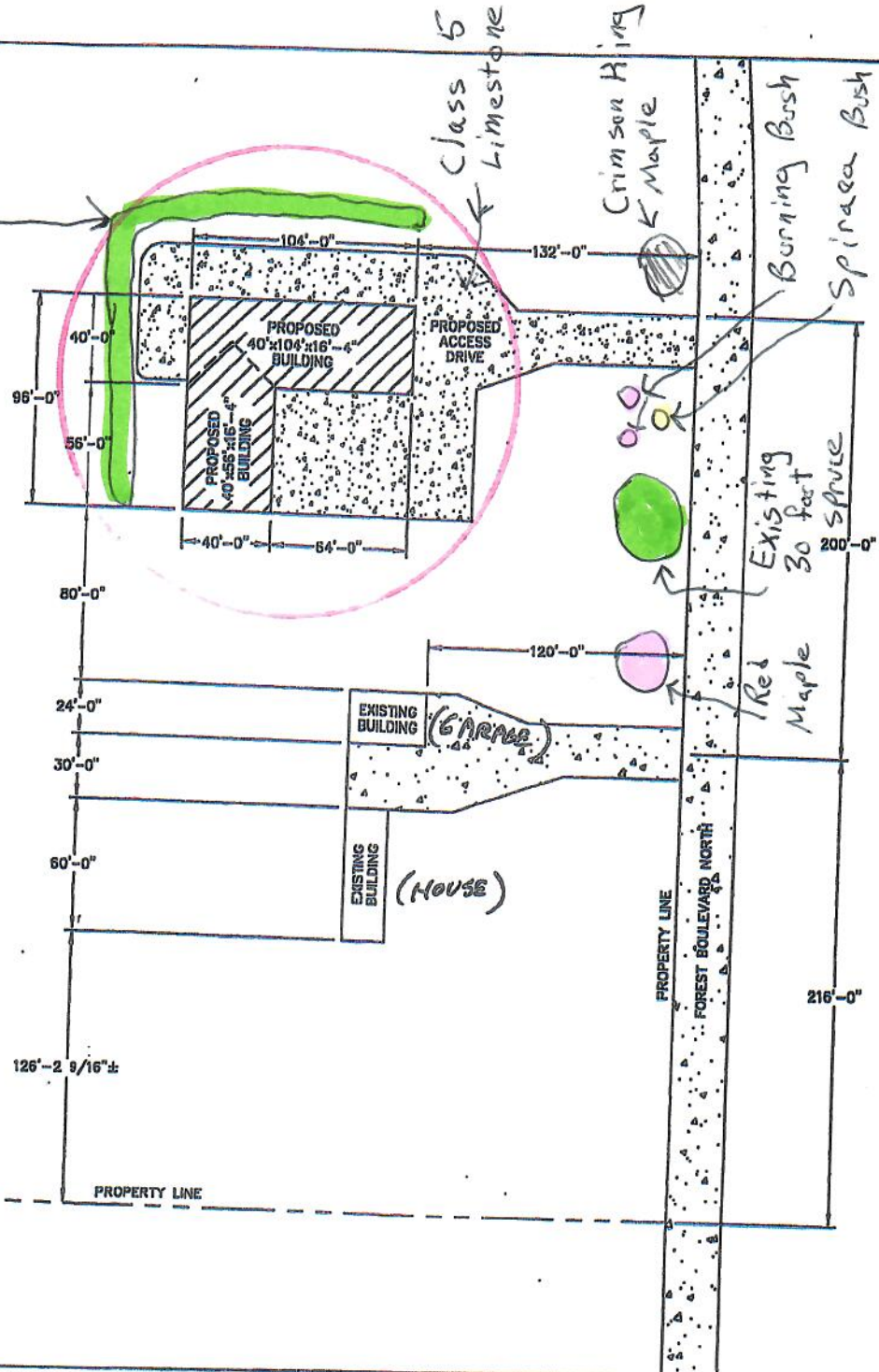
NAME: MIKE MORELY
 ADDRESS: 23620 FOREST ROAD N
 CITY: FOREST LAKE
 STATE: MN
 ZIP: 55025
 COUNTY: WASHINGTON



Mike Morley Landscape Plan

Existing 40 foot Pines

20.20 ACRE LOT



SITE PLAN

SCALE: 1"=50'

SHEET INDEX

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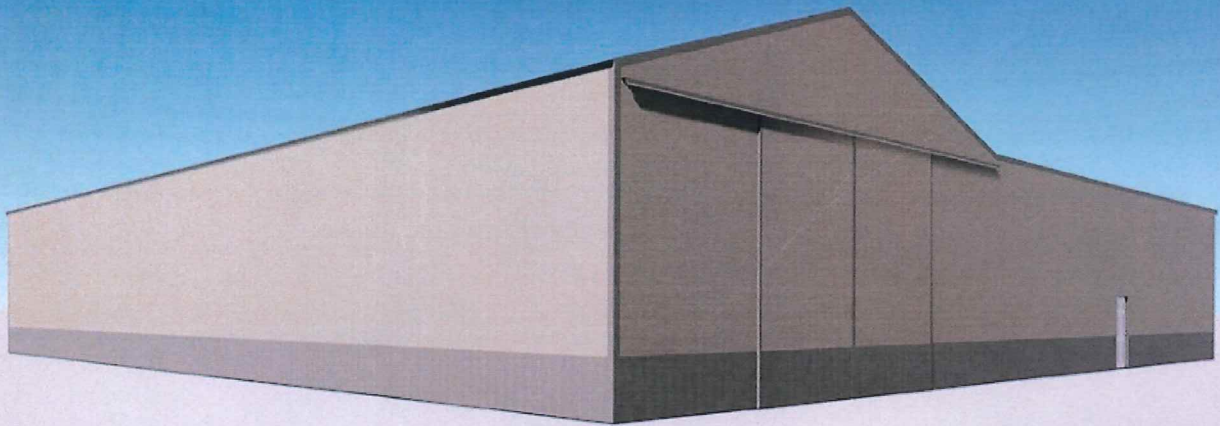
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BUILDING INFORMATION:
NAME: MIKE MORELY
ADDRESS: 23520 FOREST ROAD N
CITY: FOREST LAKE
STATE: MN
ZIP: 55025
COUNTY: WASHINGTON





Street View from Southeast



View from Northwest

BUILDING SPECIFICATIONS AND GENERAL NOTES

OWNERS INFORMATION:		BUILDING DESIGN INFORMATION:		BUILDING AREA:	
- NAME:	MIKE MORELY	- DESIGN CODE:	2020 MN BUILDING CODE	- AREA OF WORK:	6400 SQFT
- ADDRESS:	23620 FOREST BLVD NORTH	- USE OF BUILDING:	STORAGE WAREHOUSE	- MEZZANINE AREA:	0 SQFT
- CITY:	FOREST LAKE	- OCCUPANCY CLASSIFICATION:	GROUP (S1)	- EXISTING BUILDING AREA:	0 SQFT
- STATE:	MN	- CONSTRUCTION TYPE:	5B	- TOTAL BUILDING AREA:	6400 SQFT
- ZIP:	55025	- RISK CATEGORY:	2	ALLOWABLE AREA:	
				- TABLE AREA:	9000 SQFT
				- PERIMETER INCREASE:	0 SQFT
				- SPRINKLER INCREASE:	0 SQFT
				- TOTAL ALLOWABLE AREA:	9000 SQFT
				FIRE SUPPRESSION SYSTEM:	
				NO	

SNOW	WIND	SEISMIC	TRUSS DEAD LOADS
(Pg) = 50.0 PSF (Ce) = 0.90 (Is) = 1.00 (Ct) = 1.20 (Pf) = 32.80 PSF (Cs) = 0.94 (Ps) = 35.44 PSF (Lr) = 20.00 PSF	B.W.S. = 115 MPH EXPOSURE = C	- SEISMIC IMPORTANCE FACTOR: 1.00 - SPECTRA RESPONSE COEFFICIENT SDS: 0.049 - DUCTILITY RESPONSE COEFFICIENT SD1: 0.040 - SITE CLASSIFICATION: D - SEISMIC DESIGN CATEGORY: A	DLTC = 4 PSF DLBC = 5 PSF
*WITH UNBALANCED LOADS AS REQUIRED			

MAJOR STRUCTURAL COMPONENTS:	COLUMNS:	- ALL LAMINATED COLUMNS SHALL BE MIDWEST MANUFACTURING'S, RIVET CLINCHED, WITH STEEL REINFORCED JOINTS UNLESS SPECIFIED OTHERWISE.
	TRUSSES:	- DESIGNED IN ACCORDANCE TO 2018 IBC TPI APPROVED THIRD PARTY INSPECTED - MIDWEST MANUFACTURING TRUSS QUOTE NUMBER: QTREC0760126 - LATERAL BRACING IS REQUIRED. SEE TRUSS SPECIFICATION SHEET(S) FOR LATERAL BRACE LOCATIONS.
	STEEL PANEL:	- MIDWEST MANUFACTURING'S PRO-RIB STEEL WALL PANEL .0142" MINIMUM THICKNESS BEFORE PAINTING .0165" NOMINAL THICKNESS AFTER PAINTING G60 GALVANIZED COATING PLUS ZINC PHOSPHATE 40 YEAR PAINT WARRANTY STRUCTURAL STRENGTH ASTM-A653 GRADE 80 (FULL HARD STEEL) 82000 PSI MINIMUM TENSILE STRENGTH - MIDWEST MANUFACTURING PREMIUM PRO-RIB STEEL ROOF PANEL .0157" MINIMUM THICKNESS BEFORE PAINTING .018" NOMINAL THICKNESS AFTER PAINTING G100 GALVANIZED COATING PLUS ZINC PHOSPHATE LIFETIME PAINT WARRANTY STRUCTURAL STRENGTH ASTM-A653 GRADE 80 (FULL HARD STEEL) 82000 PSI MINIMUM TENSILE STRENGTH

PLEASE NOTE:

- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE.
- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER.
- WHERE LACK OF INFORMATION OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- IMPORTANT!! THIS BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP THIN BEAM) TO TRANSFER SIDEWALL AND ROOF WIND LOADS TO THE ENDWALL SHEAR WALLS. STEEL PANELS ARE AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS MADE MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE.
- ROOF SYSTEM USES A SLIPPERY ROOF SURFACE. THE USE OF ACCESSORIES TO PREVENT THE SLIDING OF SNOW IS NOT PERMITTED.

SOIL:

- OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY.
- ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 32.
- FOOTINGS TO BE ABOVE THE WATER TABLE
- ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- SOIL DESIGN BASED ON IBC CHAPTER 18 (CHAPTERS 16, 19, 21, 22 AND 23)
- PRESUMPTIVE SOIL TYPE FROM WEB SOIL SURVEY, USDA AND NRCS: (CLASS OF MATERIAL: SW, SP, SM, AND SC).
- SOIL CONSISTENCY: MEDIUM
- A SOIL BEARING PRESSURE AT GRADE ASSUMED AT A MINIMUM 2000 PSF.

CONCRETE:

- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL DEFORMED REBAR SHALL MEET A615 GRADE 60 OR BETTER.

LUMBER:

- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION.
- ALL LUMBER IN CONTACT WITH CONCRETE OR SOIL ABOVE GRADE SHALL BE TREATED IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AWPA U1 UC3B REQUIREMENTS OR BETTER.
- ALL LUMBER BELOW GRADE SHALL BE TREATED IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE AWPA U1 UC4B REQUIREMENTS OR BETTER.

STEEL TRIMS:

- COLOR MATCHED STEEL TRIMS
- CERAM-A-STAR 1050 PAINT SYSTEM

FRAMING FASTENERS:

- POST FRAME NAILS:
- 10d RINGSHANK NAILS (.135"ø), UNLESS NOTED OTHERWISE.
- 30d RINGSHANK NAILS (.177"ø), UNLESS NOTED OTHERWISE.
- 60d RINGSHANK NAILS (.200"ø), UNLESS NOTED OTHERWISE.

PANEL FASTENERS:

- COLOR MATCHED GALVANIZED WOODGRIP SCREWS, #10 DIAMETER, 1/4" HEX HEAD.

HANDLING AND STORING:

- ALL STEEL PANELS AND TRUSS PRODUCTS SHOULD BE HANDLED AND STORED PER MANUFACTURER SPECIFICATIONS.

GRADE:

- ALL FINISHED GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. 5% GRADE FOR PROPER DRAINAGE (2% FOR IMPERVIOUS SURFACES) (IBC 1804).

CONSTRUCTION BRACING:

- TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS' RESPONSIBILITY. REFER TO BCSI-B1 AND/OR B10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).

HVAC:

- HEATING, VENTING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE APPROVED BY LOCAL OFFICIALS.

PLUMBING:

- PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.

ELECTRICAL:

- ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.

EXIT LIGHTS:

- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS, THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH THE ICC ELECTRICAL CODE.

ACCESSIBLE PARKING:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 5.

ACCESSIBLE ROUTE:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 4.

ACCESSIBLE DOOR HARDWARE:

- SHALL COMPLY WITH ICC/ANSI A117.1 CHAPTER 3 SECTION 309. HANDLES, PULLS, LATCHES, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPENED, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR THE THRESHOLD OF SERVICE DOORS MAY NOT EXCEED 1/2" ON EITHER SIDE OF THE DOOR WITH 1:2 SLOPE IF GREATER THAN 1/4".

FIRE EXTINGUISHERS:

- SHALL BE INSTALLED, PROVIDED, AND MAINTAINED AS SPECIFIED IN NFPA NO. 10 (BY OTHERS).

MORELY SHED

FOREST LAKE, MN

Plan Set Reviewed
for Code Compliance

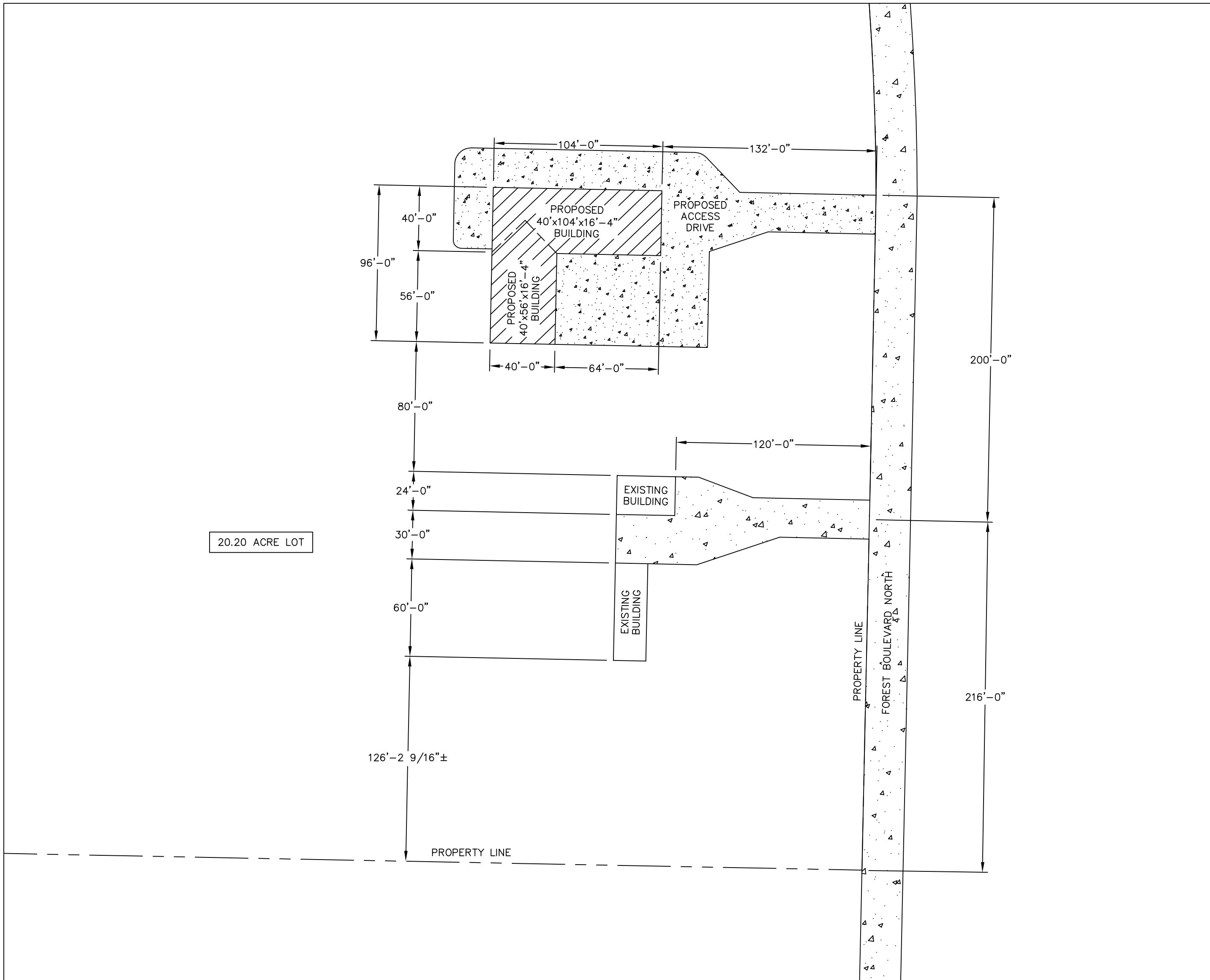
Corey Murphy

Building Official

11/29/2022

Date

This Copy of the Plan Must Remain on the Job Site



SITE PLAN

SCALE: 1"=50'

NOTE:
OWNER/CONTRACTOR SHALL PROVIDE A PLAT SURVEY WITH PROPOSED BUILDING LOCATIONS AND VERIFY ALL PROPOSED BUILDING SETBACKS AND LOCATION ON PROPERTY WITH LOCAL BUILDING OFFICIAL AT TIME OF CONSTRUCTION AND MAKE ADJUSTMENTS ACCORDINGLY.

BUILDING INFORMATION:
NAME: MIKE MORELY
ADDRESS: 23620 FOREST ROAD N
CITY: FOREST LAKE
STATE: MN
ZIP: 55025
COUNTY: WASHINGTON

SHEET INDEX	
SHEET #	SHEET DESCRIPTION
S1	GENERAL NOTES AND SITE PLAN
S2	ELEVATIONS
S3	ELEVATIONS
S4	FLOOR PLAN
S5	ROOF FRAMING PLAN
S6	SIDEWALL SECTION AND SECTION DETAILS
S7	ENDWALL SECTION AND SECTION DETAILS
S8	OVERHEAD DOOR DETAILS
S9	SIDEWALL SECTION AND SECTION DETAILS
S10	ENDWALL SECTION AND SECTION DETAILS
S11	OVERHEAD DOOR DETAILS
S12	STEEL APPLICATION DETAILS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Matthew G. Hull

Signature: _____

Date: _____ License #: 47371



ENGINEERING SERVICES
5311 KANE RD. SAU CLAIRE, WI 54703 (715) 878-0565

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

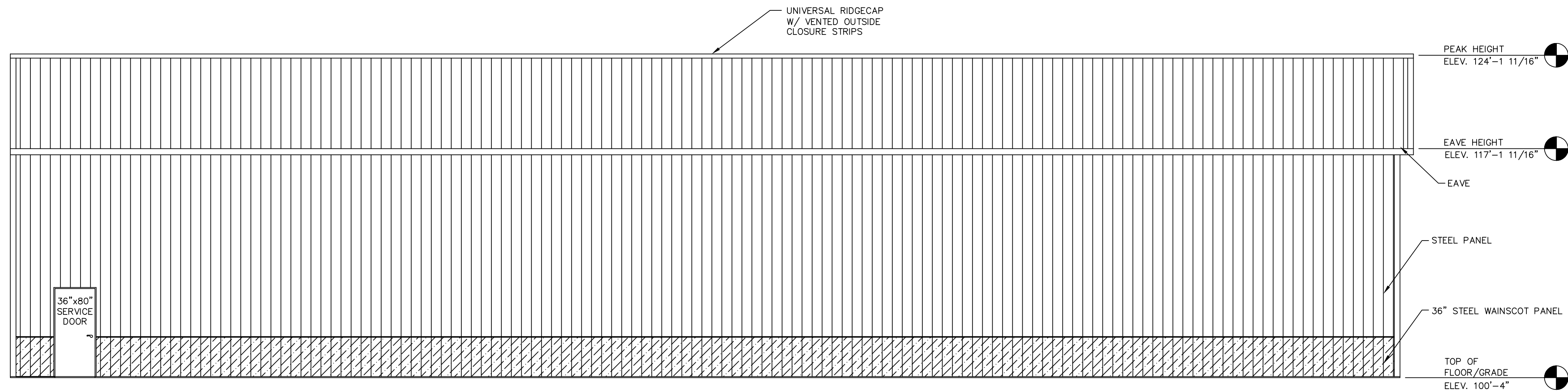
SHEET TITLE:

GENERAL NOTES
AND SITE PLAN

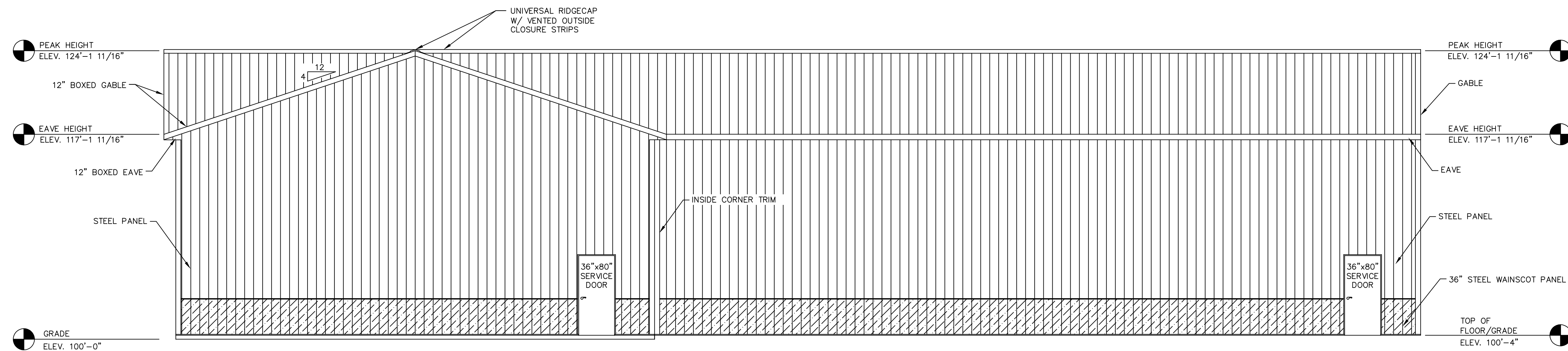
FILE NAME: S35422MN

SHEET NO.

