



NOTICE OF AGENDA

PLANNING COMMISSION

[City of Forest Lake – Link to Meeting Livestream](#)

Forest Lake City Center – Council Chambers
Forest Lake, Minnesota

May 8, 2024 – 7:00 PM

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve the Agenda
5. Consent Agenda Considerations (Action Items)*
 - a) Approve Planning Commission Meeting Minutes from April 10, 2024
 - b) Site Plan Approval - Chase Bank (1232 Broadway Avenue West)

*Planning Commission may remove any item from the consent agenda for specific consideration

6. Regular Agenda (Action Items)
 - a) Public Hearing: Preliminary and Final Plat – Gaiovnik Estates (7902 North Shore Trail)
 - b) Revised Site Plan Approval – Washington County Northern Environmental Center (6065 Headwaters Parkway)
7. Staff Updates
 - a) May 22 PC Meeting Cancelled
8. Adjourn

*A quorum of the City Council is possible at this Planning Commission Meeting



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Wednesday, April 10, 2024	7:00 PM	City Center - Council Chamber
---------------------------	---------	-------------------------------

[City of Forest Lake - Livestream and Recorded Meetings](#)

1. Call to Order

The Meeting was called to order at 7:01 p.m.

2. Roll Call

Attendee Name	Title	Status	Arrived
Paul Girard	Commission Chair	Present	
Susan Young	Commission Vice-Chair	Absent	
Kevin Miller	Planning Commissioner	Absent	
Don Stehler	Planning Commissioner	Absent	
Jeff Larson	Planning Commissioner	Present	
Jesse Wagner	Planning Commissioner	Present	
Tim Stender	Planning Commissioner	Present	

3. Pledge of Allegiance

4. Approve the Agenda

No comments on the Agenda.

Motion: Commissioner Larson made a Motion to Approve the Agenda as presented.
Motion seconded by Commissioner Wagner. Motion carried 4-0.

5. Consent Agenda Considerations (Action Items)*

a. Approve Planning Commission Meeting Minutes from March 27, 2024
No comments on the Consent Agenda.

Motion: Commissioner Larson made a Motion to Approve Consent Agenda Item 5.a.
Motion seconded by Commissioner Stender. Motion carried 4-0.

6. Regular Agenda (Action Items)

a. Public Hearing: Zoning Code Text Amendment – Reorganization and Structure
City Planner Roberts provided a background on the request for information regarding the Forest Lake Zoning Code Restructuring from MSA Professional Services.

Claire Stickler, MSA Professional Services, provided an update on the draft ordinance with Planning Commission comments incorporated and the updated use table from the February 28 meeting.

Chair Girard asked about the confidence with the numbering being accurate.



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Wednesday, April 10, 2024

7:00 PM

City Center - Council Chamber

Ms. Stickler stated that two individuals at MSA Professional Services and City staff reviewed the document.

Chair Girard questioned how to apply the Zoning Code to current applications.

City Planner Roberts answered that the staff will track applicant materials. Applications received after May will have the new numbering.

Claire Stickler presented an example of Afton city code which referred to previous code numbers in the new code.

Chair Girard asked if the City would be willing to print the Zoning Manual.

Planner Roberts answered that if the code is approved by the City Council, there would then be a review of the amendments.

Public Hearing was opened at 7:18 p.m.

No comments.

Public Hearing was closed at 7:19 p.m.

Motion: Commissioner Larson made a Motion to recommend the City Council adopt the proposed Ordinance Amending Title XV, Land Usage, that repeals and replaces Chapter 153: Zoning Code. Motion seconded by Commissioner Stender. Motion carried 4-0.

7. Staff Updates

a. April 24 PC Meeting Canceled

City Planner Roberts stated that the April 24 Planning Commission Meeting is canceled.

b. May 8 Planning Commission Meeting

City Planner Roberts reviewed the agenda items for the May 8 Planning Commission meeting including the 7902 N Shore Trail Plat, Washington County Northern Environmental Center Site Plan Revision, and Chase Bank Site Plan Review. He shared that Mister Car Wash is under construction and the Westlake Planned Unit Development was approved by the City Council.