S1



NORTH ELEVATION



SOUTH ELEVATION

ELEVATIONS
SCALE: 3/16"=1'-0"

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Matthew G. Hull

Signature: [Signature]
Date: 11/2/2022 License #: 47371



ENGINEERING SERVICES
5311 KANE RD. EAU CLAIRE, WI 54703 (715) 876-0555

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ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

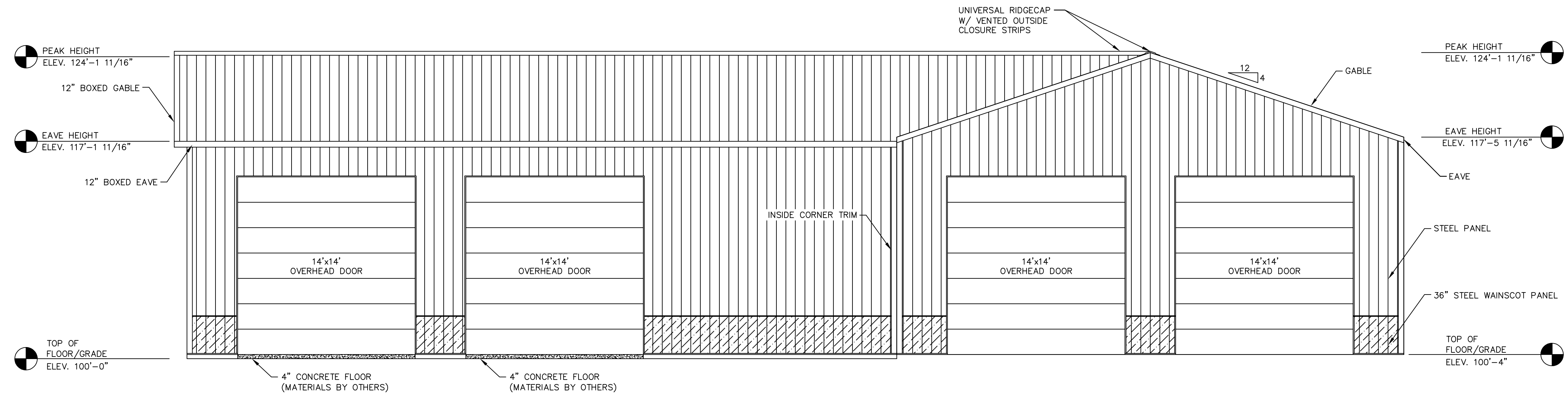
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ELEVATIONS

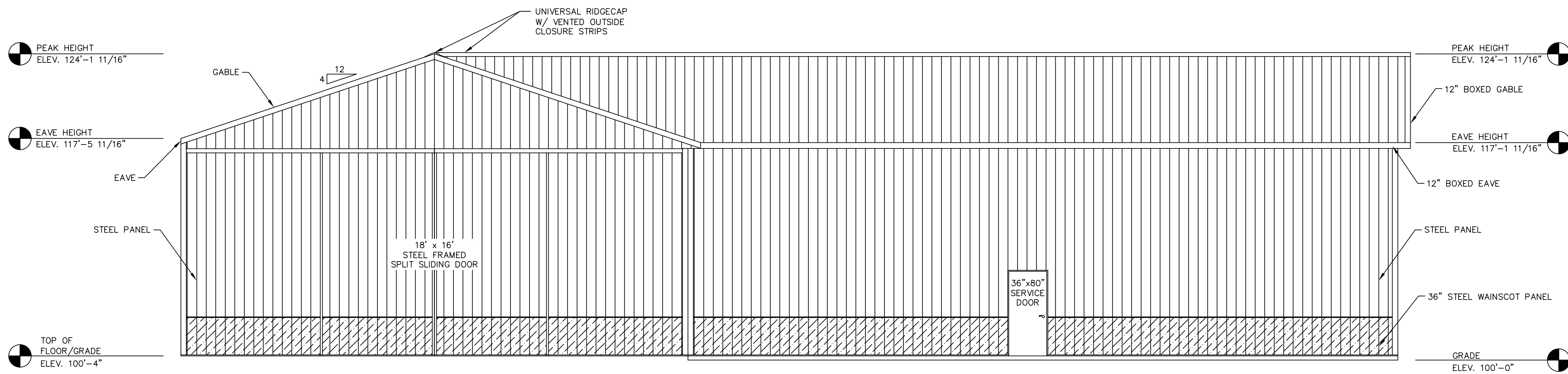
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SHEET NO.

S2



EAST ELEVATION

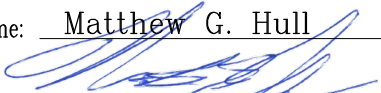


WEST ELEVATION

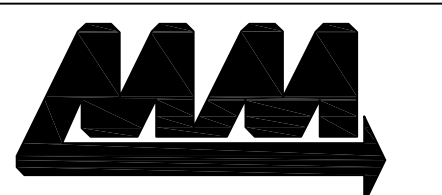
ELEVATIONS
SCALE: 3/16"=1'-0"

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MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

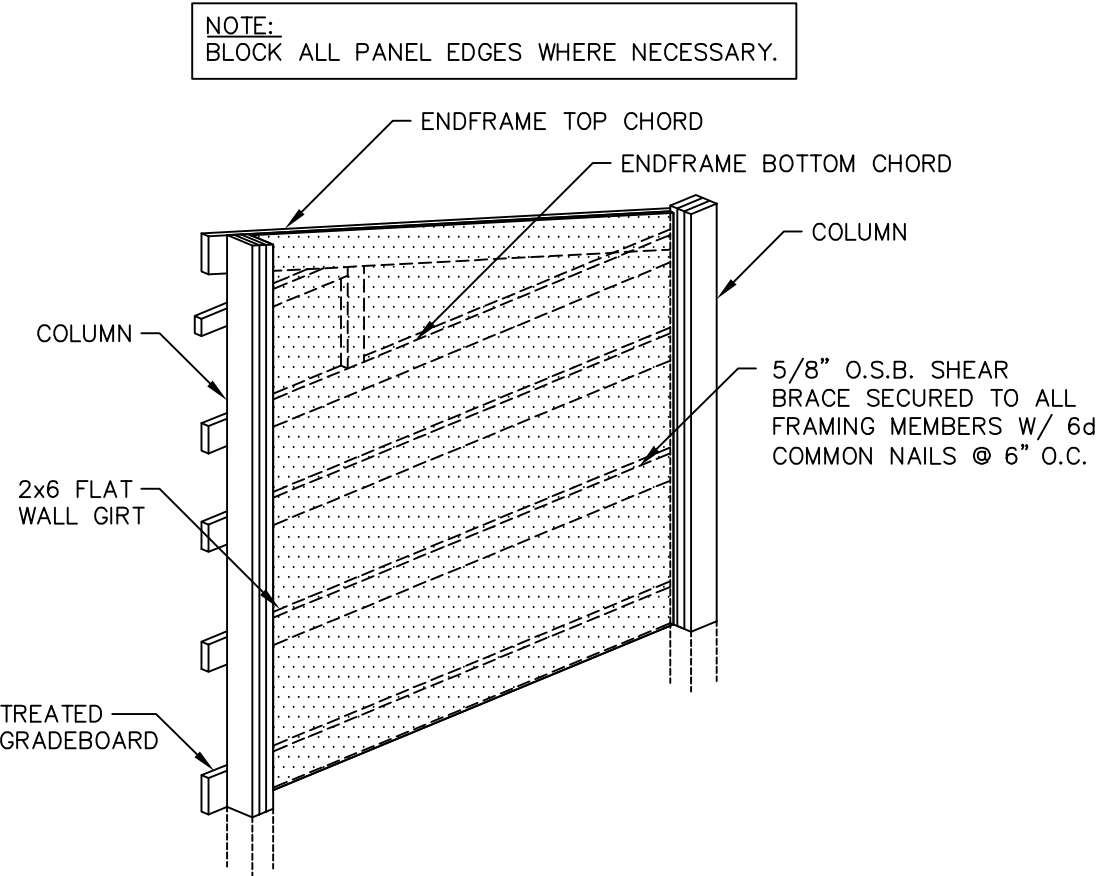
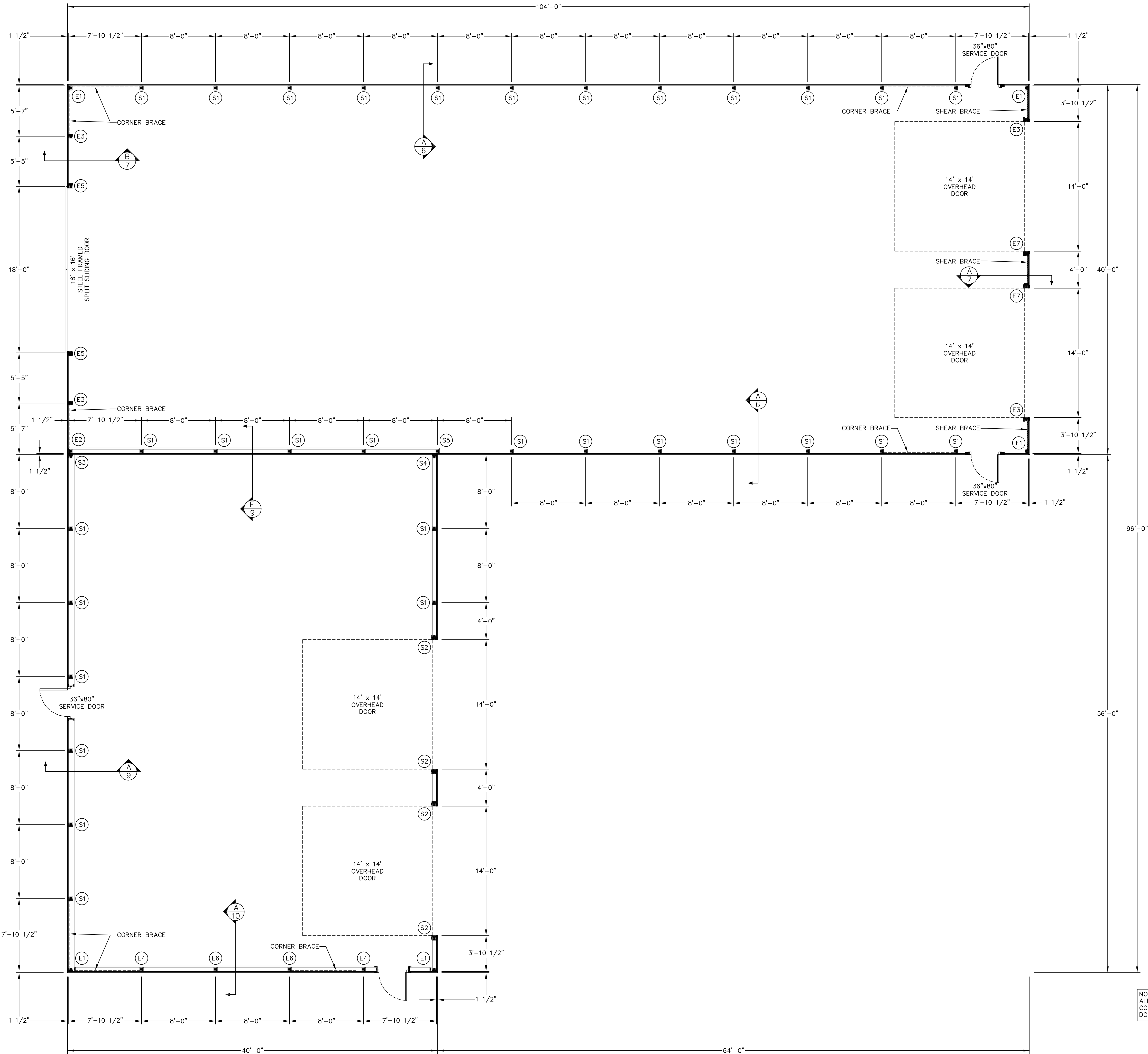
SHEET TITLE:

ELEVATIONS

FILE NAME: S35422MN

SHEET NO.

S3



A
4 O.S.B. SHEAR BRACE DETAIL
NOT TO SCALE

NOTE:
CORNER BRACE SHALL BE A 2x6 #2 SPF EXTENDING FROM THE GRADEBOARD AT THE INTERIOR COLUMN TO THE TOP OF THE CORNER COLUMN. CORNER BRACE SHALL BE SECURED TO THE GRADEBOARD W/(2)-10d RINGSHANK NAILS AND TO THE HEADER/ENDFRAME BOTTOM CHORD W/(2)-10d RINGSHANK NAILS. EACH BRACE TO GIRT LOCATION SHALL BE SECURED W/(1)-10d RINGSHANK NAIL.

COLUMN & FOOTING SCHEDULE				
COLUMN LOCATION	COLUMN DESCRIPTION	EMBEDMENT	NO. OF COLUMNS	FOOTING DESCRIPTION
S1	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	31	22"x6" CONCRETE FOOTING
S2	4-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-11"	4	24"x6" CONCRETE FOOTING
S3	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	1	24"x6" CONCRETE FOOTING (SHARED W/ COLUMN E2)
S4	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	1	30"x8" CONCRETE FOOTING (SHARED W/ COLUMN S5)
S5	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	1	30"x8" CONCRETE FOOTING (SHARED W/ COLUMN S4)
E1	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	5	14"x4" CONCRETE FOOTING
E2	3-PLY (22')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-9"	1	24"x6" CONCRETE FOOTING (SHARED W/ COLUMN S3)
E3	3-PLY (24')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-5"	4	14"x4" CONCRETE FOOTING
E4	3-PLY (26')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-5"	2	14"x4" CONCRETE FOOTING
E5	4-PLY (26')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-5"	2	14"x4" CONCRETE FOOTING
E6	3-PLY (28')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-5"	2	14"x4" CONCRETE FOOTING
E7	4-PLY (28')-2x6 2400f MSR SYP LAMINATED COLUMN	4'-5"	2	14"x4" CONCRETE FOOTING

NOTE:
IF CONCRETE FOOTINGS ARE POURED ON SITE, THEN FOOTINGS MUST BE A MINIMUM OF 8" THICK.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.
Print Name: Matthew G. Hull
Signature:
Date: 11/2/2022 License #: 47371



ENGINEERING SERVICES
5311 KANE RD. EAU CLAIRE, WI 54703 (715) 876-0565

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM
PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:

FLOOR PLAN

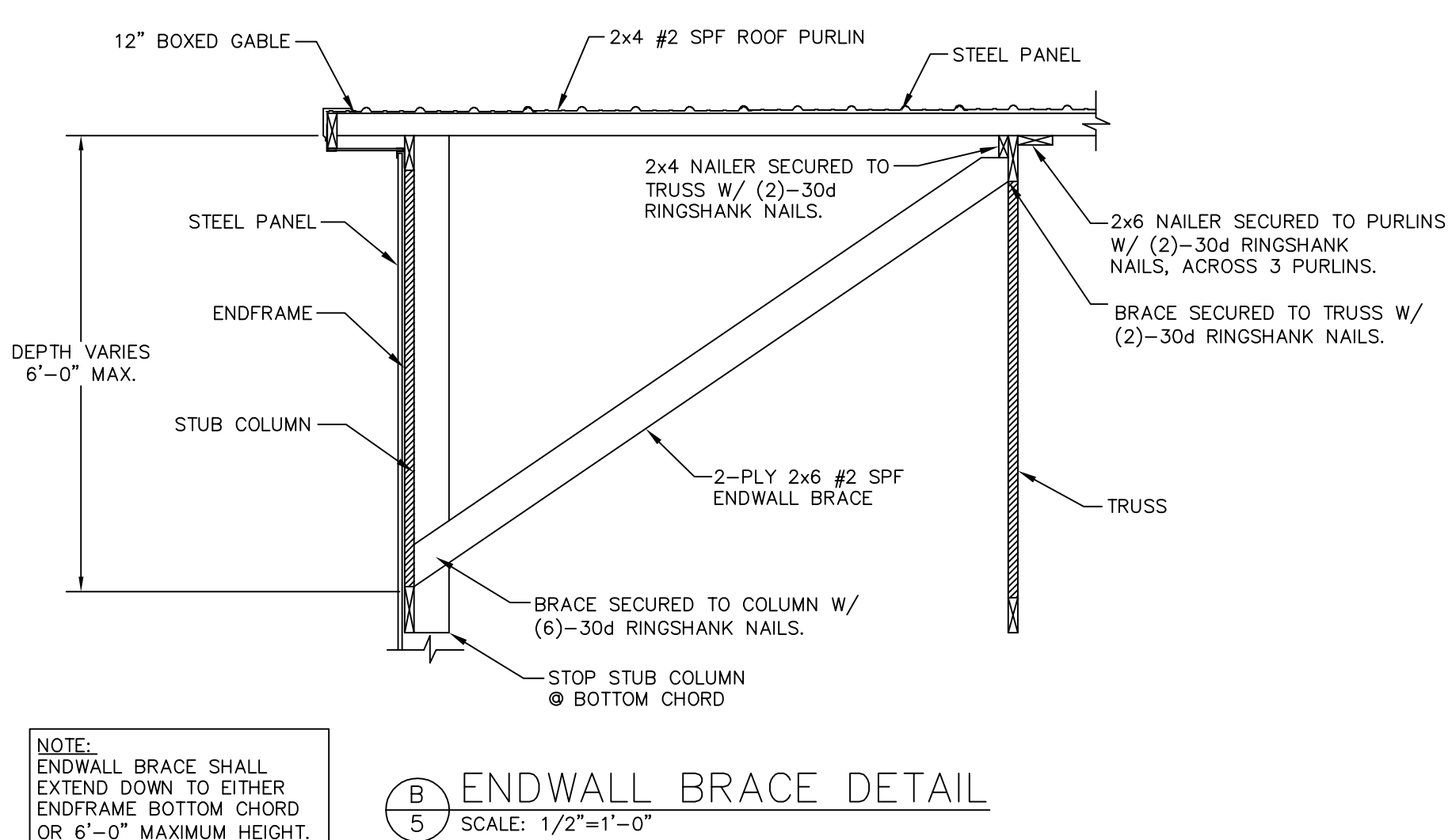
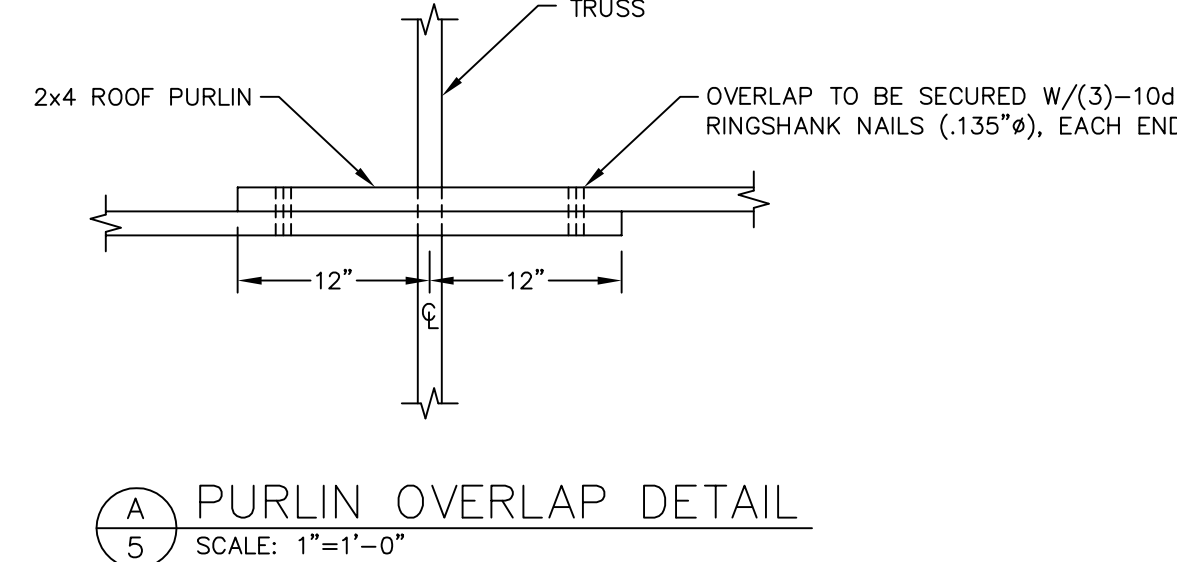
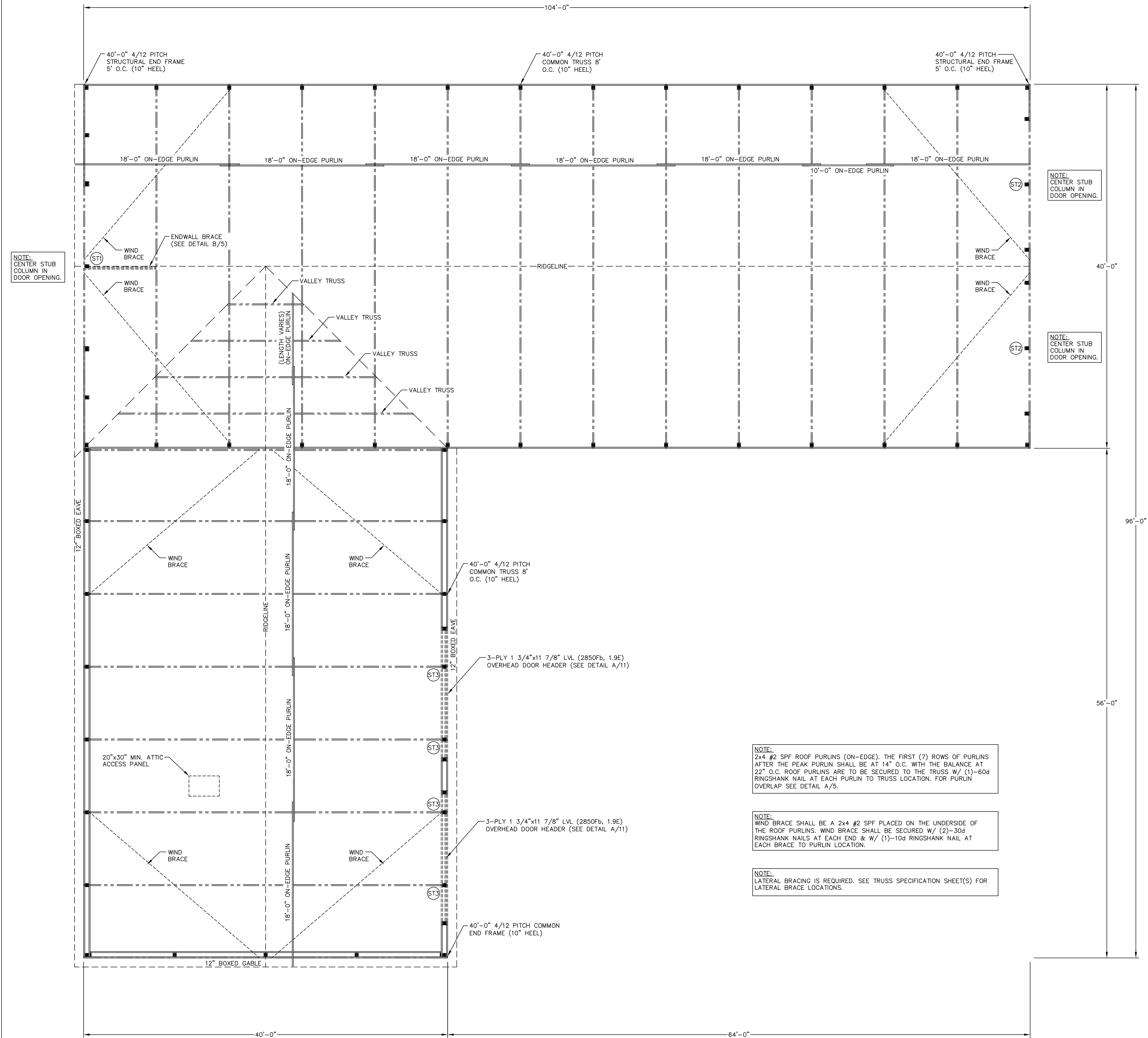
FILE NAME: S35422MN

SHEET NO.

S4

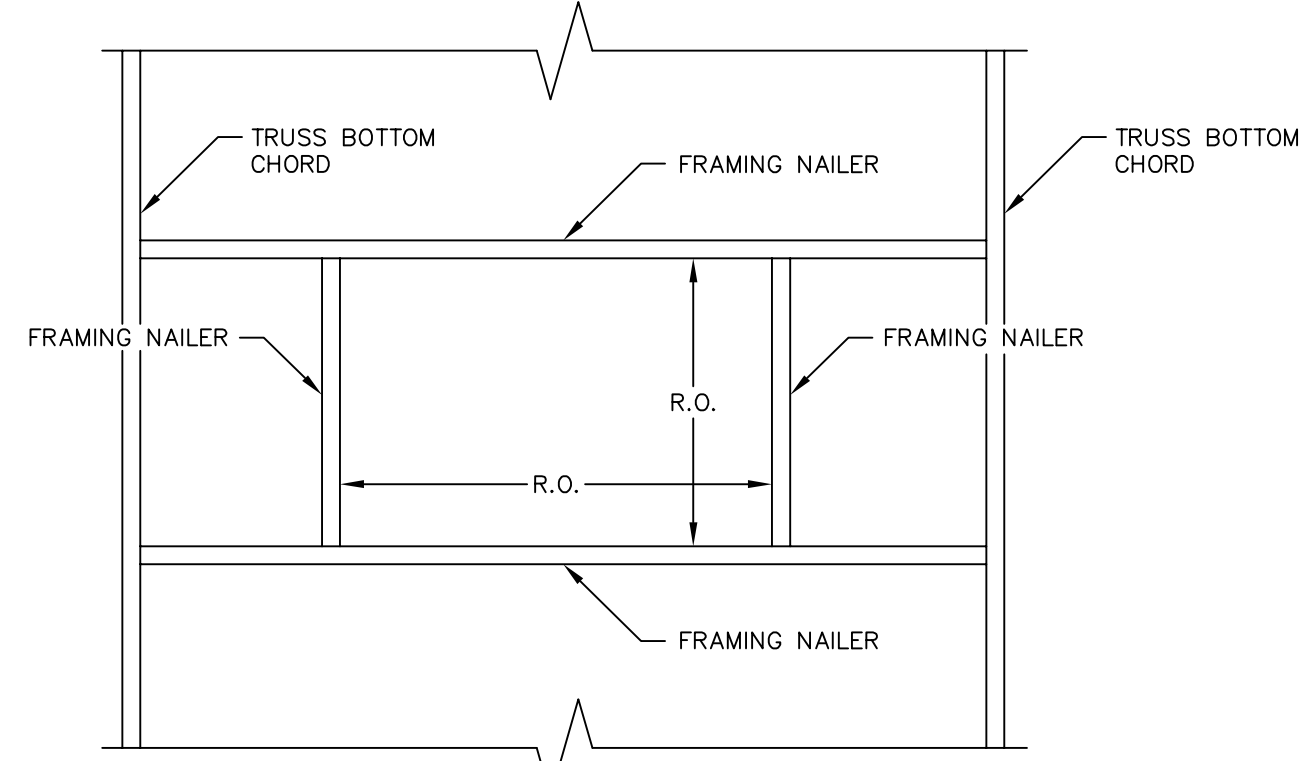
NOTE:
ALL DIMENSIONS ARE TO CENTERLINE OF COLUMNS EXCEPT FOR CORNERS AND OVERHEAD DOOR JAMBS OR UNLESS NOTED OTHERWISE.

FLOOR PLAN
SCALE: 3/16"=1'-0"



STUB COLUMN SCHEDULE		
COLUMN LOCATION	COLUMN DESCRIPTION	NUMBER OF COLUMNS
ST1	3-PLY 2x6-(10') #2 SPF STUB COLUMN (CUT TO FIT)	1
ST2	3-PLY 2x6-(8') #2 SPF STUB COLUMN (CUT TO FIT)	2
ST3	3-PLY 2x6-(4') #2 SPF STUB COLUMN (CUT TO FIT)	4

NOTE:
ATTIC AREA SHALL BE COMPARTMENTALIZED INTO AREAS NOT GREATER THAN 3000 SQ. FT. BY FIRE STOPPING AS SPECIFIED IN IBC 718.4. EVERY ATTIC COMPARTMENT SHALL BE PROVIDED WITH A 20"x30" ACCESS PANEL FROM LOWER AREA OR ACCESS PANELS IN COMPARTMENT WALLS SHALL BE PROVIDED WITH SELF CLOSING DEVICES. (INCLUDES OVERHANGS)



ATTIC ACCESS FRAMING
SCALE: 3/4"=1'-0"

ROOF FRAMING PLAN
SCALE: 3/16"=1'-0"

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Print Name: Matthew G. Hull
Signature: [Signature]
Date: 11/2/2022 License #: 47371



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ENGINEERING@MIDWESTMANUFACTURING.COM
PROJECT TITLE:

MORELY SHED

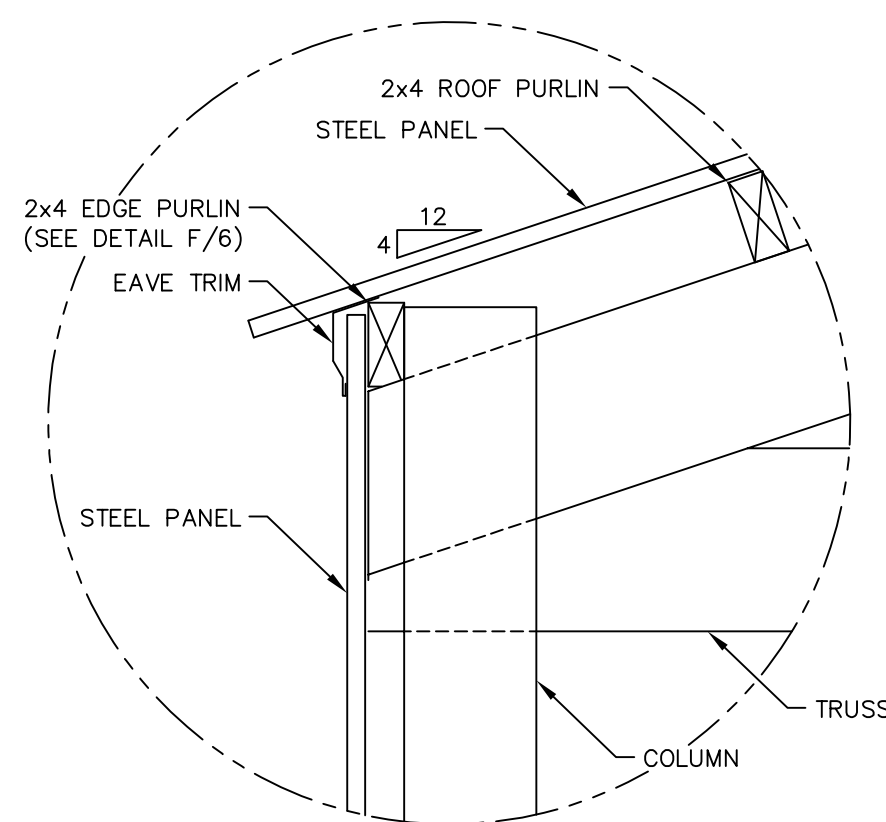
FOREST LAKE, MN
PROF. ENGINEER: MATT HULL
PLAN DESIGNER: KENT HODNY
DRAWN BY: KWK
DATE: 10/31/2022
SCALE: AS NOTED

REVISIONS		
NO	DATE	DESCRIPTION
1		
2		

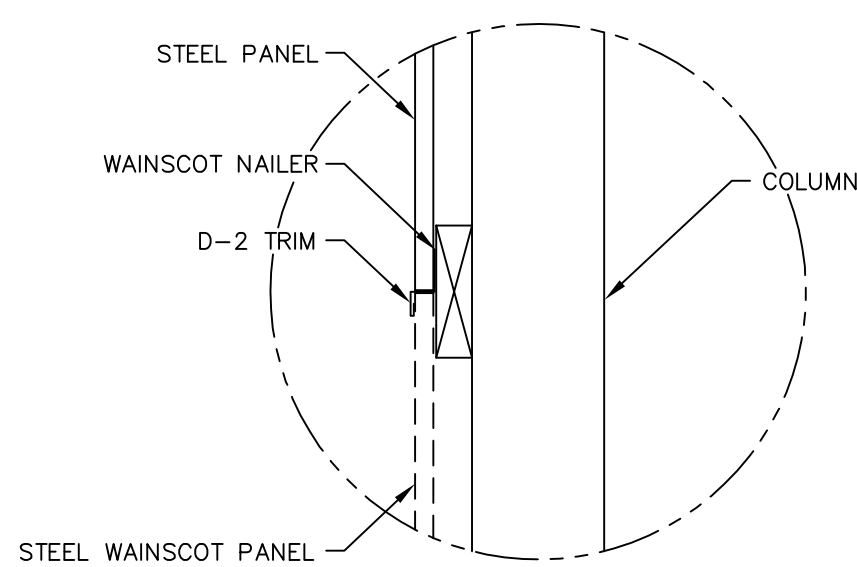
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ROOF FRAMING PLAN

FILE NAME: S35422MN
SHEET NO.

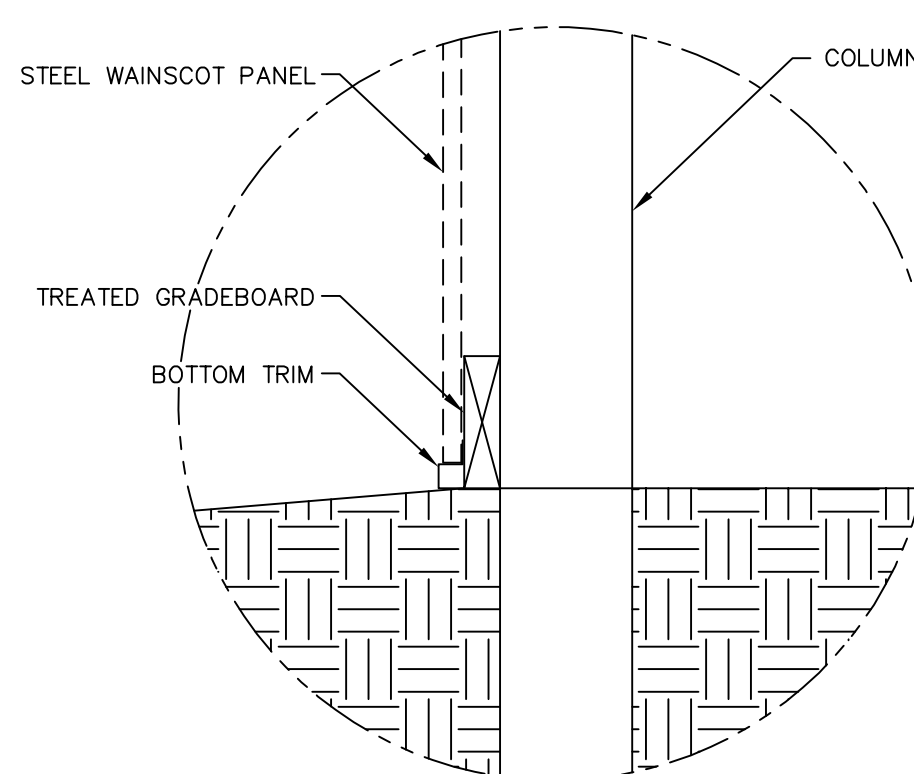
S5



D
6 EAVE DETAIL
SCALE: 1 1/2"=1'-0"

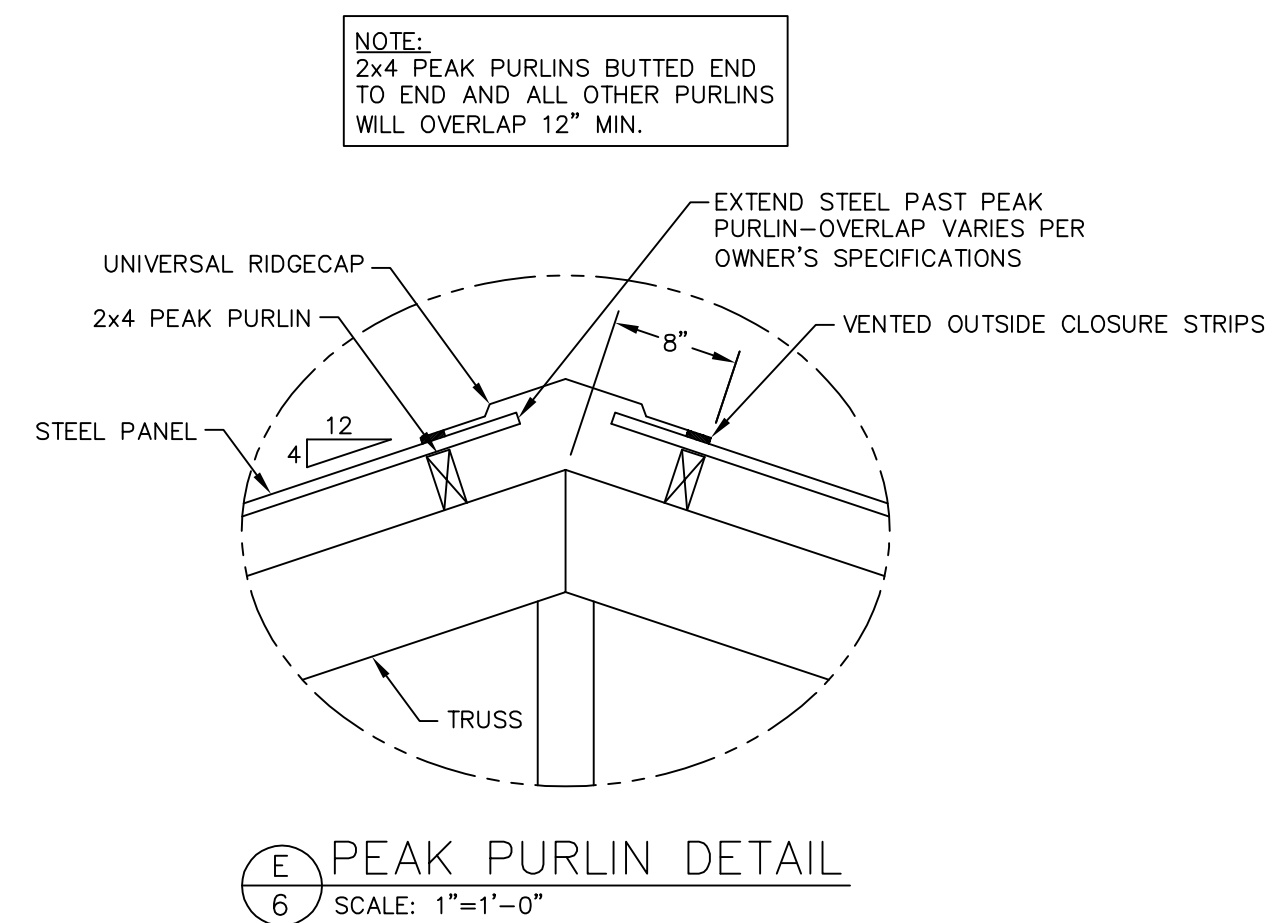


C
6 D-2 TRIM DETAIL
SCALE: 1 1/2"=1'-0"

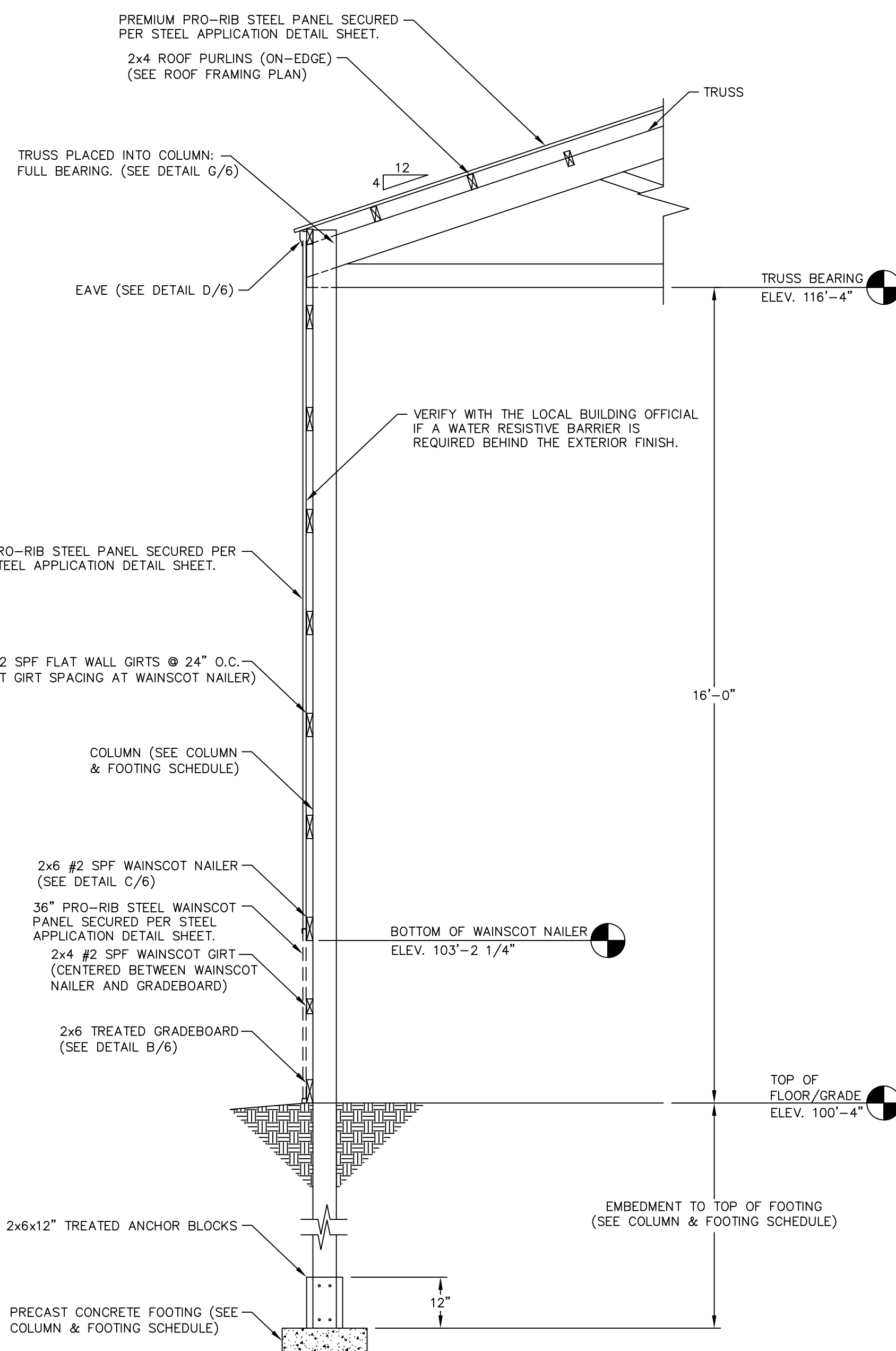


B
6 GRADE DETAIL
SCALE: 1 1/2"=1'-0"

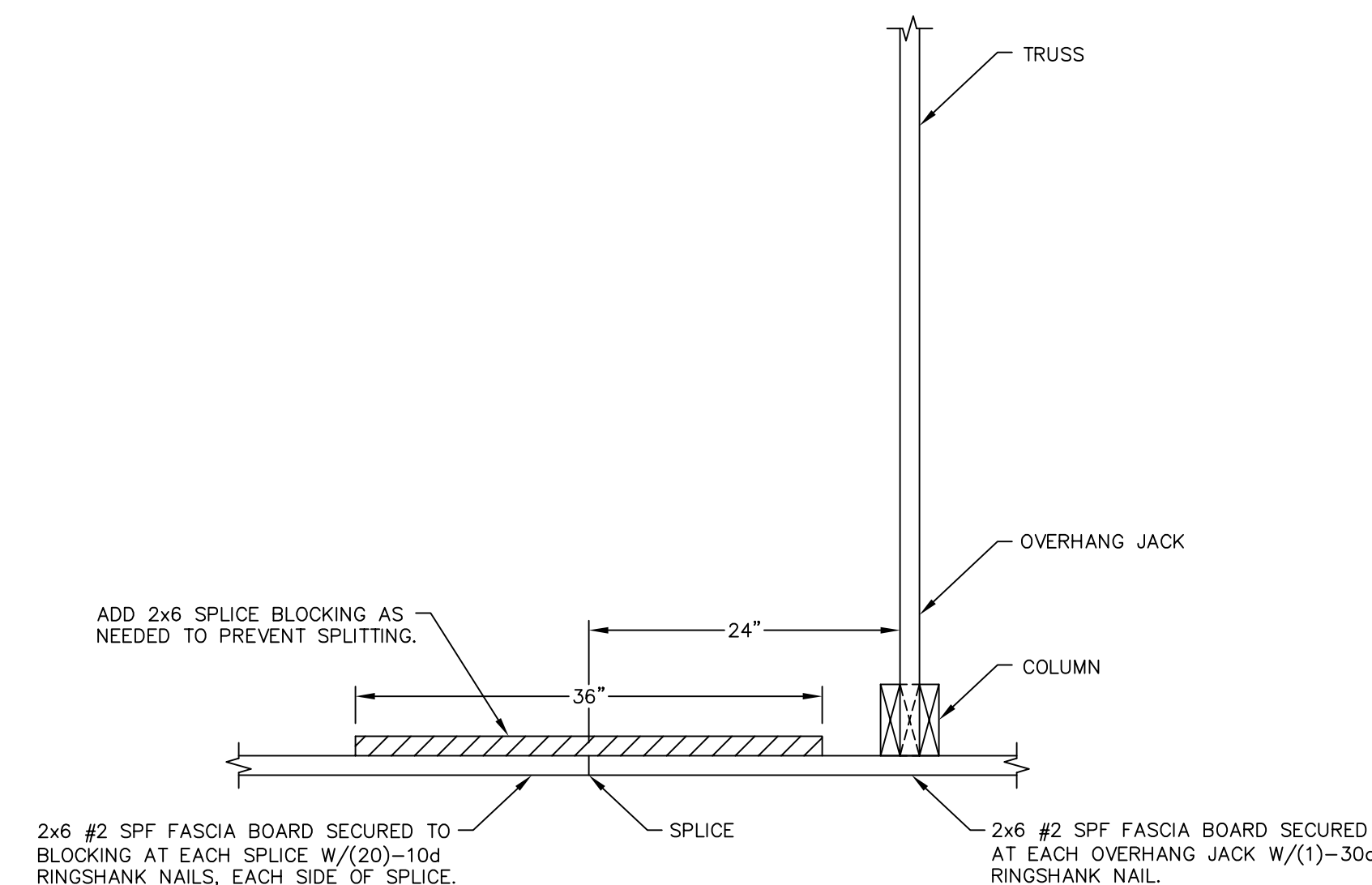
SIDEWALL SECTION FASTENER NOTES	
OVERHANG JACK:	OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS, 16" MIN. APART.
WALL GIRTS:	WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.
WAINSCOT NAILER:	WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.
WAINSCOT GIRT:	WAINSCOT GIRT SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRT TO COLUMN LOCATION.
EXTERIOR TREATED GRADEBOARD:	TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.
TREATED ANCHOR BLOCKS:	TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



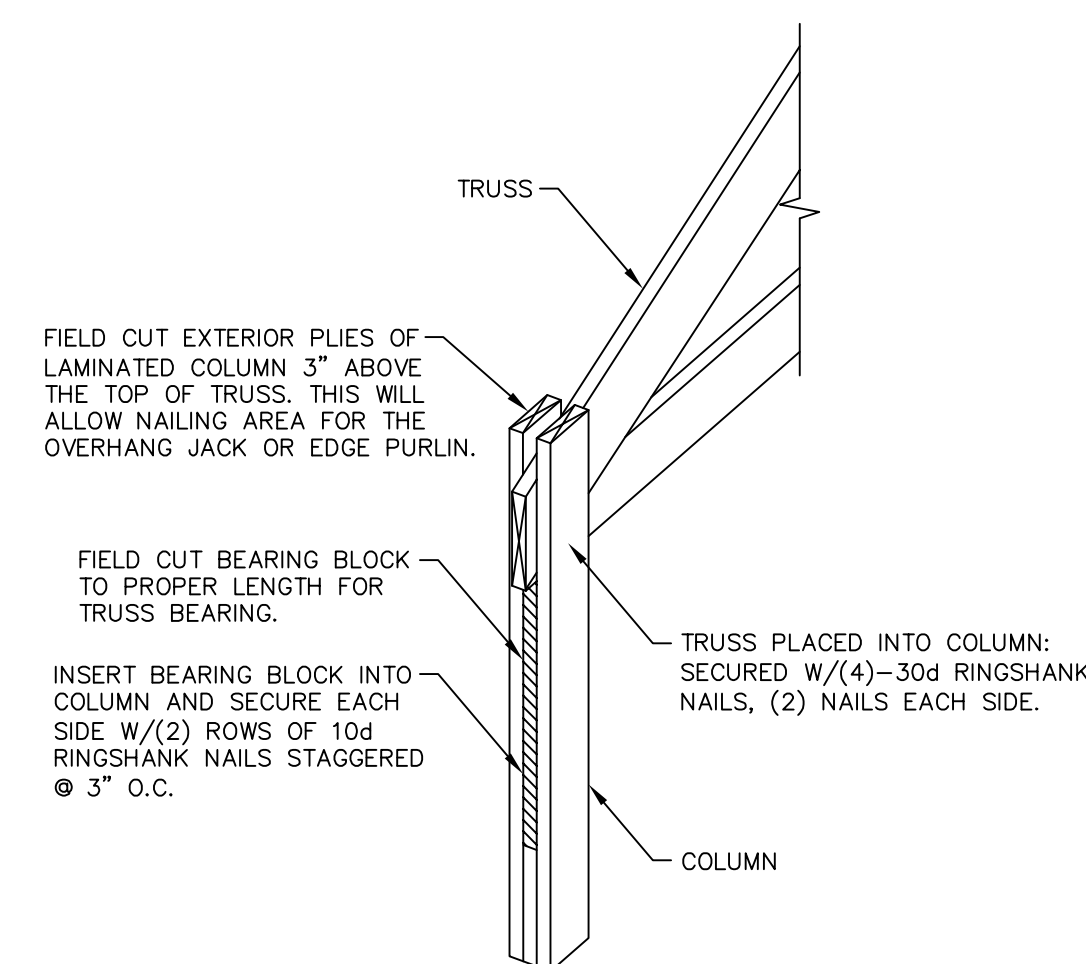
E
6 PEAK PURLIN DETAIL
SCALE: 1"=1'-0"



A
6 SIDEWALL SECTION
SCALE: 1/2"=1'-0"



F
6 FASCIA BOARD DETAIL
SCALE: 1"=1'-0"



G
6 TRUSS INSTALLATION DETAIL
NOT TO SCALE

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 Signature: [Signature]
 Date: 11/2/2022 License #: 47371

MM
ENGINEERING SERVICES
 5311 KANE RD. EAU CLAIRE, WI 54603 (715) 876-0555

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PROJECT TITLE:

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FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:

SIDEWALL SECTION AND SECTION DETAILS

FILE NAME: S35422MN

SHEET NO.