8. Adjourn

Motion: Commissioner Stender made a Motion to Adjourn the meeting at 7:23 p.m. Motion seconded by Commissioner Wagner. Motion carried 4-0.

Date: May 8, 2024

To: City of Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: Site, Building and Sign Plan Review Requests – Chase Bank

Applicant: The Architects Partnership, Ltd. (Terron Wright)

Property Owner: Steven and Patricia Saunders

Location: 1232 Broadway Avenue West

Zoning District: B-2 - Highway Business

Land Use Plan Designation: GB – General Business

60-Day Deadline: June 6, 2024

Introduction/Background

Mr. Terron Wright, representing the applicant, the Architects Partnership Ltd., has applied to the City for Site Plan approval for a new retail banking center. Specifically, they are proposing a new 3,432 square-foot Chase Bank building with a drive-up ATM and associated parking on the property located at 1232 Broadway Avenue West. The property in question is located on the south side of Broadway Avenue, west of 12th Street Southwest and is the site of the former Kentucky Fried Chicken Restaurant.

Such a project requires City approval of the project site and design plans. Please see the attached project narrative, maps and project plans for more information about this application.

Discussion

Zoning and Land Use

The property in question has a total area of about 0.82 acres. The City has zoned much of the area near the intersection of I-35 and Broadway Avenue (including this site) B-2 (Highway Business). The underlying B-2 zoning district permits a variety of office and retail sales and services by right. The proposed use of the site as a retail banking center is a permitted use.

The proposed use of the site as a bank with a drive-up ATM also is compatible with the Future Land Use designation for this property. Forest Lake's 2040 Comprehensive Plan guides such areas for "general commercial businesses such as fast-food restaurants, convenience stores, gas stations, big box retail, and other auto-oriented businesses."

Site Plan and Design Review

The proposed site improvements were reviewed against the Design Standards established in City Code Section 153.074 for conformance with requirements in the Highway Business (B-2) District. An assessment of conformity is below:

Setbacks and Building Location

<i>Requirement</i>			<i>Existing</i>	<i>Proposed</i>
Building Setbacks	Front	40 feet from Broadway Avenue ROW	59 feet	58 feet
	Side	0 feet	47 and 72 feet	28 and 74 feet
	Rear	0 feet	82.5 feet	85 feet
Building Height		4 stories or 45 feet	One story	One story
Maximum Impervious Surface		80 percent	81.2 percent	58.8 percent

The proposed site plan meets all requirements found in the base B-2 zoning district.

Parking – The number of off-street parking stalls the City requires for a particular use are outlined in City Code Section 153.124. The City Code does not specify the minimum number of off-street parking spaces for a bank or a financial institution. However, the City Code does specify the minimum number of off-street parking spaces for retail stores at five spaces for each 1,000 square feet of floor area and offices at one space for each 200 square feet of floor area. In this case, the proposed building is 3,342 square feet so to have at least one off-street parking space for each 200 square feet of floor area, the City should require this facility to have at least 18 off-street parking spaces.

The proposed project plans show 28 off-street parking spaces including two handicapped accessible parking spaces near the door on the east side of the building. The applicant's project narrative indicates there will be no more than eight employees on-site at one time so the proposed 28 on-site parking spaces should be sufficient for this facility.

Section 153.126 of the City Code outlines the minimum parking space and aisle dimensions. This section of the City Code requires off street parking spaces to be 9 feet wide, 20 feet in length and the two-way drive aisles in parking lots to be at least 24 feet wide. The proposed plans show all the drive aisles 24 feet wide and all proposed parking stalls on the property being 9 feet wide and 20 feet in length.