S6

ENDWALL SECTION FASTENER NOTES

ENDFRAME:
ENDFRAME SECURED TO ALL ENDWALL COLUMNS WITH (5)-30d RINGSHANK NAILS AT EACH ENDFRAME TO COLUMN LOCATION.

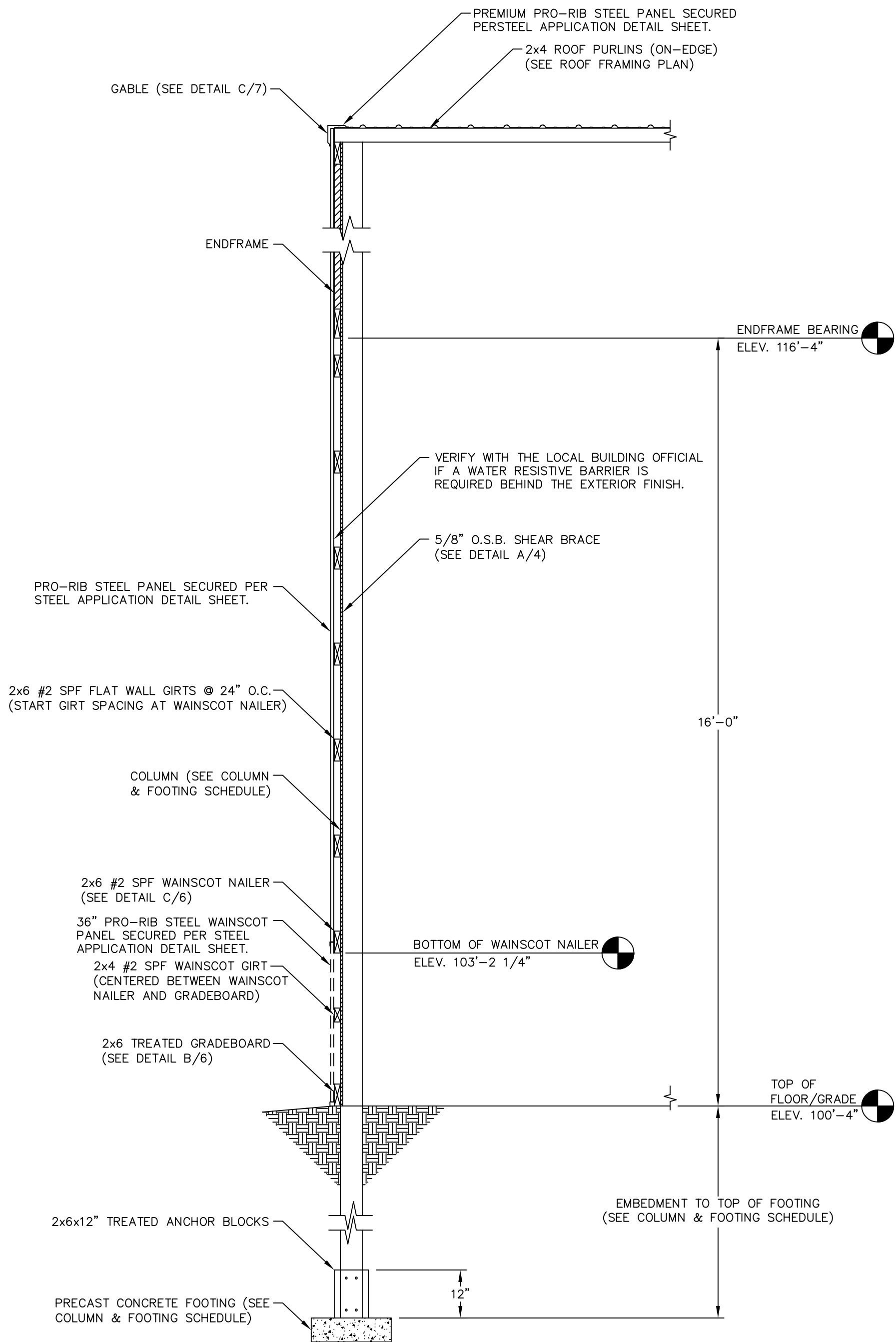
WALL GIRTS
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRT TO COLUMN LOCATION.

WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

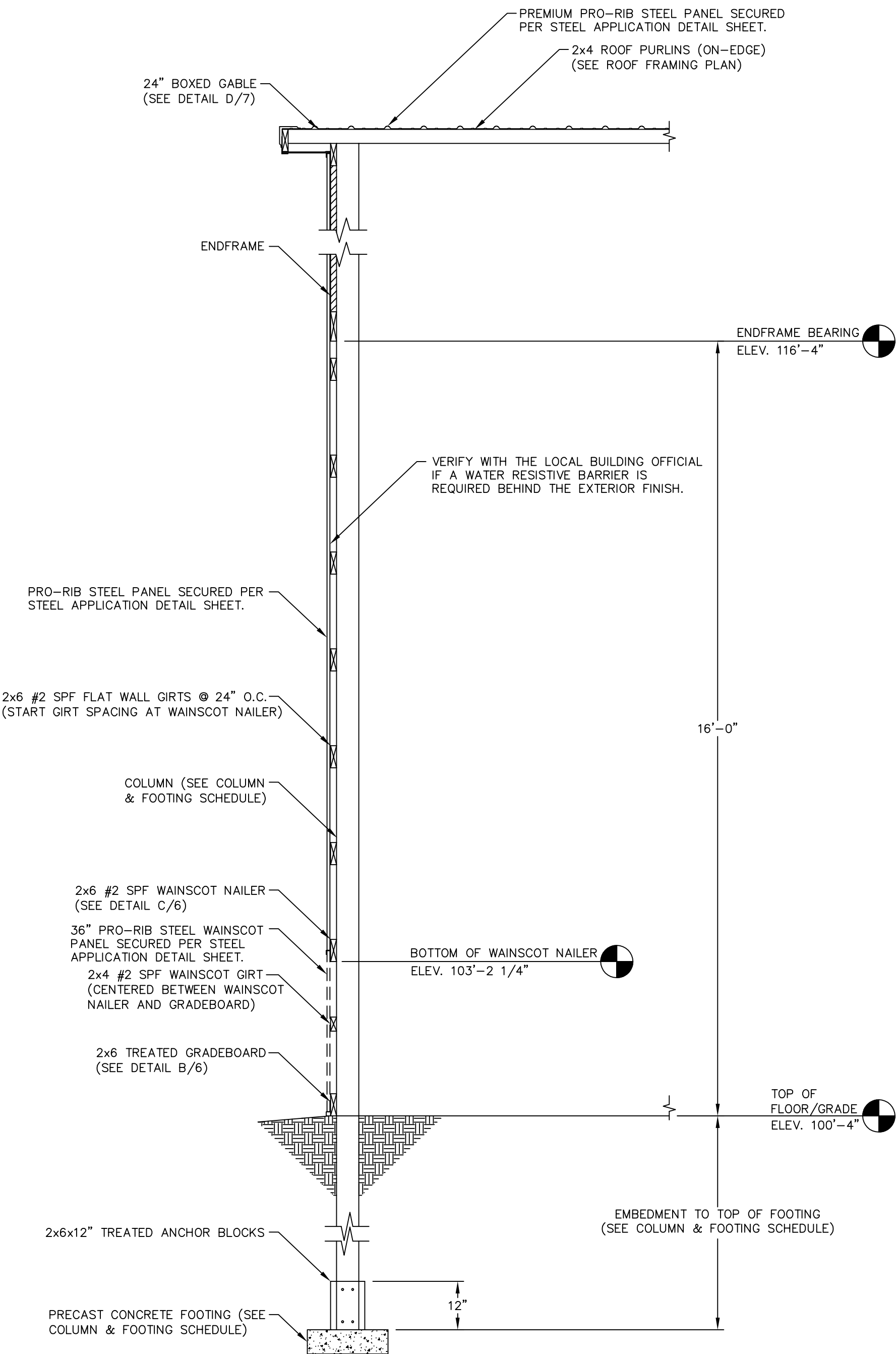
WAINSCOT GIRTS:
WAINSCOT GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRTS TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

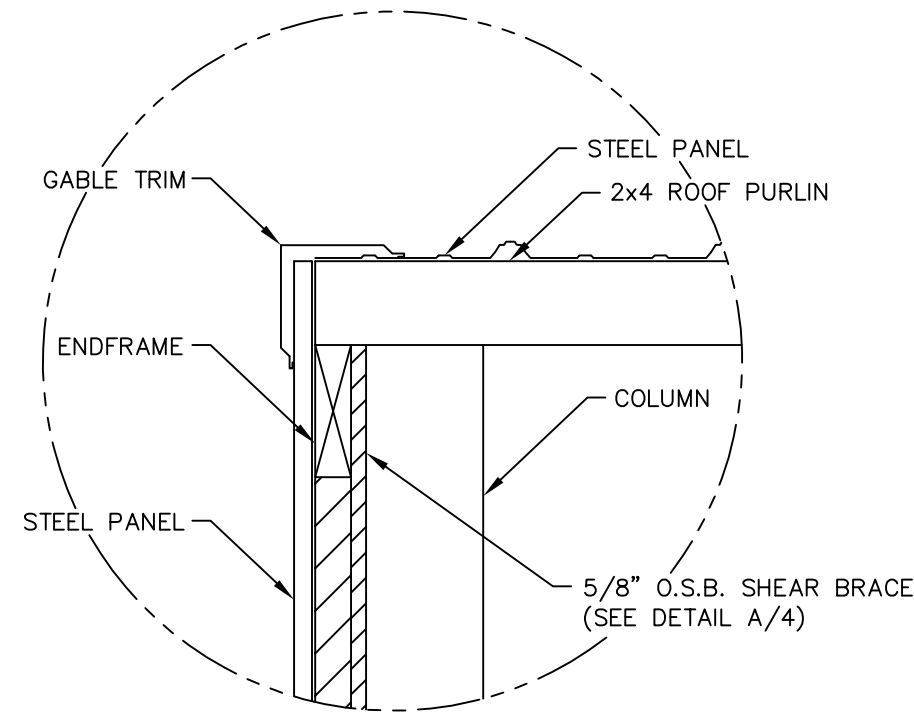
TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



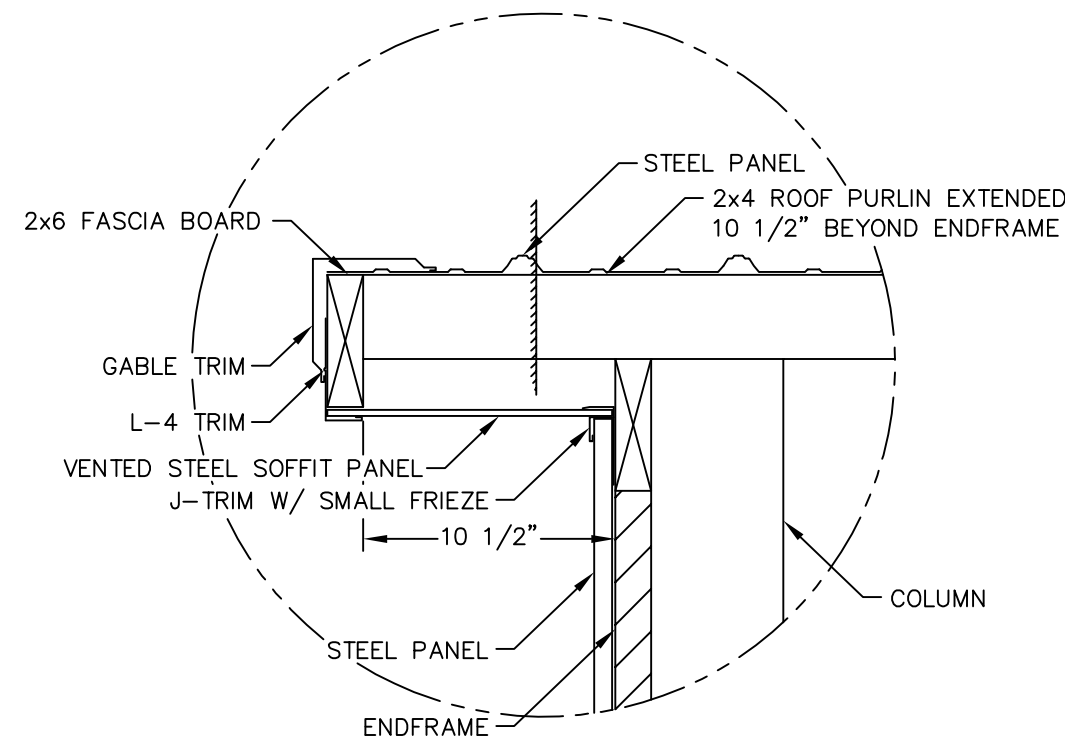
A ENDWALL SECTION (EAST)
7 SCALE: 1/2"=1'-0"



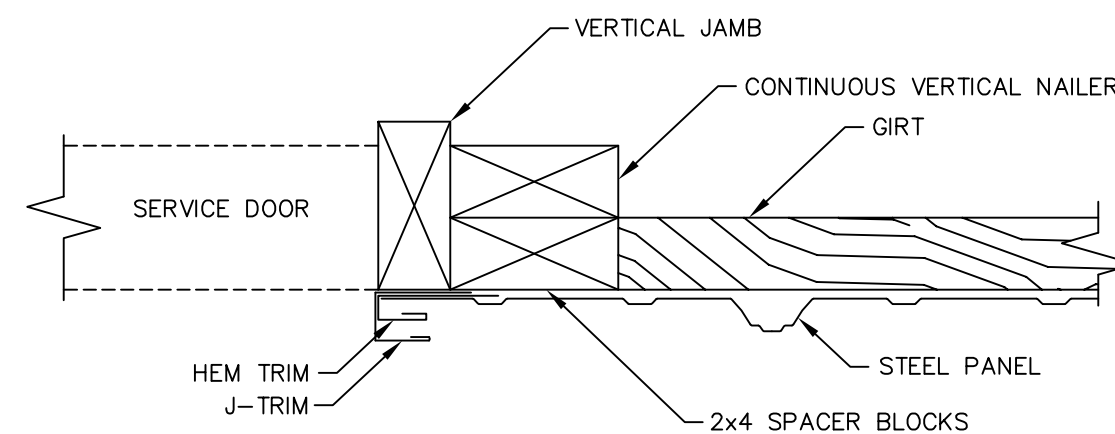
B ENDWALL SECTION (WEST)
7 SCALE: 1/2"=1'-0"



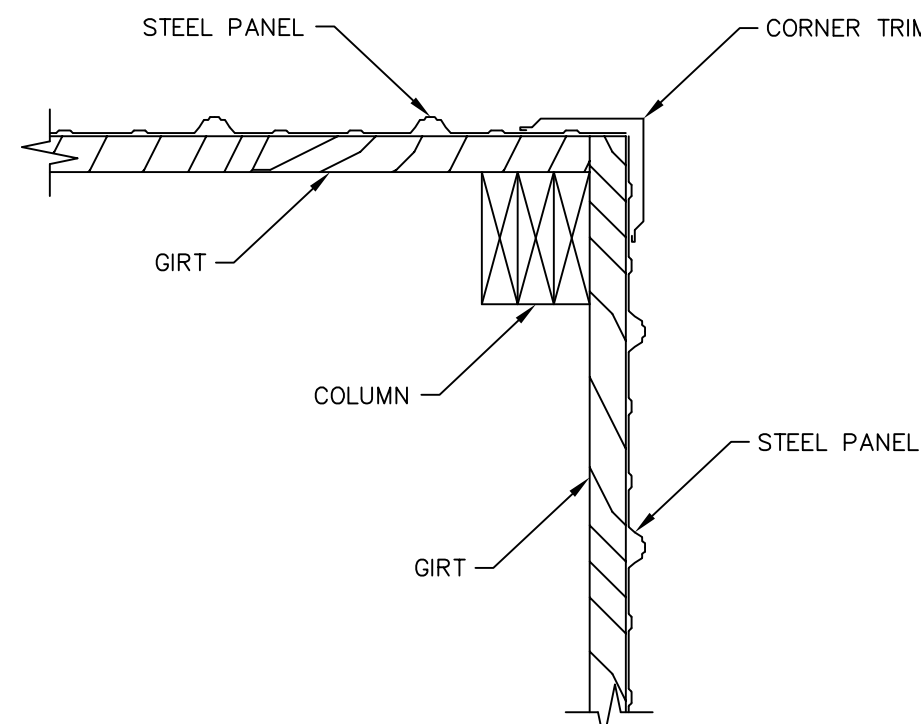
C GABLE DETAIL
7 SCALE: 1 1/2"=1'-0"



D 12" GABLE DETAIL
7 SCALE: 1 1/2"=1'-0"



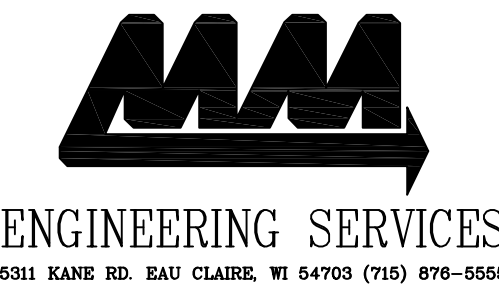
SERVICE DOOR JAMB DETAIL
SCALE: 3"=1'-0"



CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"

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Signature: [Signature]
Date: 11/2/2022 License #: 47371



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ENGINEERING@MIDWESTMANUFACTURING.COM
PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL
PLAN DESIGNER: KENT HODNY
DRAWN BY: KWK
DATE: 10/31/2022
SCALE: AS NOTED

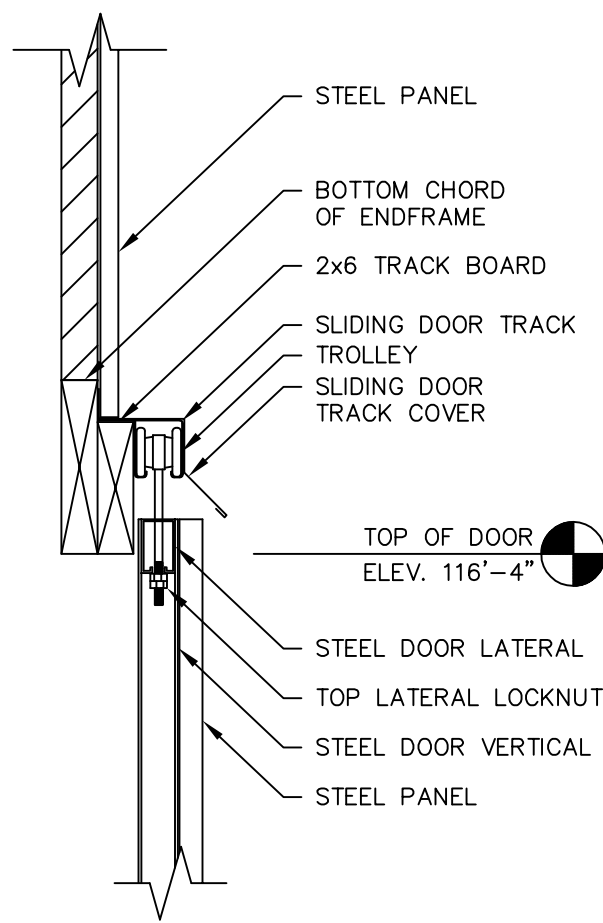
REVISIONS

NO	DATE	DESCRIPTION	BY
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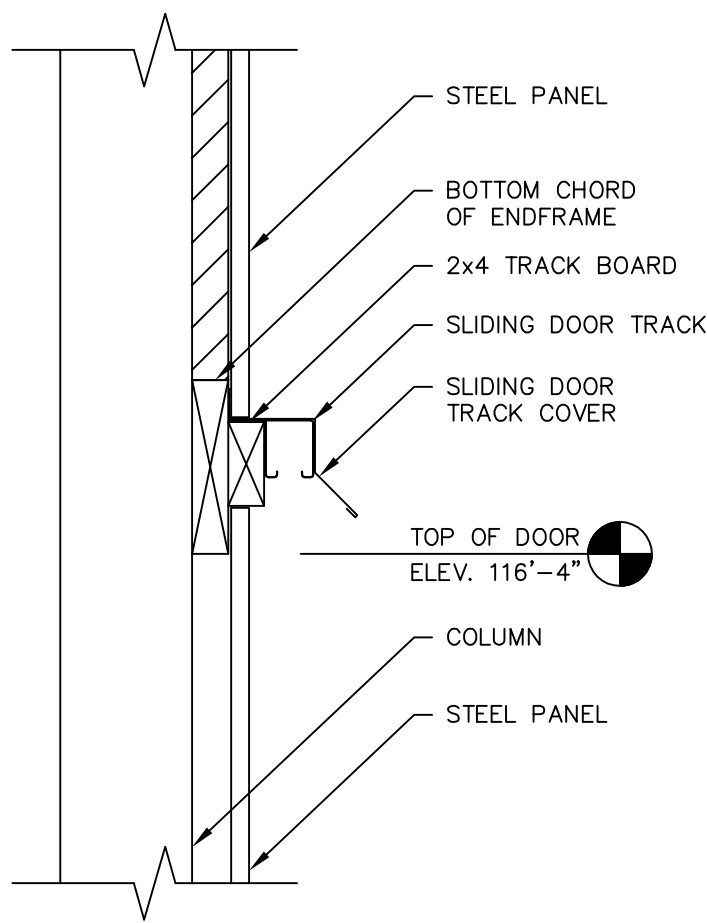
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ENDWALL SECTION AND SECTION DETAILS

FILE NAME: S35422MN
SHEET NO.

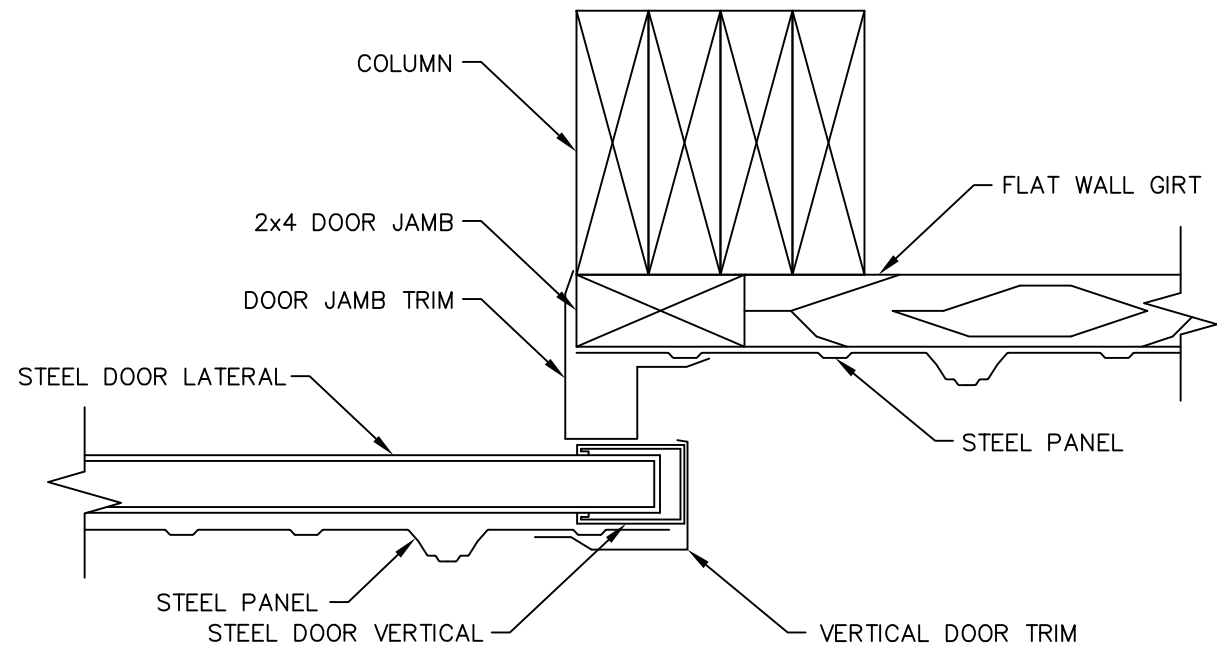
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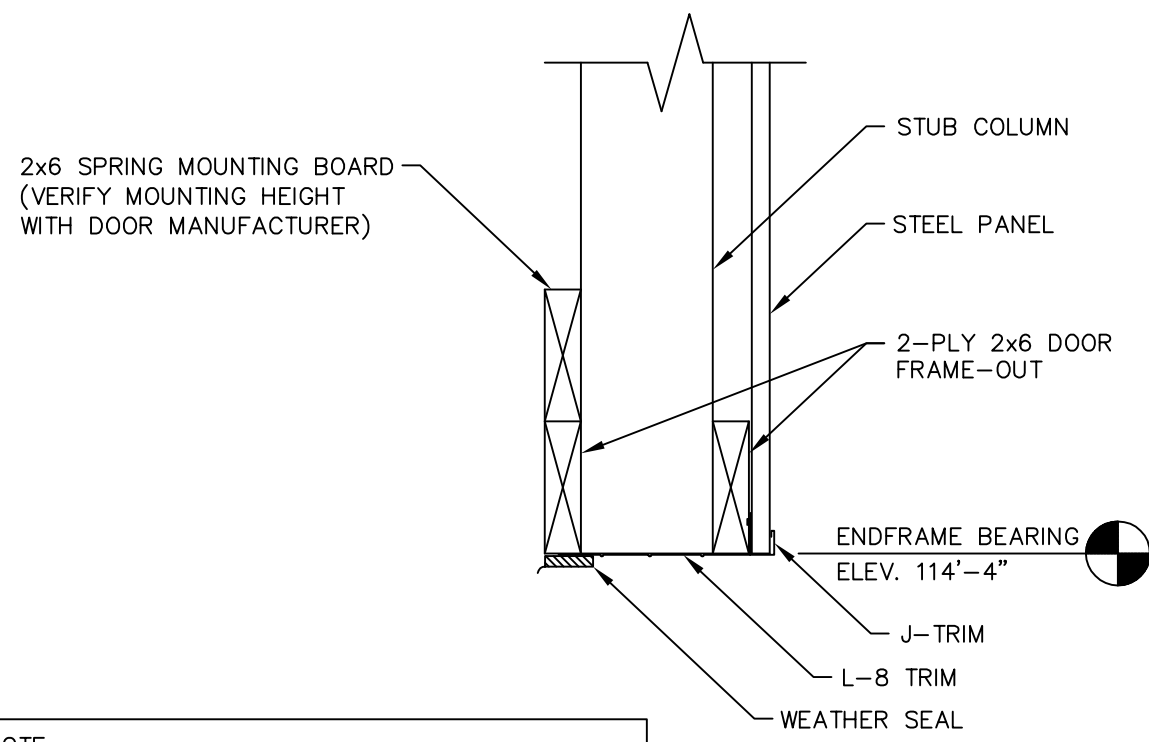
ENDWALL SLIDING DOOR TRACK
AT OPENING DETAIL
SCALE: 1 1/2"=1'-0"



ENDWALL SLIDING DOOR TRACK
BEYOND OPENING DETAIL
SCALE: 1 1/2"=1'-0"

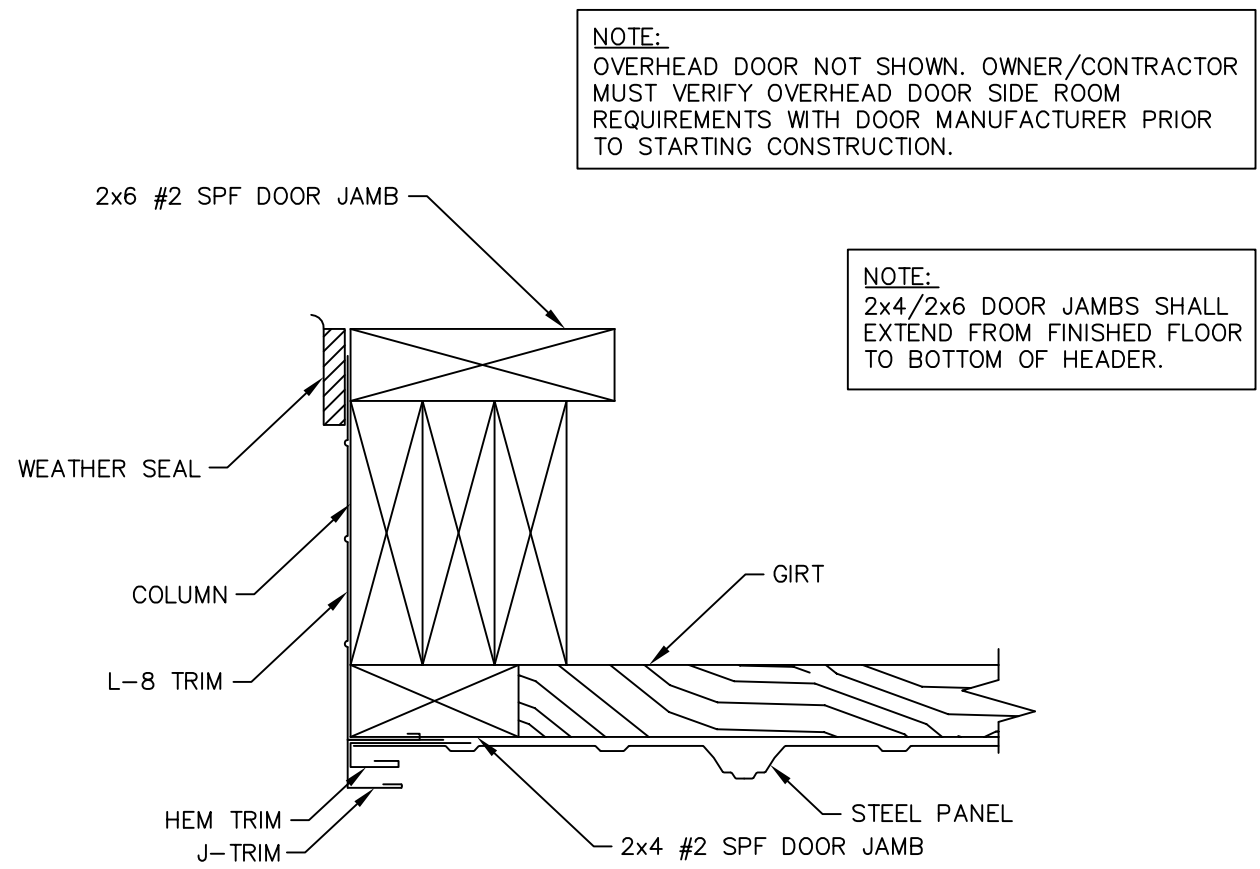


SLIDING DOOR JAMB DETAIL
SCALE: 3"=1'-0"




NOTE:
OVERHEAD DOOR NOT SHOWN. OWNER/CONTRACTOR
MUST VERIFY OVERHEAD DOOR SIDE ROOM
REQUIREMENTS WITH DOOR MANUFACTURER PRIOR
TO STARTING CONSTRUCTION.

ENDWALL OVERHEAD DOOR FRAME-OUT DETAIL
SCALE: 1 1/2"=1'-0"



OVERHEAD DOOR JAMB DETAIL
SCALE: 3"=1'-0"

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FOREST LAKE, MN

PROF. ENGINEER: MATT HULL
PLAN DESIGNER: KENT HODNY
DRAWN BY: KWK
DATE: 10/31/2022
SCALE: AS NOTED

REVISIONS

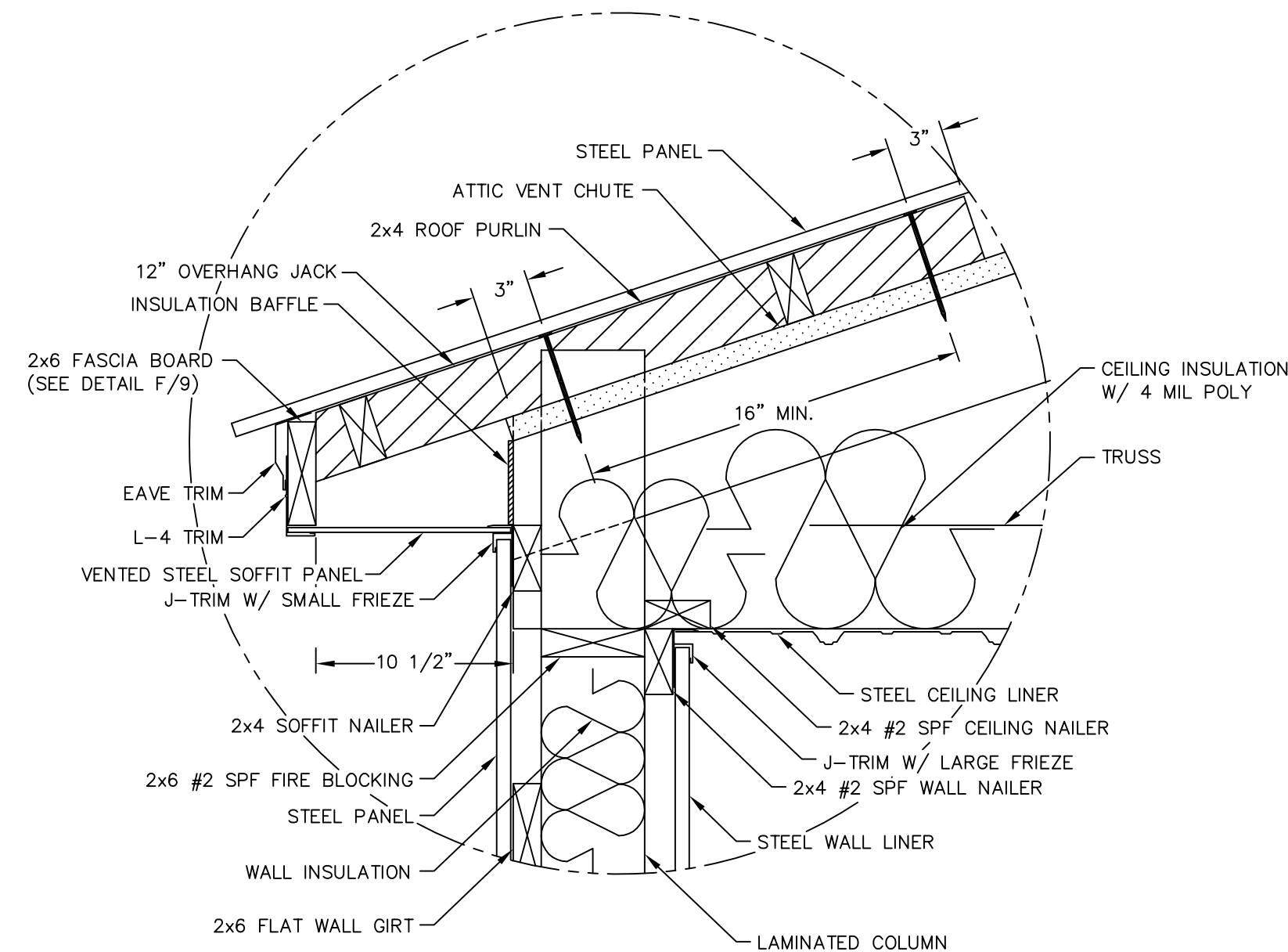
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SHEET TITLE:
OVERHEAD DOOR DETAILS

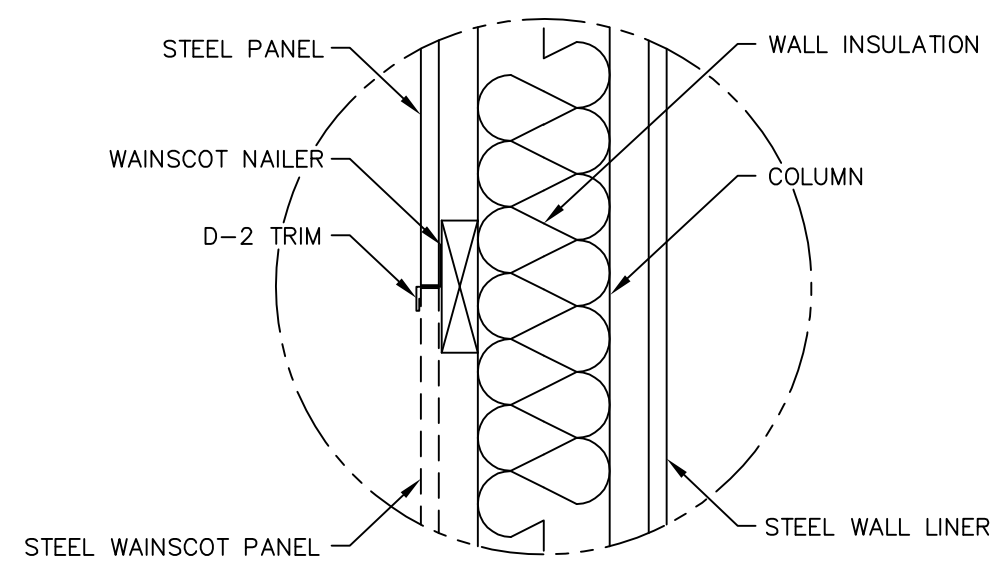
FILE NAME: S35422MN
SHEET NO.

S8

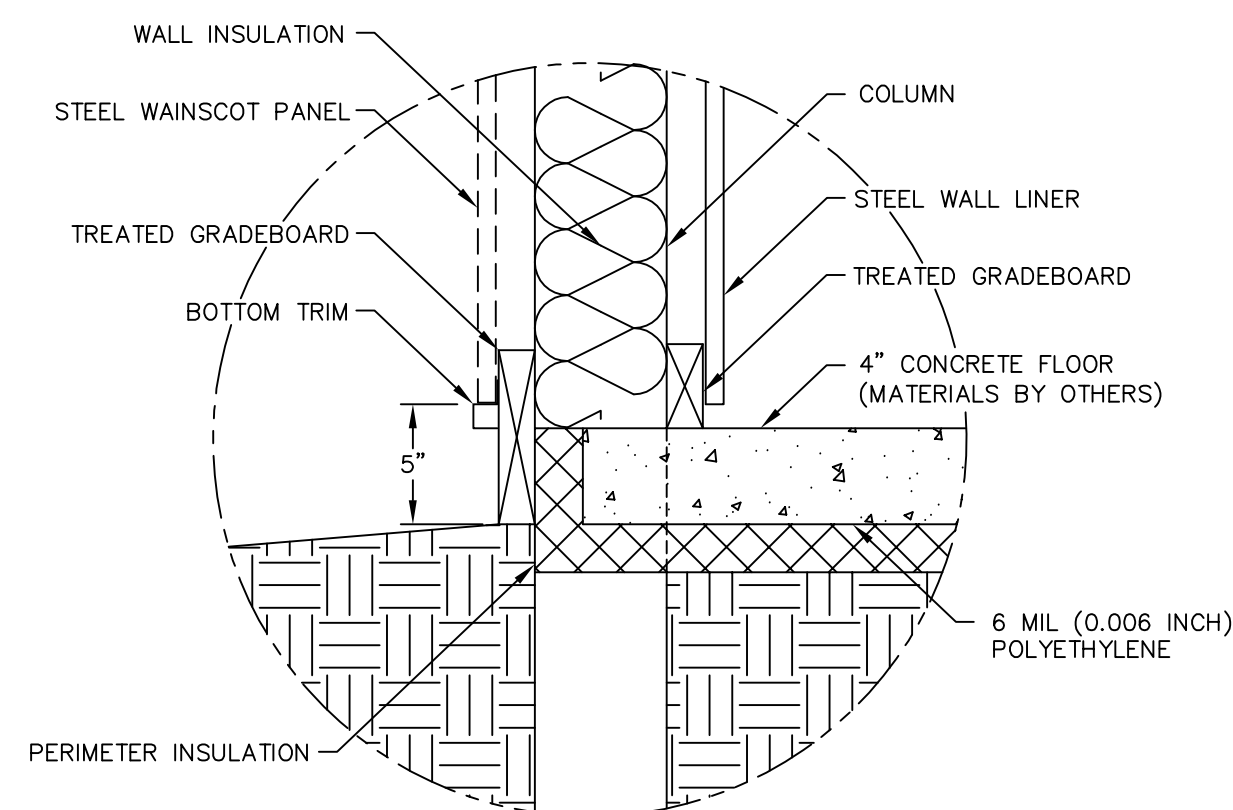
NOTE:
PURLINS SECURED TO OVERHANG JACKS W/ MITEK JUS24-TZ
PURLIN HANGERS (SECURED PER MANUFACTURER'S SPECIFICATIONS).



D 12" BOXED EAVE DETAIL
SCALE: 1 1/2"=1'-0"

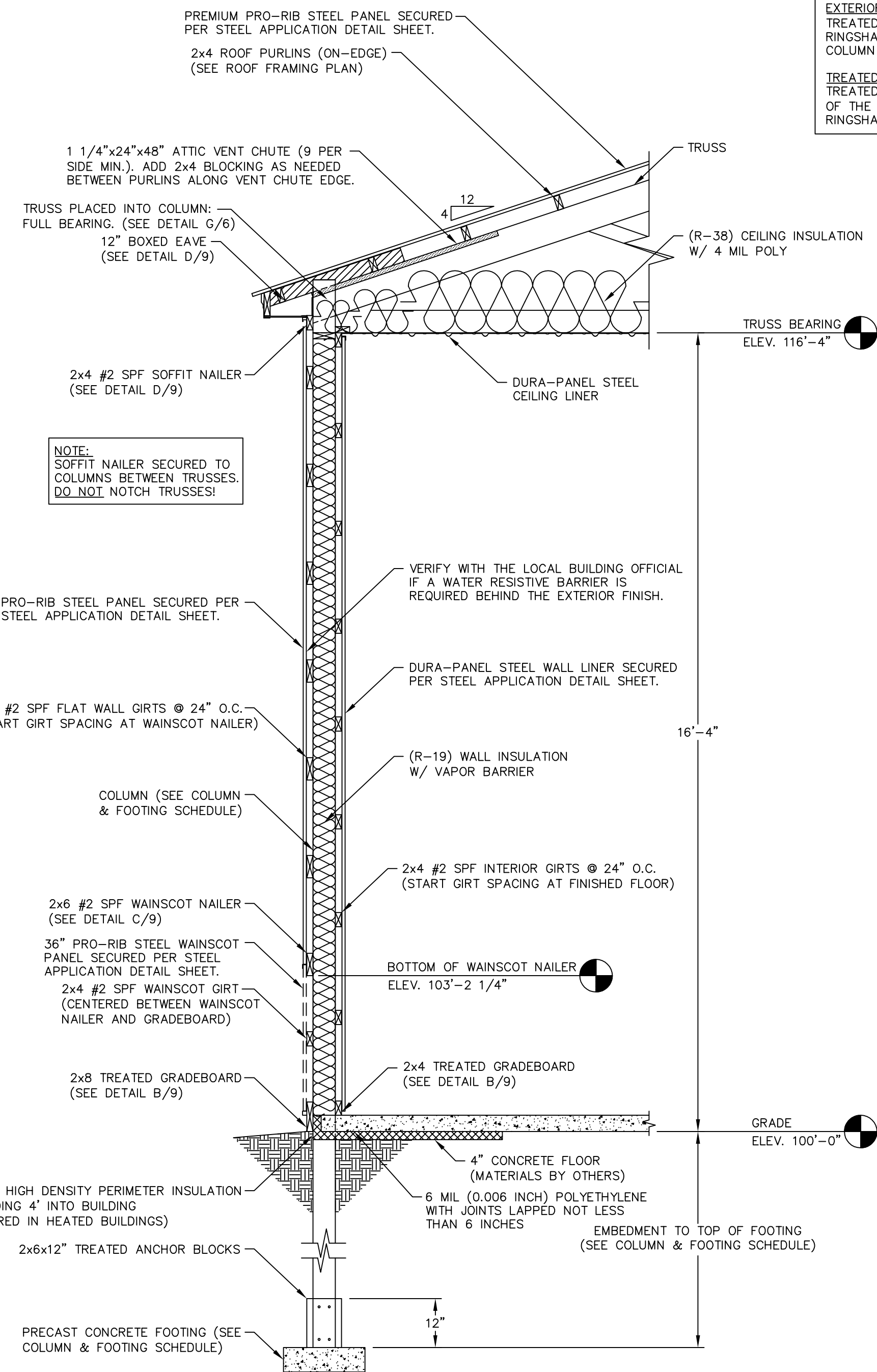


C D-2 TRIM DETAIL
SCALE: 1 1/2"=1'-0"



B GRADE DETAIL
SCALE: 1 1/2"=1'-0"

NOTE:
OWNER SHALL PROVIDE THICKNESS MARKERS WHICH
ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET
THROUGHOUT THE ATTIC SPACE IF THE INSULATION IS BLOWN
INTO PLACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES
AND MARKED WITH THE MINIMUM INITIAL INSTALLED THICKNESS
AND MINIMUM SETTLED THICKNESS. EACH MARKER SHALL FACE
THE ATTIC ACCESS PANEL.