The City Code also requires parking lots to have at least a 10-foot setback from a public street right-of-way and a five-foot setback from the side property lines. The proposed project plans show the parking lot meeting or exceeding all these setback standards except along the eastern property line. The edge of the new parking lot is proposed to be set right on the eastern property line. The project engineer noted "the reason for proposing the parking in its current location is to ensure sufficient space for the drive-thru lane, the proposed building, and to meet the City's required parking spaces and drive lane widths. We have carefully considered these factors to ensure compliance with the necessary regulations."

It should be noted that the edge of the existing parking lot on the property (for the former KFC Restaurant) is about eight feet onto the neighboring property to the east that has the Holiday

Convenience Store. Thus, the proposed parking lot design improves a non-conforming situation by having all the new parking lot on the subject property.

Access – The project plans show two driveways serving this site. There is an existing access driveway on Broadway Avenue to provide vehicle ingress and egress for the north end of this site and for the existing Holiday Convenience Store to the east. There also is an existing access, roadway, ingress and egress easement along the south property line of the project site that serves McDonald's, Wal-Mart and the subject property.

The plans show a 25-foot-wide access driveway along the north side of the property and they also show a 24-foot-wide drive aisle running north-south through the proposed parking lot. The proposed drive aisle provides a vehicle connection through the parking lot from the north access driveway to the private access road along the south side of the subject property. The driveway connection to the private access road to the south will provide another ingress and egress to the site from 12th Street SW.

County staff and City staff are supportive of the access and driveway plan as shown on the proposed project plans.

Landscaping – Minimum landscaping requirements are established in City Code Section 153.2136. An assessment of required vs. proposed plantings is below:

Planting requirements	Site Perimeter = 775 Lineal Feet				Missing
	Required	Existing	Proposed	Total	
Overstory Trees	26	3 (to remain)	17	20	6
Understory trees/shrubs	78	Not Applicable	55	55	23

The proposed landscaping plan details five variety of trees for the 17 trees considered to be overstory trees. As noted in the table above, the proposed tree planting plan has six fewer over story trees than required by the City Code. This is because the proposed plan included 8 ornamental trees with 1.5-inch diameter trunks the applicant included in the count of proposed overstory trees. The City requires overstory trees to have trunks that are at least 2.5-inches in diameter. As such, the applicant will need to revise the size and types of those 8 trees to meet the City requirements as overstory trees.

In addition, the proposed landscaping plan shows the planting of 3 overstory trees and 2 quaking aspen clumps on the property to the east of the proposed parking lot in the area where the existing parking lot will be removed. The applicant and property owner will need to secure written permission from the adjoining property owner to the east the subject property to work on and to install landscaping and trees on the adjoining property.

As the above table also shows, the applicant is proposing to plant 23 fewer understory trees and shrubs than required by the Code. It appears to staff the applicant is proposing to plant as many shrubs as possible on the site due to the existing site constraints of the property. The proposal will need to continue meeting species diversity requirement as none of the proposed species shall constitute over 50% of plantings. City staff expects the proposed landscaping to complement this site and development on adjacent parcels.

An important benefit of this proposal is the reduction in the amount of impervious surface area the site will have when the project is complete. According to the project site plan, the existing restaurant site is

81.22 percent impervious surface (34,125 square feet) and the proposed plan for the bank will have an impervious surface area of 58.76 percent (24,688 square feet). This will be a reduction of 9,437 square feet (22.46 percent) of impervious surface area on the property.

In summary, the proposed landscaping will meet the intent of the landscaping design requirements found in Sec. 153.137 by *“increasing and maintaining property values; preventing or reducing soil erosion, sedimentation, and storm water runoff; improving air quality and reducing noise pollution. . . .”*

Landscape Irrigation – Section 153.139 (D) (5) of the Code requires the installation of an irrigation system for landscape areas as may be determined by a landscape architect. The proposed project plans do not show irrigation for any of the proposed landscape areas. The applicant should revise the project plans to show irrigation in the landscape areas that will need it to help ensure the plantings will survive and thrive. If the applicant wants to revise the landscape plans to show areas with plant materials that require little or no water as part of a sustainable design and thus will not need irrigation, they can submit the revised landscape plans to the City for approval.