A SIDEWALL SECTION (SOUTH)
SCALE: 1/2"=1'-0"

SIDEWALL SECTION FASTENER NOTES

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH
(2)-60d RINGSHANK NAILS, 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS
AT EACH SOFFIT NAILER TO COLUMN LOCATION.

WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK
NAILS AT EACH GIRT TO COLUMN LOCATION.

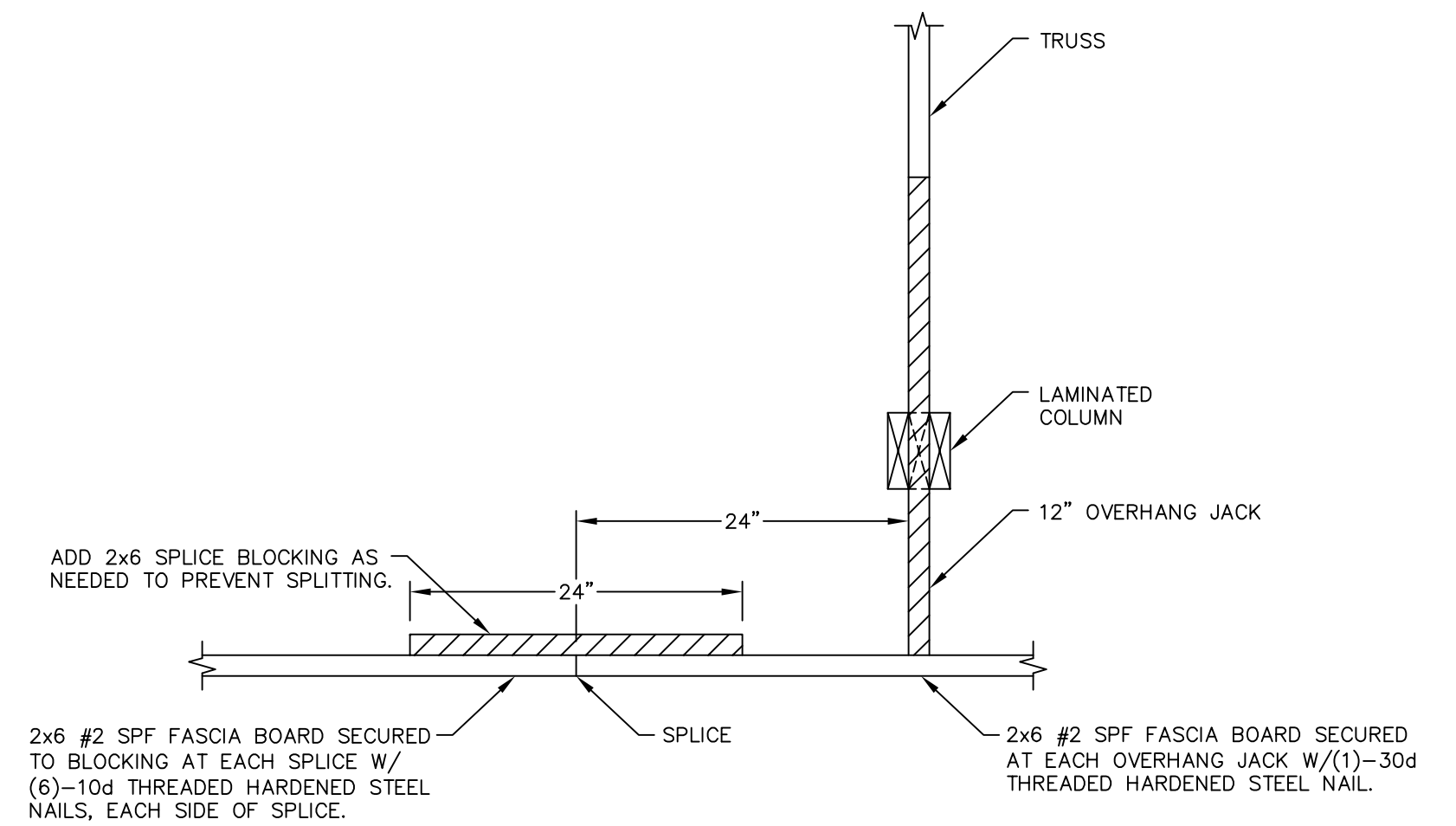
WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK
NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

WAINSCOT GIRT:
WAINSCOT GIRT SECURED WITH (2)-30d RINGSHANK
NAILS AT EACH WAINSCOT GIRT TO COLUMN LOCATION.

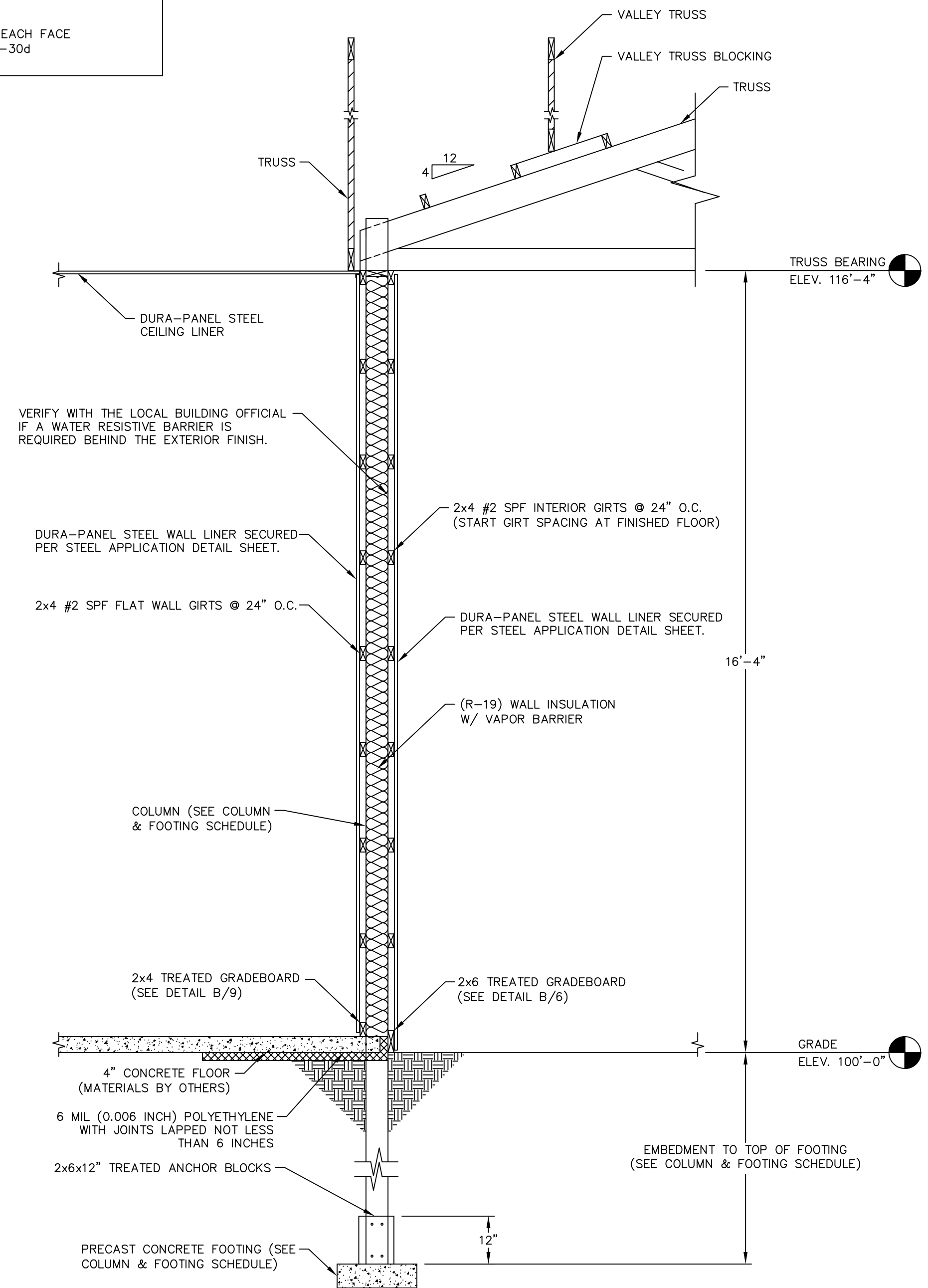
INTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (2)-30d
RINGSHANK NAILS AT EACH GRADEBOARD TO
COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d
RINGSHANK NAILS AT EACH GRADEBOARD TO
COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE
OF THE COLUMN AT THE BASE WITH (4)-30d
RINGSHANK NAILS, EACH BLOCK.



F FASCIA BOARD DETAIL
SCALE: 1"=1'-0"



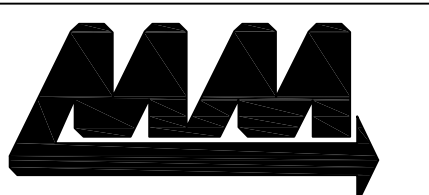
E SIDEWALL SECTION @ COMMON WALL
SCALE: 1/2"=1'-0"

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Print Name: Matthew G. Hull

Signature: [Signature]

Date: 11/2/2022 License #: 47371



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5311 KANE RD. EAU CLAIRE, WI 54603 (715) 878-0555

FOR QUESTIONS PLEASE CONTACT BUILDING
DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM
PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

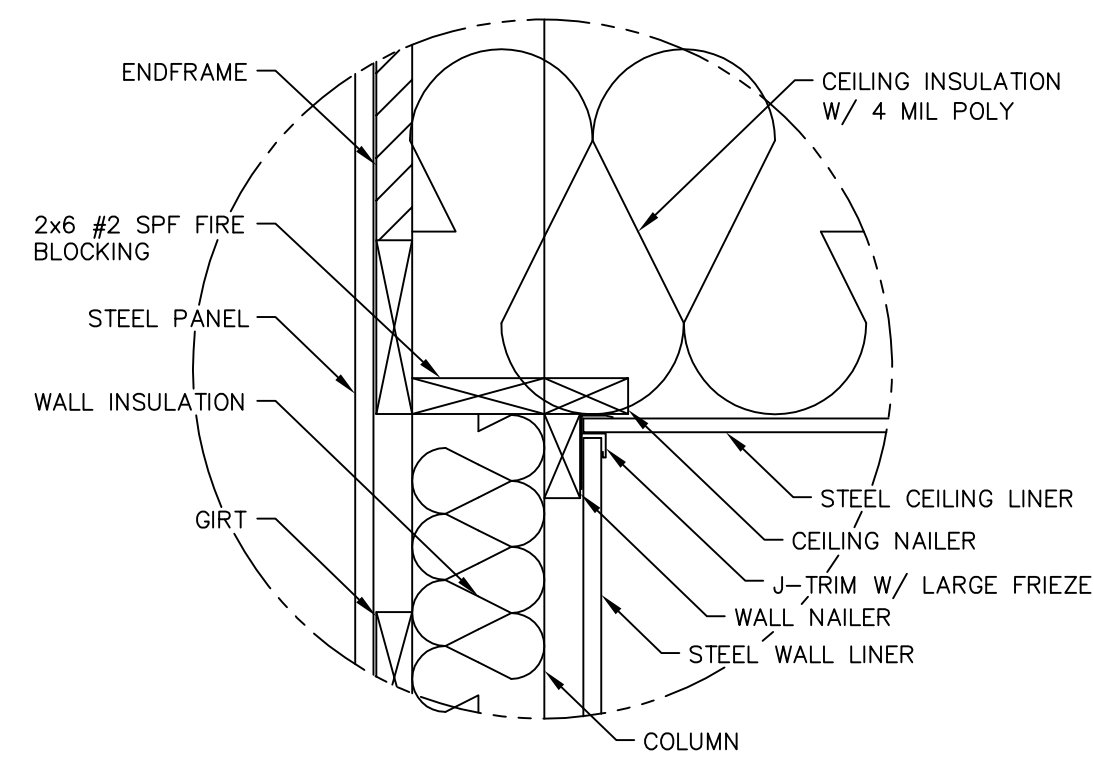
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1			
2			

SHEET TITLE:
**SIDEWALL SECTION AND
SECTION DETAILS**

FILE NAME: S35422MN

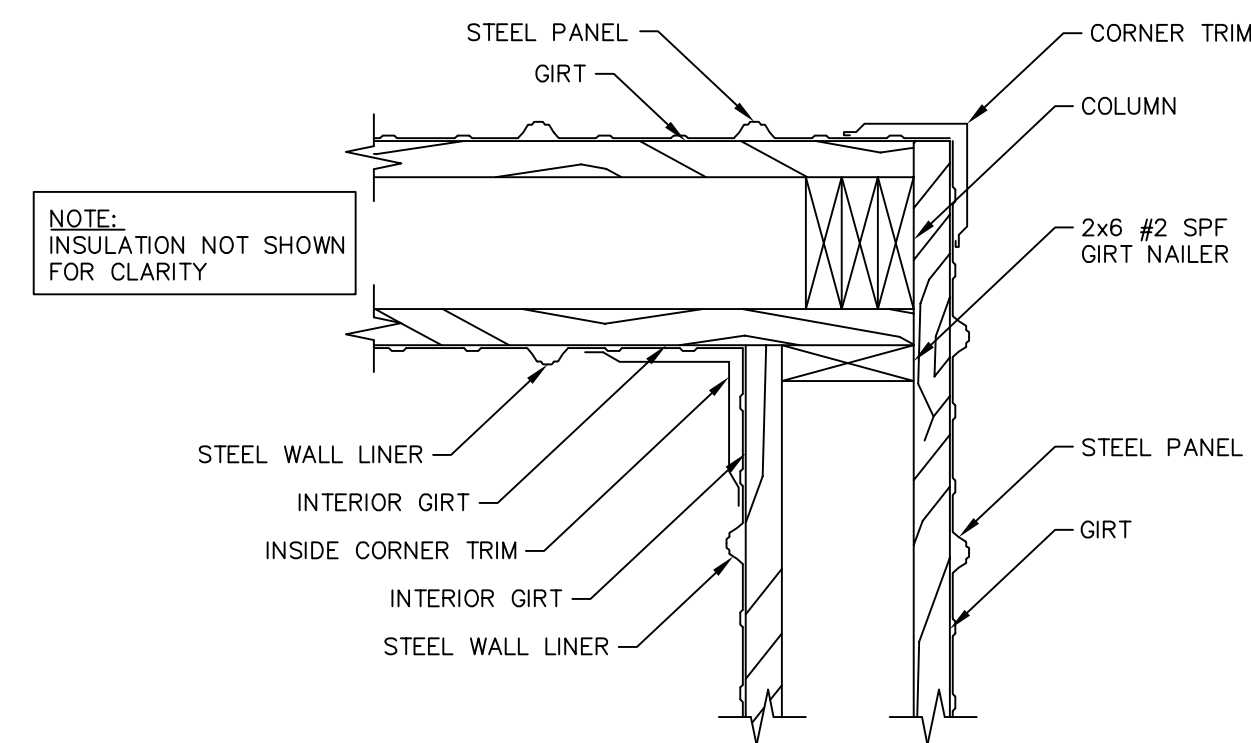
SHEET NO.

S9

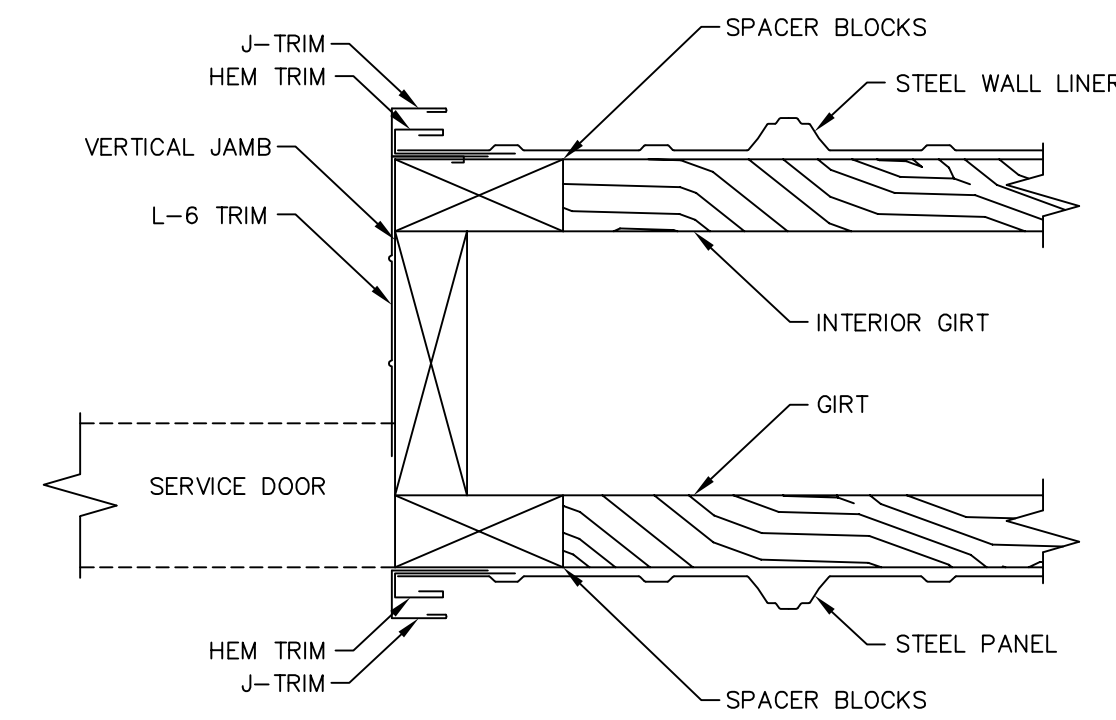


B CEILING CONNECTION DETAIL
SCALE: 1 1/2"=1'-0"

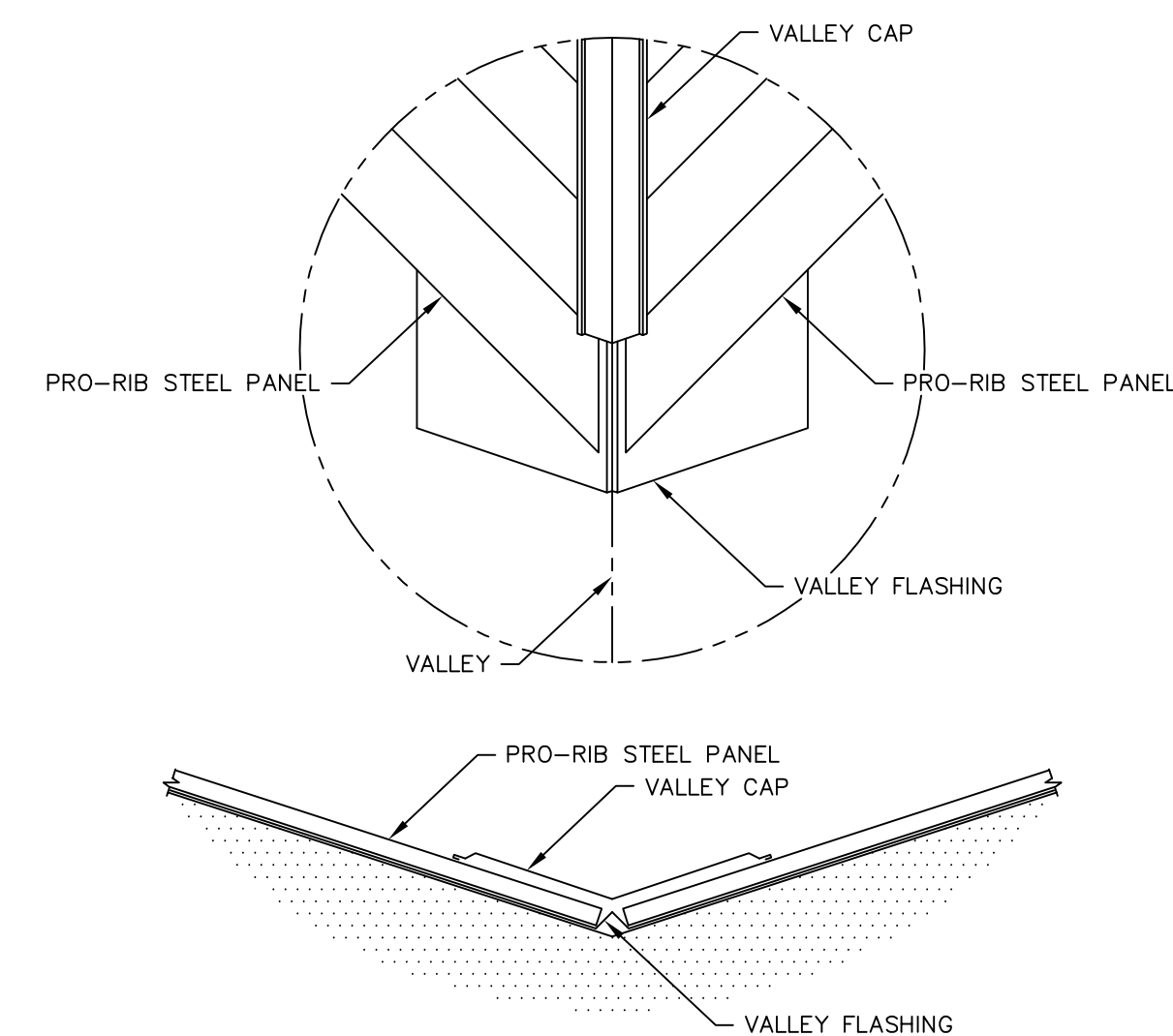
NOTE:
OWNER SHALL PROVIDE THICKNESS MARKERS WHICH ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET THROUGHOUT THE ATTIC SPACE IF THE INSULATION IS BLOWN INTO PLACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES AND MARKED WITH THE MINIMUM INITIAL INSTALLED THICKNESS AND MINIMUM SETTLED THICKNESS. EACH MARKER SHALL FACE THE ATTIC ACCESS PANEL.



CORNER TRIM DETAIL
SCALE: 1 1/2"=1'-0"



SERVICE DOOR JAMB DETAIL
SCALE: 3"=1'-0"



VALLEY DETAIL
NOT TO SCALE

WALL SECTION FASTENER NOTES

ENDFRAME:
ENDFRAME SECURED TO ALL ENDWALL COLUMNS WITH (5)-30d RINGSHANK NAILS AT EACH ENDFRAME TO COLUMN LOCATION.

OVERHANG JACK:
OVERHANG JACKS SECURED TO TRUSS WITH (2)-60d RINGSHANK NAILS 16" MIN. APART.

SOFFIT NAILER:
SOFFIT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH SOFFIT NAILER TO COLUMN LOCATION.

WALL GIRTS:
WALL GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GIRTS TO COLUMN LOCATION.

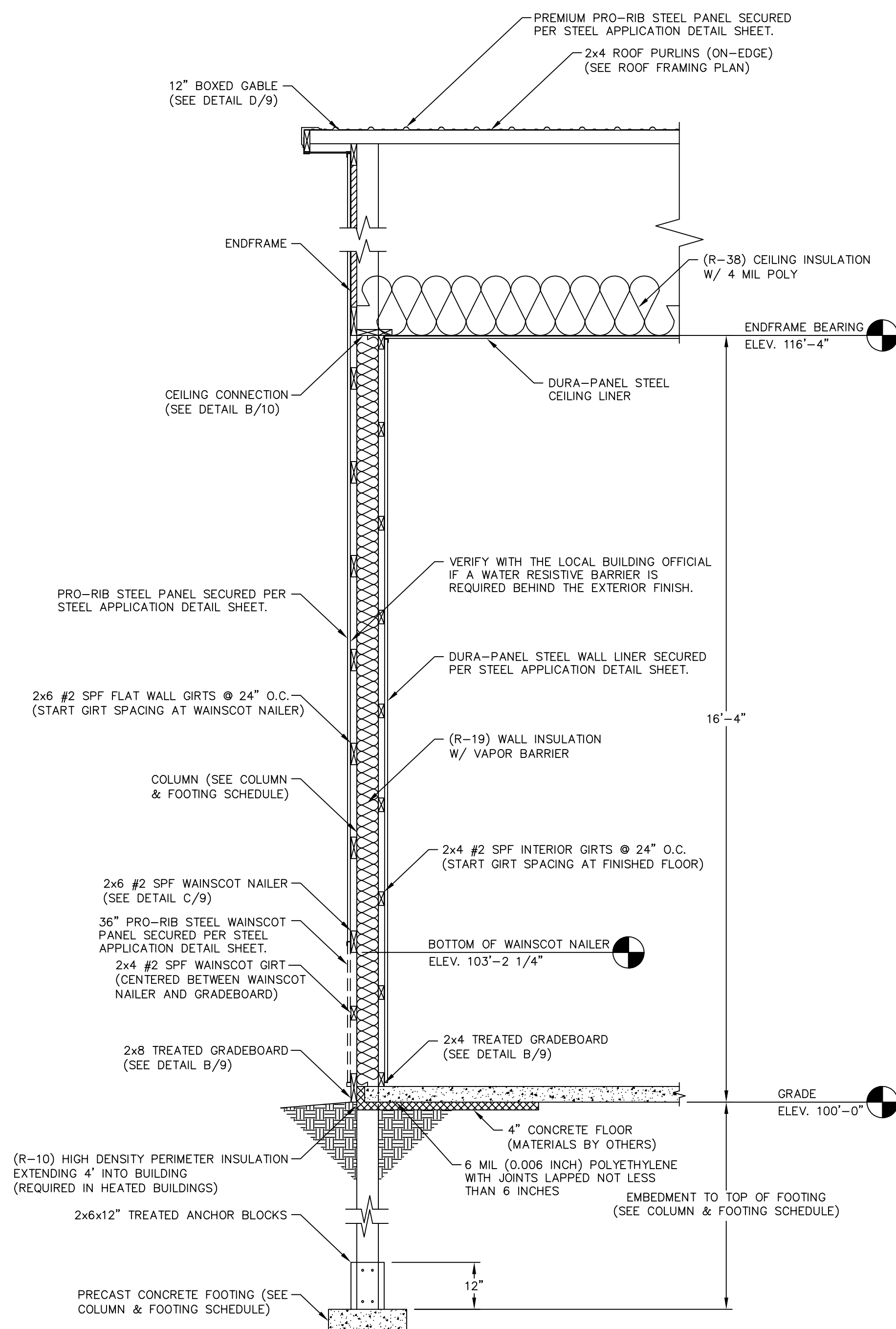
WAINSCOT NAILER:
WAINSCOT NAILER SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT NAILER TO COLUMN LOCATION.

WAINSCOT GIRTS:
WAINSCOT GIRTS SECURED WITH (2)-30d RINGSHANK NAILS AT EACH WAINSCOT GIRTS TO COLUMN LOCATION.

INTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (2)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

EXTERIOR TREATED GRADEBOARD:
TREATED GRADEBOARD SECURED WITH (4)-30d RINGSHANK NAILS AT EACH GRADEBOARD TO COLUMN LOCATION.

TREATED ANCHOR BLOCKS:
TREATED ANCHOR BLOCKS SECURED TO EACH FACE OF THE COLUMN AT THE BASE WITH (4)-30d RINGSHANK NAILS, EACH BLOCK.



A ENDWALL SECTION
SCALE: 1/2"=1'-0"

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Print Name: Matthew G. Hull

Signature: [Signature]

Date: 11/2/2022 License #: 47371



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PROJECT TITLE:

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FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

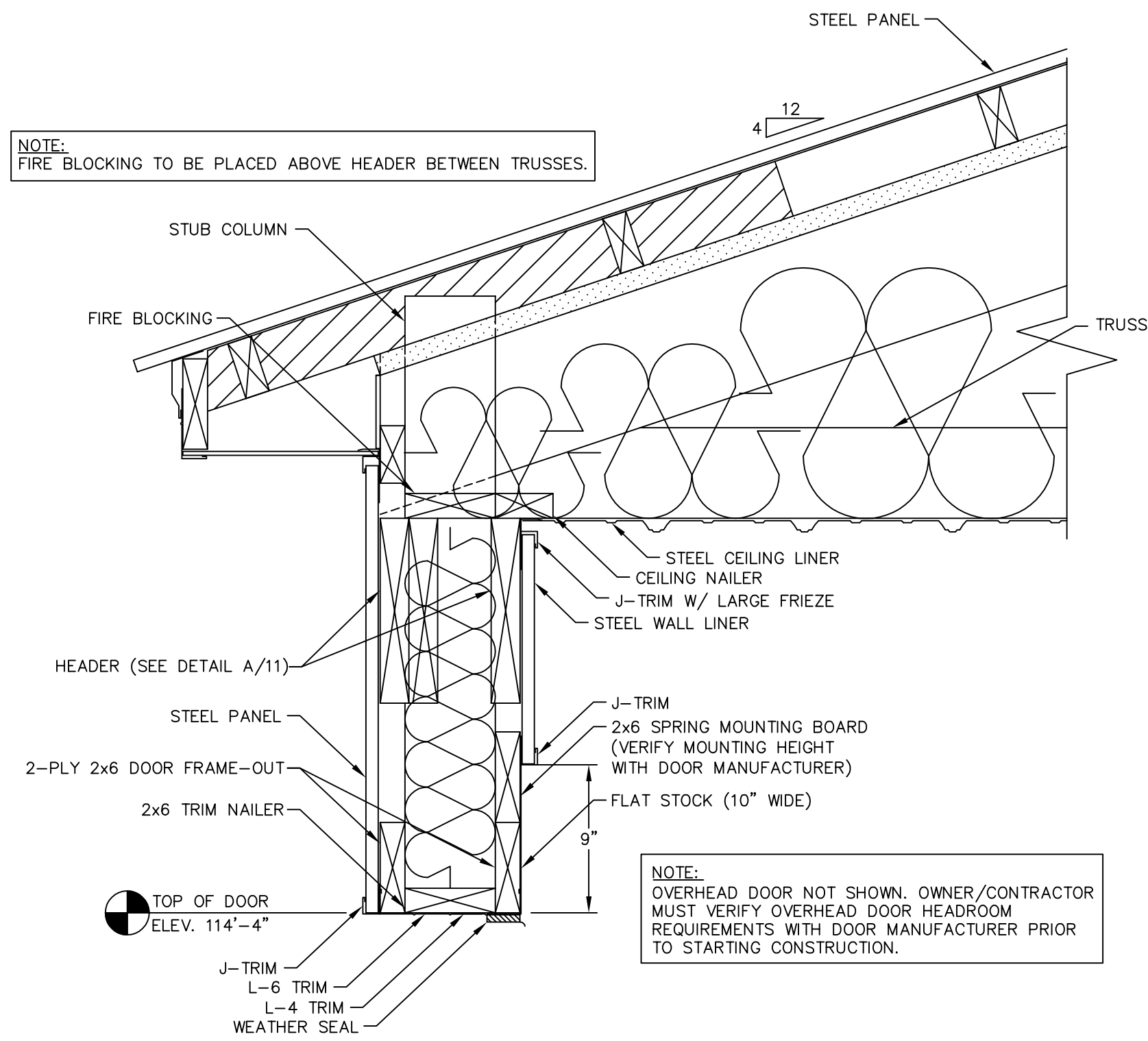
SHEET TITLE:

ENDWALL SECTION AND
SECTION DETAILS

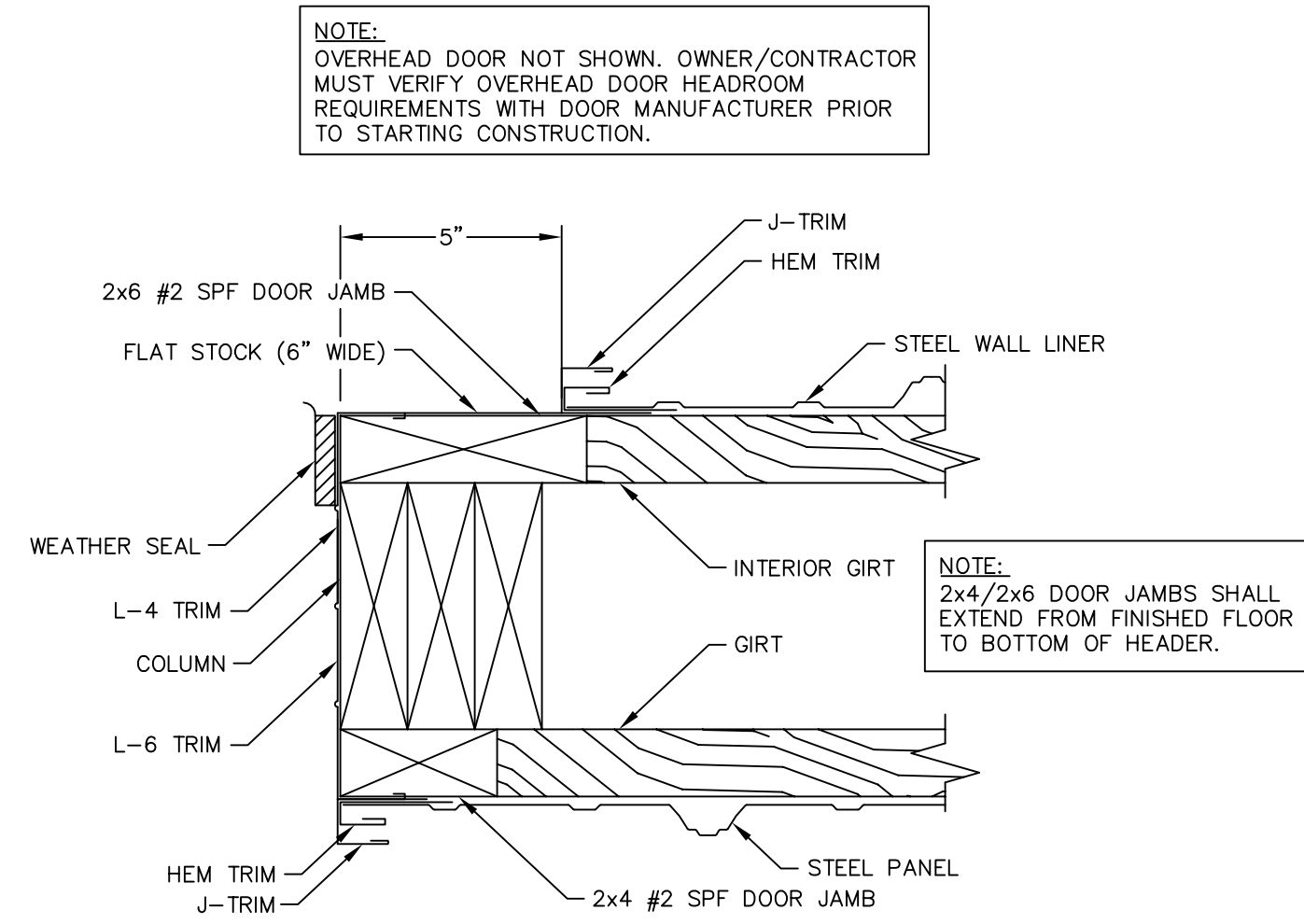
FILE NAME: S35422MN

SHEET NO.

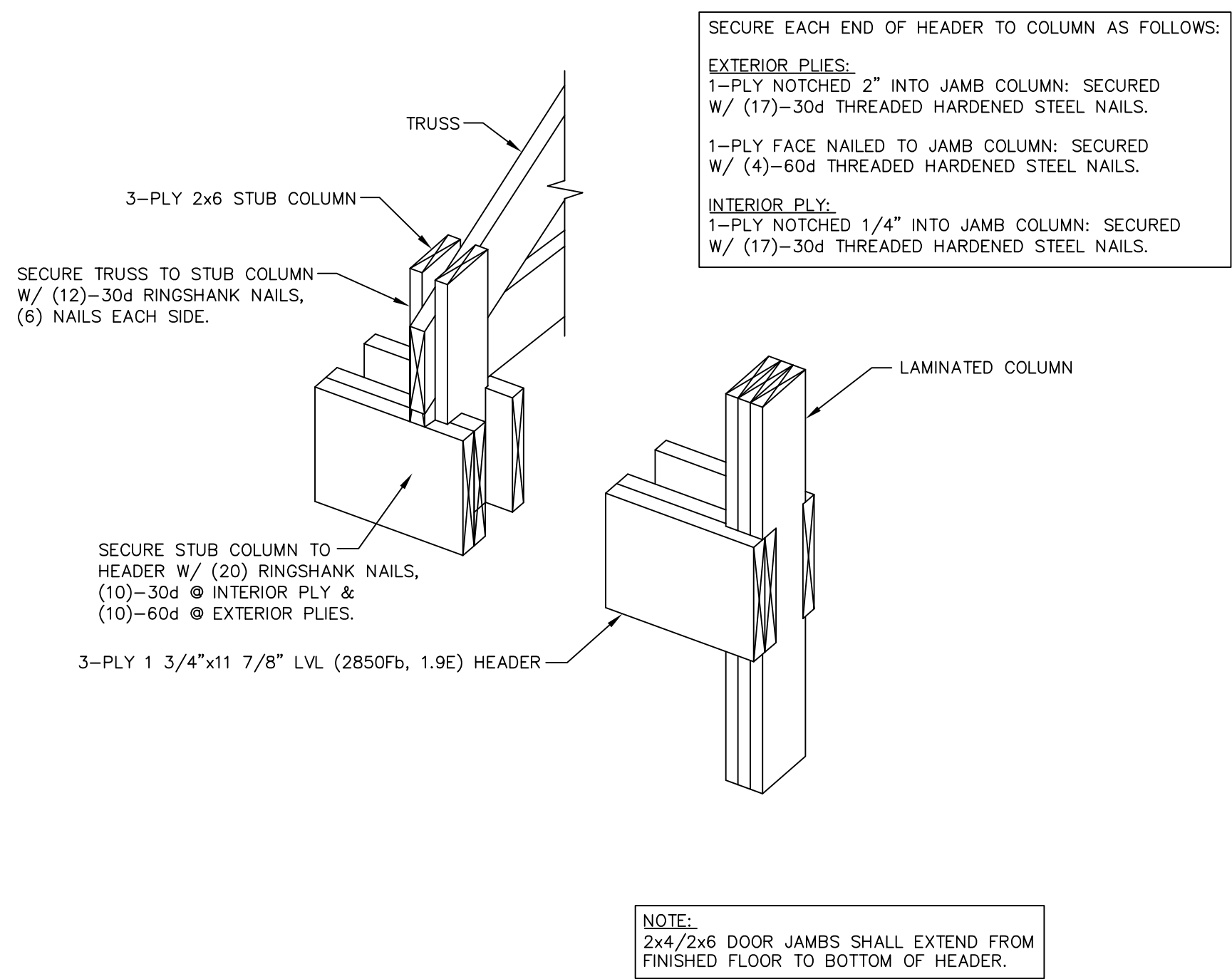
S10



SIDEWALL OVERHEAD DOOR FRAME-OUT DETAIL
SCALE: 1 1/2"=1'-0"



OVERHEAD DOOR JAMB DETAIL
SCALE: 3"=1'-0"



A SIDEWALL OVERHEAD DOOR HEADER INSTALLATION DETAIL
11 NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Matthew G. Hull
Signature: [Signature]
Date: 11/2/2022 License #: 47371



ENGINEERING SERVICES
5311 KANE RD. SAU CLAIRE, WI 54703 (715) 876-0565

FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
ENGINEERING@MIDWESTMANUFACTURING.COM

PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL
PLAN DESIGNER: KENT HODNY
DRAWN BY: KWK
DATE: 10/31/2022
SCALE: AS NOTED

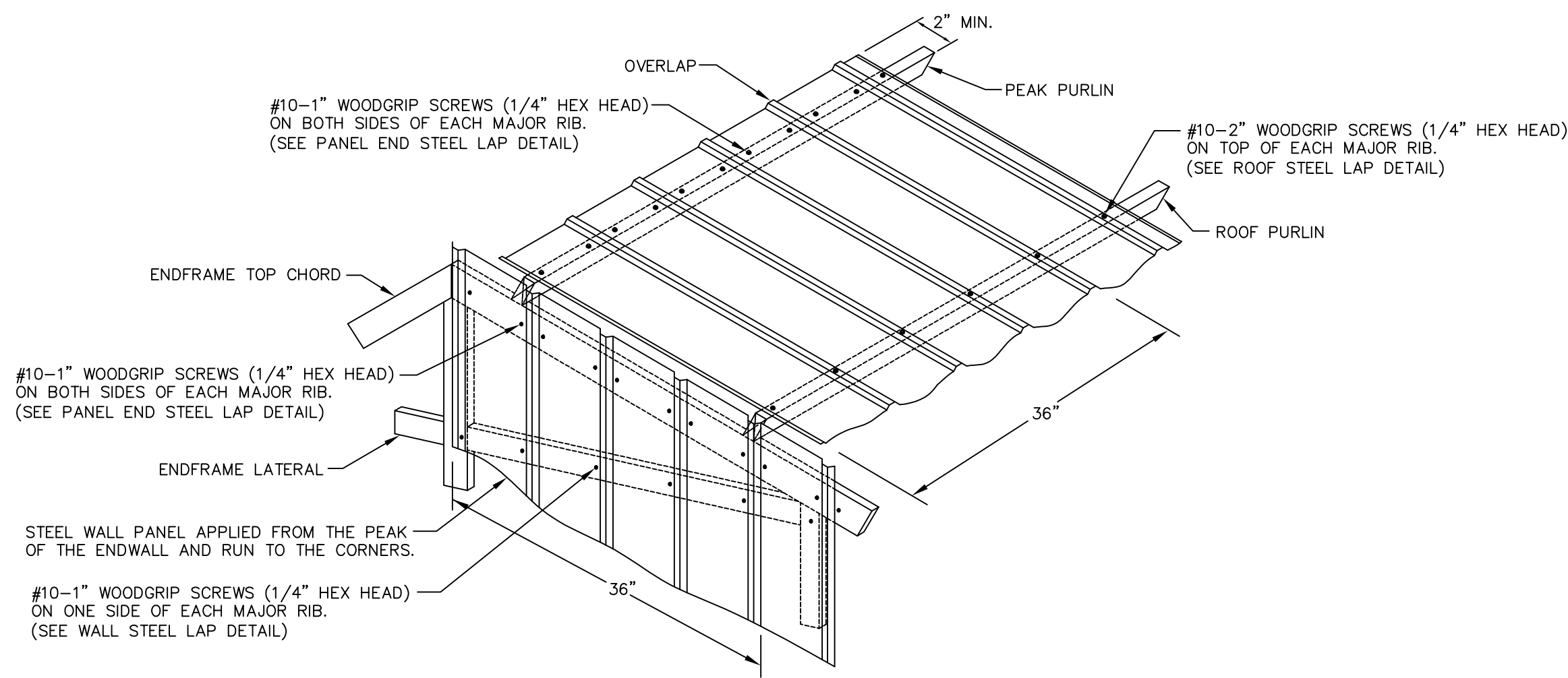
REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

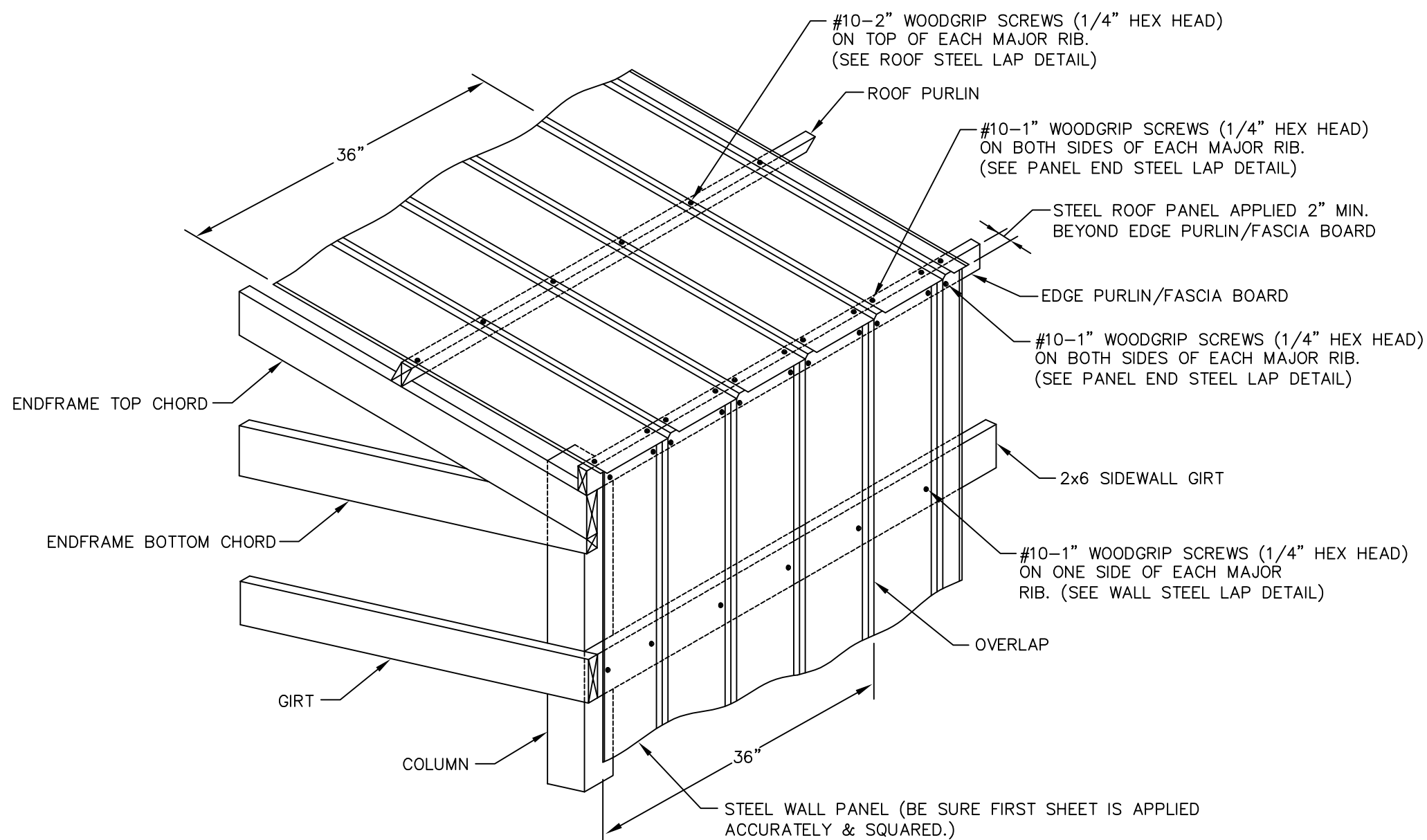
SHEET TITLE:
OVERHEAD DOOR DETAILS

FILE NAME: S35422MN
SHEET NO.