Lighting Plan – Lighting standards are established in City Code Section 153.130. The Applicant’s preliminary lighting plan is not consistent with City standards for exterior lighting because the plans show lighting at the 3 of the 4 property lines exceeding the maximum standard of 0.4-foot candles. The height of freestanding lighting poles is shown to be 25 feet which meets the City Code requirement. Staff is recommending the applicant submit a revised exterior lighting plan that meets City standards before the City issues any permits for site work for this project.

Trash Enclosure – The applicant is proposing to have an exterior trash enclosure on the south side of the property on the west side of the entrance driveway. The proposed location appears to be outside of easement areas and setbacks. The project elevations show the walls of the enclosure constructed with cast stone that matches the style and color of the stone on the south elevation of the proposed bank building. It appears from the plans the gate of the enclosure will be solid wood or metal painted gray. These design elements for the enclosure appear to meet the City requirements as they will be consistent with the design of the principal structure and the gates will be constructed with a durable material for screening such as cedar planks. Approval of the final plans for the enclosure by City staff should be a condition of approval before the City issues building permits for this project.

Signage – The proposed project plans show one pylon sign and a total of four wall signs on the building elevations – one each on each side of the bank building. The four wall signs are “Chase” and the pylon sign along Broadway Avenue will have the text “Chase Bank.” The proposed signage totals are:

Signage Table	Sq. Ft. per Sign Face		Number of Signs	
	Permitted	Proposed	Permitted	Proposed
North Elevation	113 sq. ft.	37 sq. ft.	1	1
South Elevation	142 sq. ft.	37 sq. ft.	1	1
West Elevation	207 sq. ft.	37 sq. ft.	1	1
East Elevation	226 sq. ft.	37 sq. ft.	1	1
Pylon Sign	100 sq. ft.	49 sq. ft.	1	1

The amount of signage detailed above does not exceed the sign standards in the zoning code.

It is not clear from the proposed project plans if the proposed pylon sign near Broadway Avenue will meet all City sign standards. These include:

- The maximum height for a freestanding sign in the B-2 Zoning District shall be the lowest point of the roof or parapet of the principal building with which it is associated. In this case, the maximum allowed height for the pylon sign will be 22 feet.
- The setback requirement of 10 feet from the street right-of-way. The applicant will need to submit a detail to the City for approval showing the pylon sign will meet the 10-foot setback requirement. The proposed location of the pylon sign also appears to be in or very close to the proposed storm water basin on the north side of the northern access driveway. This location and the proposed landscaping in this part of the site requires review and approval by City staff.

All signs require a City approval of a sign permit before the contractor installs the signs.

Public Infrastructure Connections

The site is currently served by public sanitary sewer and by public water. The applicant is proposing to extend private sanitary sewer and City water services into the project site from the existing public utilities along the north side of the property. The City Engineer will need to review and approve the final construction plans for the extensions of the public utilities and services.

Building Design

Minimum Design Standards

Visual Interest – The proposed bank building meets the requirements in Sec. 153.074 (A) (1) by adhering to the criteria below:

- Architectural detailing, such as cornice, awning, parapet or columns;
- A visually pleasing primary front entrance that, in addition to doors, shall be accented a minimum of 150 square feet around the door entrance for single-occupancy buildings;
- Contrasting, yet complementary, material colors;
- A combination of horizontal and vertical design features;
- Having an irregular building shape; and
- Having vertical offsets in the roofline off at least 4 feet.

Major Exterior Finishes – The proposed exterior building materials shown on the project plans include a mix of cast stone, two colors of bricks, metal wall panels and glass windows and doors. The building façade materials consist of several surfaces, some of which are considered accent materials as described below.

Accent Materials – All elevations of the proposed building include a variety of architectural elements such as architectural metal panels, concrete masonry units and a variety of doors and windows. None of these materials exceed a maximum of 25% of the surface for each façade. Staff has determined the proposed elevations are consistent with the intent of the City's design standards.

Restricted Materials – The proposed building elevations do not contain restricted materials.

Building Roof and Screening – The proposed building has a large flat roof. The City Code requires rooftop mechanical equipment be screened from the ground level view from abutting public streets. It is

not clear to staff if there will be any roof-top equipment. The proposed building elevations show parapets extending above the roof deck possibly to help screen roof top equipment. The City should require the applicant to submit project plans that clearly show the roof top equipment (if any) and proposed screening to ensure the roof top units are not visible from Broadway Avenue.

Staff and Partner Agency Comments

City Engineer Comments:

The City Engineer provided the City with a review memo dated April 25, 2024 with comments on this proposal. Most of his comments appear technical in nature and require the project engineer to make changes to the plans or to add notes to the project plans. City staff shared these comments with the project engineer who will be revising the plans as necessary.

Public Works Director Comments:

Public Works Director Adams comments have been incorporated in the City Engineering Memo.

Washington County Comments:

Washington County staff provided City staff with a review comments about this project in an e-mail dated April 15, 2024. Their comments included:

1. We are generally ok with the proposed design.
2. A Washington County Right of way permit will be required for this work.
3. Verification from the watershed district that all stormwater management rules have been met.

Fire Chief Comments:

Fire Chief Newman reviewed the project site and building plans and had no comments.

Comfort Lake-Forest Lake Watershed Comments:

Comfort Lake-Forest Lake Watershed District staff were provided an opportunity to review the project plans. The Watershed District has given the project a conditional approval subject to the applicant finalizing the project plans and meeting other Watershed District conditions. This project must receive proper approval and permitting from the Watershed District before the City will issue any permits for this project.

Site Plan Considerations for Approval

City Code Section 153.038(E)(6) provides the following criteria for the Planning Commission to consider when evaluating whether to approve a site plan review request. Staff assessment is provided in *italics*.

- a) Consistency with the City Comprehensive Plan;

The proposed use and site plan are consistent with the City's adopted 2040 Comprehensive Plan.

- b) Compliance with the Zoning Ordinance;

The proposed use and site plan will be consistent with the City's adopted zoning ordinance with the exceptions noted in this report.

- c) The preservation of the site in its natural state to the extent practicable by minimizing tree loss, soil removal, and grading;

The proposed site development will not substantially alter the natural state of the property as it previously had a commercial building and a parking lot. The proposed development will “clean-up” the property by installing a new building with new landscaping and parking areas, it will reduce the amount of impervious surface on the property and there will be a new storm water management system that meets current City and Watershed District standards.

- d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulations; and

The site plan will be consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like with the changes as recommended by City staff.

- e) The protection of adjacent and neighboring properties.

City staff do not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan.

Findings & Staff Recommendation

The proposed use and site plan are consistent with the City’s adopted 2040 Comprehensive Plan and the proposed retail financial institution, site plan and improvements will be generally consistent with the B-2 (Highway Business) zoning designation and standards for the property. The proposed plan will be consistent with the City requirements for traffic circulation, parking, yard areas, screening, lighting, and the like with the changes as recommended by City staff.

As proposed, the site development will not detract from existing development in the area, will be compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities. In summary, staff finds that, with proper conditions, the applicant’s proposed development will conform to the plans, policies, and standards set forth by the City.

Staff Recommendation

City staff recommends the Planning Commission **move to approve Resolution 5-08-24-01**. This Resolution is for the approval of the site and design plans for the proposed Chase Bank for the property located at 1232 Broadway Avenue West (PID 07-032-21-14-0029). **This approval shall be subject to the following conditions as proposed by staff:**

1. The final plans, including but not limited to building, site, grading, utility, landscaping, signs, driveway and parking lot improvements, shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1254.
2. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District must be satisfied before the use being established on site.