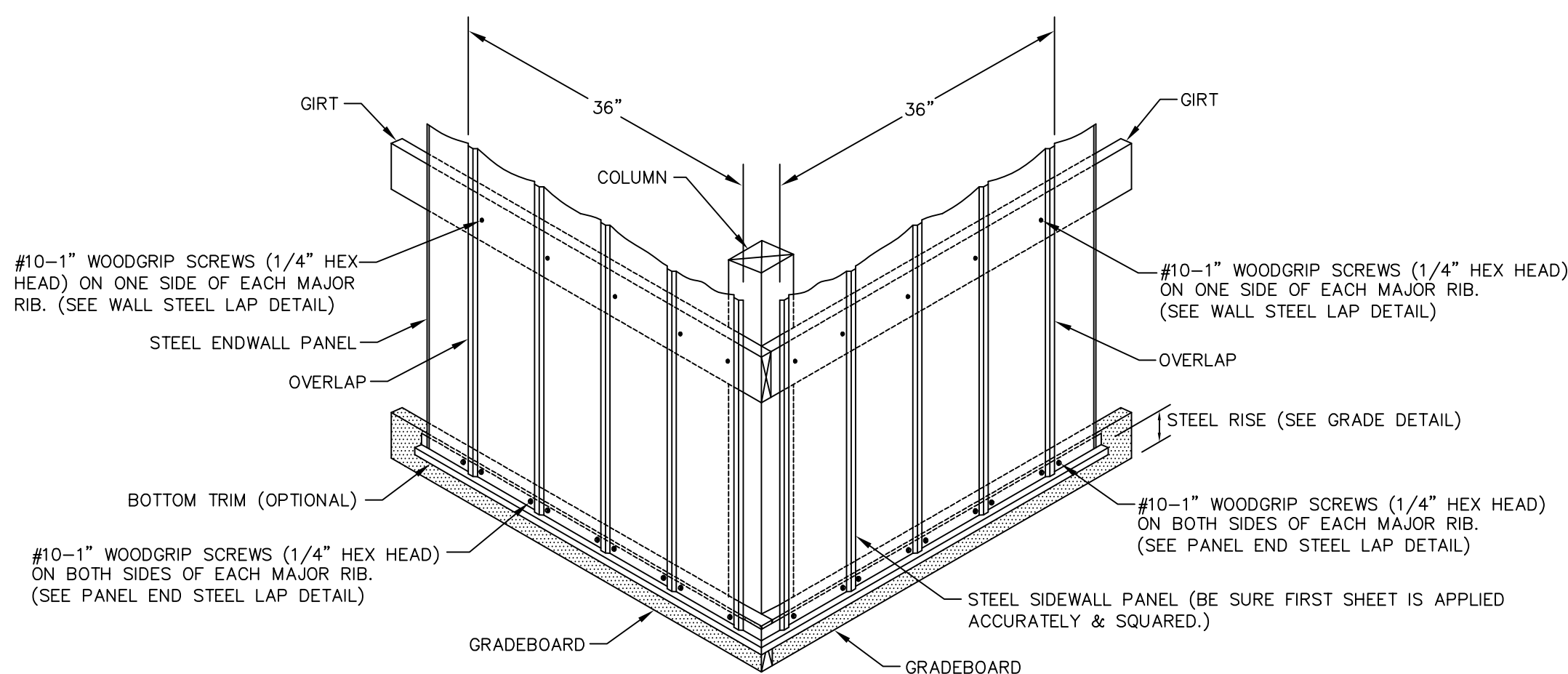
S11



ROOF & ENDWALL STEEL APPLICATION @ GABLE PEAK & INTERMEDIATE



ROOF & SIDEWALL STEEL APPLICATION @ EAVE

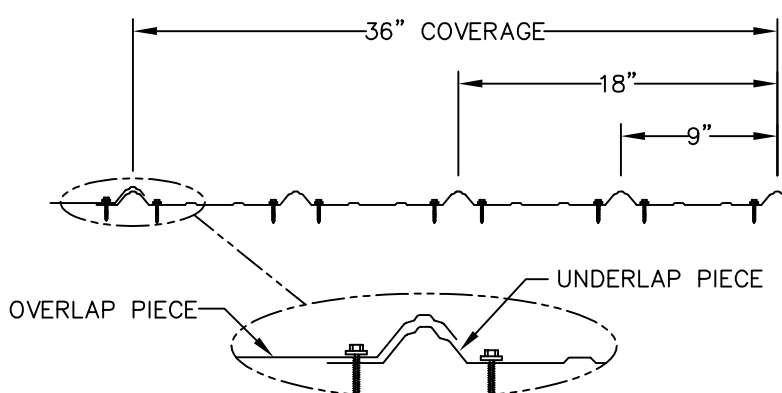


WALL STEEL APPLICATION @ GRADEBOARD

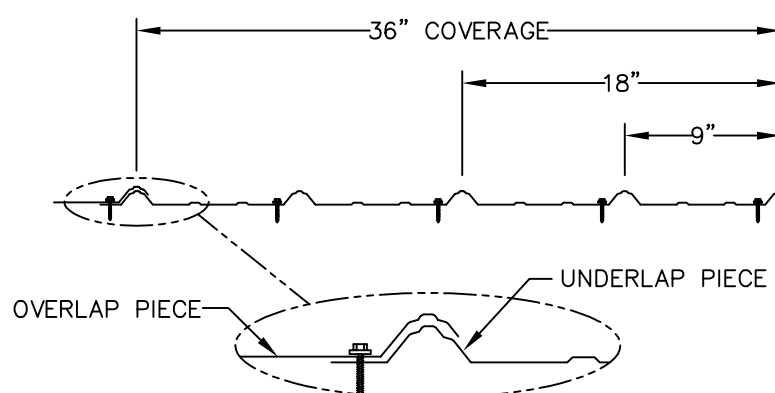
STEEL APPLICATION DETAILS

STEEL PANEL INSTALLATION GENERAL NOTES:

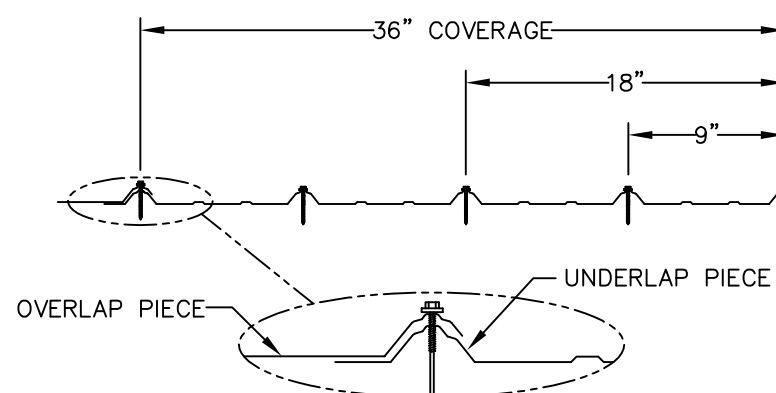
- 1) PROPER LAPPING OF STEEL PANEL IS VERY IMPORTANT IN THE PANEL'S ABILITY TO PREVENT LEAKING. OVERSEATING AND UNDERSEATING OF LAP IS NOT PERMITTED.
- 2) FASTENER TIGHTNESS IS CRITICAL IN THE LONGEVITY OF THE FASTENER'S ABILITY TO HELP PREVENT LEAKS AND STRUCTURAL LOAD CARRYING CAPACITY. OVER-TORQUING OF SCREWS WILL REDUCE THE SCREW'S WITHDRAWAL CAPACITY, REGARDLESS OF THE CONSTRUCTION MATERIALS INVOLVED. UNDER-TORQUING OF SCREWS WILL INCREASE THE POTENTIAL OF ROOF LEAKS.
- 3) FASTENER LOCATION IS CRITICAL FOR INSTALLERS TO MINIMIZE THE POTENTIAL OF OIL CANNING, DIMPLES, AND OTHER APPEARANCE RELATED ISSUES.
- 4) THE ANTI-SYPHON DRAIN CHANNEL MUST BE CLEAR OF DEBRIS AND OBSTRUCTIONS FOR THE PANEL'S ABILITY TO MINIMIZE THE POTENTIAL OF CAPILLARY ACTION OF WATER FROM GETTING UNDER THE STEEL PANEL.



PANEL END STEEL LAP DETAIL
NOT TO SCALE

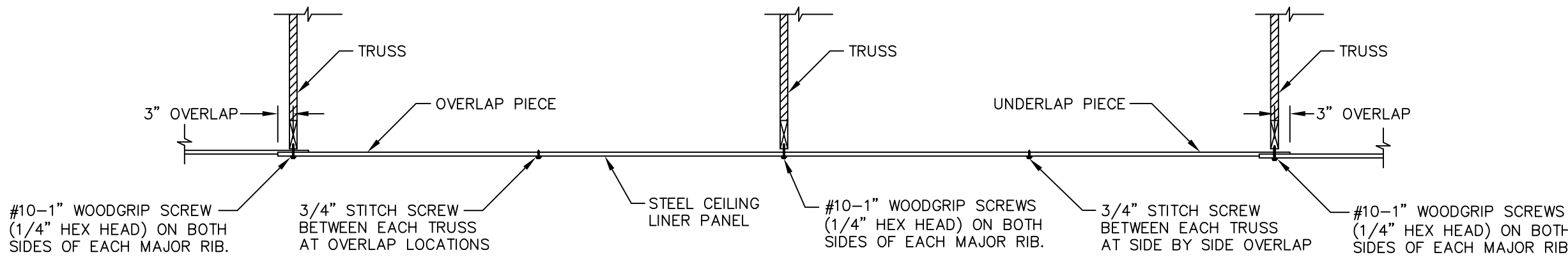


WALL STEEL LAP DETAIL
NOT TO SCALE



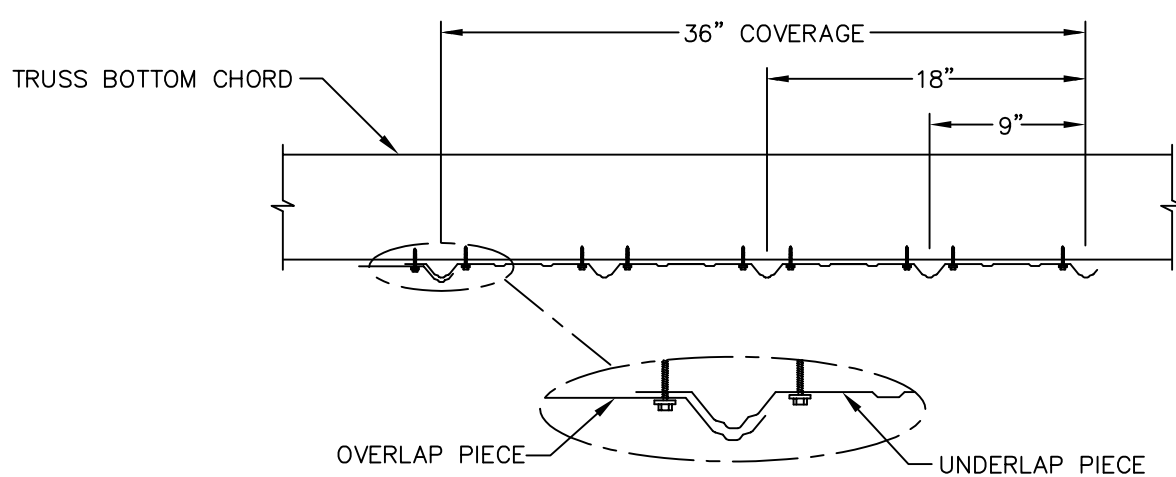
ROOF STEEL LAP DETAIL
NOT TO SCALE

NOTE:
THE RECOMMENDED PROCEDURE FOR APPLYING CEILING LINER IS: APPLYING 1" WOODGRIP SCREWS FROM ONE END OF THE PANEL, HOLDING THE PANEL FLAT TO THE BOTTOM CHORD OF THE TRUSSES AND BETWEEN THE TRUSSES, THEN APPLYING ONE SCREW ON BOTH SIDES OF EVERY MAJOR RIB INTO THE FIRST TRUSS, THEN THE MIDDLE TRUSS, THEN FINALLY AT THE THIRD TRUSS WHERE THE PANEL WILL OVERLAP THE TRUSS 3". THE NEXT PANEL ATTACHED TO THE TRUSS W/ 1" OR LONGER WOODGRIP SCREWS ON BOTH SIDES OF EVERY MAJOR RIB. A STITCH SCREW NEEDS TO BE APPLIED AT THE SIDE BY SIDE OVERLAP OF THE PANEL NEXT TO IT HALF WAY BETWEEN EACH TRUSS.



STEEL APPLICATION DETAIL @ CEILING LINER

SCALE: 1/2"=1'-0"



STEEL CEILING LINER-LAP DETAIL

NOT TO SCALE

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Print Name: Matthew G. Hull

Signature: [Signature]

Date: 11/2/2022 License #: 47371



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FOR QUESTIONS PLEASE CONTACT BUILDING DESIGNER AT THE FOLLOWING:
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PROJECT TITLE:

MORELY SHED

FOREST LAKE, MN

PROF. ENGINEER: MATT HULL

PLAN DESIGNER: KENT HODNY

DRAWN BY: KWK

DATE: 10/31/2022

SCALE: AS NOTED

REVISIONS

NO	DATE	DESCRIPTION	BY
1			
2			

SHEET TITLE:
STEEL APPLICATION DETAILS

FILE NAME: S35422MN

SHEET NO.

S12

**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 03-13-24-01

**A RESOLUTION APPROVING A VARIANCE FOR THE CONSTRUCTION OF A
SECOND DETACHED ACCESSORY BUILDING ON THE PROPERTY LOCATED AT
23620 FOREST ROAD NORTH**

WHEREAS, Micheal Morley (“Owner”) owns the real property located at 23620 Forest Road North, located in the City of Forest Lake, Washington, County, Minnesota PID No. 05-032-21-31-0001 (“Property”); and

WHEREAS, the applicant Micheal Morley (“Applicant”), submitted a complete application to the City of Forest Lake on February 2, 2024, for a zoning variance to allow for the construction of a second detached accessory structure on the Property, (“Variance”) and Forest Lake City Staff reviewed the application for the Variance and discussed the same with the Applicant and Owner; and

WHEREAS, the requested Variance and approvals are for a variance to City Code Section 153.112 (B) that allows only one accessory structure on a parcel in the B-3 Zoning District; and

WHEREAS, Staff recommended approval of the variance request as further articulated in the City Staff Report dated March 13, 2024, for the March 13, 2024, Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The Applicant has identified several conditions of the property, including the existing zoning that create a practical difficulty for constructing the new detached accessory building on the property.
2. The Applicant is proposing to build a 6,400 square-foot detached accessory building on the 20.2-acre property that has an existing single-family home and a detached garage. This proposed use of the property with the new accessory building for personal purposes is reasonable.
3. The existing house and detached garage make the property legally nonconforming as the City has zoned the property B-3 (Limited Industrial Business). The location of the existing house and detached garage and the existing zoning of the property are unique to the property and were not created by the landowner.
4. The proposed plan for the detached accessory building is not expected to adversely impact the surrounding community, nor will it be injurious to or alter the essential character of the area. The proposed garage location of the new accessory building is in an area with existing trees on two sides and an existing wetland to the rear (west) and is at least 1000 feet from the nearest residential building.

5. This request appears to meet the spirit and intent of the Forest Lake Zoning Ordinance. Approval of the proposed variance will not impair an adequate supply of light and air to adjacent properties, should not increase congestion on public streets, endanger public safety and will not diminish or impair property values in the neighborhood. As proposed, the site plan with the new detached accessory building is not expected to create or enhance any detrimental impacts on adjacent properties. The City will review the grading and drainage plans as part of the building permit process to ensure there will be no negative impacts or drainage issues caused by this project on adjacent properties.

WHEREAS, a notice of a public hearing on said Variances was duly published, posted and mailed in accordance with applicable Minnesota Statutes; and

WHEREAS, the Forest Lake Planning Commission (Planning Commission) held a public hearing at its March 13, 2024, meeting where they offered all persons interested in said Variance an opportunity to present their views and objections to the City granting of said Variance; and

WHEREAS, the Planning Commission also considered the application for the Variance, took comments from the Applicant and Owners, and reviewed the Staff Report; and

WHEREAS, the Forest Lake Planning Commission has determined that the City should approve the proposed Variance to allow the construction of a second detached accessory building on the Property as described herein and in the Staff Report subject to the seven recommended conditions of approval listed in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Variance to allow the construction of a second detached accessory building on the Property as described herein subject to the following conditions of approval:

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1242.
2. No further grading or construction shall occur before the issuance of the required City approvals and permitting.
3. The applicant or contractor must obtain all required Comfort Lake-Forest Lake Watershed District permits before starting any additional site work.
4. The applicant or contractor shall install all necessary erosion control measures before starting any further grading or site work. The erosion control measures should be located down gradient of all land disturbance activities and as may be required by the Comfort Lake – Forest Lake Watershed District.

This resolution is adopted by the Planning Commission of the City of Forest Lake on this 13th day of March 2024.

Paul Girard, Planning Commission Chair

Attest:

Kristina M. Handt, Interim City Clerk

**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 03-13-24-02

**A RESOLUTION APPROVING SITE AND DESIGN PLANS FOR THE
CONSTRUCTION OF A SECOND DETACHED ACCESSORY BUILDING ON THE
PROPERTY LOCATED AT 23620 FOREST ROAD NORTH**

WHEREAS, Micheal Morley (“Owner”) owns the real property located at 23620 Forest Road North, located in the City of Forest Lake, Washington, County, Minnesota PID No. 05-032-21-31-0001 (“Property”); and

WHEREAS, the legal description of the Property for the proposed new detached accessory building is detailed on **Exhibit A** attached hereto; and

WHEREAS, the Applicant submitted an application and project plans to the City of Forest Lake on February 2, 2024, for site plan review for the construction of a 6,400-square-foot detached accessory building on the Property; and

WHEREAS, the requested improvements to the site include the construction of a new 6,400-square-foot detached accessory building the owners intend to use for personal inside storage and a maintenance shop as shown in the plans dated October 31, 2022; and

WHEREAS, Staff recommended approval of the site plan review request as further articulated in the City Staff Report dated March 13, 2024, for the March 13, 2024, Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The proposed use with the addition of another accessory building on the property is not consistent with the City’s 2040 Comprehensive Plan as the owner is using the property for residential purposes.
2. The proposed use and site plan will be consistent with the City’s adopted zoning ordinance with the exceptions and the variance noted in the staff report.
3. The proposed site development will not alter the natural state of the property. The proposed detached accessory building preserves the existing wetland and all the existing trees on the property.
4. The site plan will be consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like with the changes as recommended by City staff.
5. City staff do not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan with the existing and required screening, landscaping and conditions of approval.

WHEREAS, the Forest Lake Planning Commission (Planning Commission) considered the request at its March 13, 2024, meeting, and reviewed the staff report; and

WHEREAS, the Forest Lake Planning Commission has determined the City should conditionally approve the proposed Site Plan Review to permit the site improvements as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Site Plan Review for the Property as described herein with the following conditions:

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1243.
2. The applicant/owner shall develop the site with the new detached accessory building in substantial conformance with the following plans and review comments as approved by the City that are on file with the Community Development and Building Departments as part of Case No. PZ 24-1243, except as may be modified by the conditions of approval here:

a. General Notes and Site Plan	Sheet S1	Dated October 31, 2022
b. Elevations	Sheet S2	Dated October 31, 2022
c. Elevations	Sheet S3	Dated October 31, 2022
d. Floor Plan	Sheet S4	Dated October 31, 2022
e. Roof Framing Plan	Sheet S5	Dated October 31, 2022
f. Sidewall Section and Details	Sheet S6	Dated October 31, 2022
g. Endwall Section and Details	Sheet S7	Dated October 31, 2022
h. Overhead Door Details	Sheet S8	Dated October 31, 2022
i. Sidewall Section and Details	Sheet S9	Dated October 31, 2022
j. Endwall Sections and Details	Sheet S10	Dated October 31, 2022
k. Overhead Door Details	Sheet S11	Dated October 31, 2022
l. Steel Application Details	Sheet S12	Dated October 31, 2022
m. Colored Site Plan		
n. Proposed Landscape Plan		
o. Colored Building Elevations		
3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
4. The applicant or owner shall receive all approvals and permits from the City, the Comfort Lake-Forest Lake Watershed District and any other State or any other regulatory agencies before starting any further grading or construction activity.
5. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the review and approval process, shall be submitted and approved by the City before the owner or contractor starts any further grading or construction activity on site.
6. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Owner for all outstanding invoices related to the project.
7. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
8. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on Forest Road North.

9. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting any further construction. The revised plans shall show the following:
 - a. All exterior light fixtures shall be downlit and/or shielded to prevent glare.
 - b. The use of native plantings in the new landscape areas that are tolerant to harsh conditions.
 - c. A revised tree and shrub planting landscape plan for the front yard between the proposed building and access drive and Forest Road North. Such landscaping shall be to provide some screening of the new building and the parking and drive areas in front of the building. The revised front yard landscape plan shall include at least four additional trees to be a variety of deciduous and coniferous trees and several additional shrubs to provide year-round interest, texture, shape, and seasonal color.
 - d. Paving the driveway and parking areas adjacent to the new accessory building with bituminous or concrete.
10. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the applicant or owner to obtain City approval of an amendment of this Site Plan approval and possibly City approval of a variance or a Planned Unit Development (PUD).
11. The applicant shall complete all planning, zoning and building permit reviews and approval before the City releases any permits for this project.
12. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

This resolution is adopted by the Planning Commission of the City of Forest Lake on the 13th day of March 2024.

Paul Girard, Planning Commission Chair

Attest:

Kristina Handt, Interim City Clerk

RESOLUTION NO. 03-13-02**EXHIBIT A****Legal Description of Subject Property for New Construction**

All that part of the Southwest Quarter of the Northeast Quarter (SW 1/4 of NE 1/4) of Section Five (5), Township Thirty-two (32) North, Range Twenty-one (21) West, described as follows, to-wit:

Beginning at a point Twenty-seven (27.00) feet East of the Southwest corner of the Southwest quarter of the Northeast Quarter (SW 1/4 of NE 1/4) of Section Five (5), in Township Thirty-two (32) North of Range Twenty-one (21) West; thence North One Thousand Three Hundred Twenty (1320.00) feet more or less to a point Twenty-seven (27) feet East of the Northwest corner of said Southwest Quarter of Northeast Quarter (SW 1/4 of NE 1/4) of said Section Five (5); thence East five hundred Thirty-eight and Forty Hundredths (538.40) feet to the West line of the North Pacific Railroad right of way; thence in a Southeasterly direction and following said right of way to the point of intersection of said right of way line and the South line of said Southwest Quarter of the Northeast Quarter (SW 1/4 of NE 1/4) of said Section Five (5); thence West Seven Hundred Three (703.00) feet to the point of beginning.

PID: 05.032.21.13.0001

ADDRESS: 23620 FOREST ROAD NORTH, FOREST LAKE MINNESOTA

Date: March 13, 2024

To: Chair Girard and Planning Commissioners

From: Abbi Wittman, Community Development Director

Re: Municipal Urban Service Connection Requirements Discussion

It has recently been brought to staff's attention there are little to no requirements in the City Code to compel new development to connect to urban water and sewer services when they are directly and/or readily available. Though the City has created staged Municipal Urban Supply Areas (MUSAs), and it is implied lands in those areas would connect to urban services at the time of development, there is nothing either the City Code or the 2040 Comprehensive Plan which indicates connection is required. The exception to this is the prohibition of digging new wells in the City's Drinking Water Supply Management Area (DWSMA).

Staff is concerned the lack of urban service connection requirements in the City Code could be a detriment to public health and safety. With regard to public health, the drilling of new wells (and potentially associated septic systems) could create pollution source points and contribute to unintentional aquifer draw down. With regard to public safety, having new developments connected to the municipal water system can help ensure the City's fire department has the resources it needs to adequately fight structure fires. While it may be that some areas of the City cannot feasibly connect to urban services, it is the opinion of staff that the City should require connection where services are readily available or where extension of services is reasonable.

Staff is bringing this matter to gauge the Planning Commission's support for the development of an ordinance which would require new developments in the MUSA to connect to urban water and sewer when it is directly available or within a reasonable distance. If the Planning Commission is favorable to this, staff will explore alternatives for potential ordinance inclusion.

Requested Action

Staff is requesting the Planning Commission discuss this matter and provide direction to staff.