3. The requirements of the City Engineer (as noted in his review memo dated April 25, 2024), Public Works Director, and Fire Chief must be met before the construction and development of this project.
4. The applicant or owner shall receive all permits from the City, Washington County and the Comfort Lake-Forest Lake Watershed before starting any demolition, grading or construction activity.
5. The applicant or owner shall receive all approvals and permits from the City, the Comfort Lake-Forest Lake Watershed District, the Minnesota Department of Labor and Industry (DOLI), and any other State or any other regulatory agencies before starting any demolition, tree removal, grading or construction activity.
6. The applicant and/or landowner shall enter into a site improvement agreement for the project. The agreement shall include all required financials and charges including, but not limited to:
 - Letter of Credit for the cost of the design and installation of the proposed and required improvements and landscaping.
 - Water System Trunk Area Charges (WTAC), Sanitary Sewer Trunk Area Charges (SSTAC), Stormwater Trunk Area Charges (STAC) (Collected by the City at the time of the Improvement Agreement).
 - Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sanitary Sewer Fee. (Collected by the City at the time of Building Permit issuance).

This agreement shall be completed and recorded at Washington County before the applicant or contractor starts any grading or construction activity on the site. The City shall not release the building permit until the Site Improvement Agreement is executed.

7. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the plan review process, shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
8. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Developer for all outstanding invoices related to the project.
9. The City shall not release the building permit until the Site Improvement Agreement is fully executed and recorded.
10. Prior to the City issuing a building permit for the construction of the new bank building, the applicant or developer shall revise the final project plans to show all existing, proposed and required drainage and utility easements.
11. All required documents shall be recorded at Washington County at the applicant's expense.
12. The applicant and/or property owner shall secure written permission from the property owners of the adjacent property to east for all project-related site work including demolition and landscaping that will be occurring on the adjoining property. The applicant must secure this permission before the contractor starts any demolition, grading or construction activity.
13. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
14. All construction activity and material storage shall be contained on site. There shall be no construction staging or material storage on Broadway Avenue West or on 12th Street SW.

15. The building materials for the trash enclosure and gate shall be quality materials consistent with the style and colors of the principal structure. The gates of the enclosure shall be constructed with solid materials such as cedar planks or other solid wood. The applicant or contractor shall submit details of the enclosure in conjunction with the building permit application submittal and City staff shall review and approve these plans before the City issues a building permit.
16. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. A certificate of survey and a revised, detailed grading and drainage plan with the building permit application for City approval.
 - b. Plans for the trash enclosure gates showing the gates with solid materials such as cedar planks.
 - c. The exterior lighting meeting the City's standards for exterior lighting in the B-2 zoning district including not exceeding 0.4-foot candles at any property line.
 - d. The height of all the freestanding lighting poles shall not exceed 25 feet.
 - e. The light fixtures shall be downlit and/or shielded to prevent glare.
 - f. Revised landscaping and tree planting plans showing there will be at least 26 overstory trees with a trunk diameter of 2.5 inches installed with the project after the contractor has completed all site and landscape work.
 - g. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - h. The use of native plantings in the landscape areas that are tolerant to harsh conditions.
 - i. All other changes to the proposed landscape plans as required by the City.
 - j. The concrete sidewalk along the east side of the building and adjacent to the parking lot shall meet American with Disabilities (ADA) standards. The sidewalk shall be wide enough to ensure vehicles parking adjacent to it do not overhang the sidewalk in a manner that could obstruct pedestrians from using the sidewalk.
17. If the project requires retaining walls greater than four feet in height, said walls shall be designed by an engineer and the City shall review and approve the retaining walls through the building permitting process before installation.
18. The project engineer shall provide the City Engineer with as-built plans for his review and approval of the new and removed connections to the public utilities.
19. All signs require City approval of a sign permit issued by the City before the contractor installs the signs.
20. The maximum allowed height for the pylon sign will be 22 feet.
21. The applicant will need to submit a detail to the City for approval showing the pylon sign will meet the 10-foot setback requirement from Broadway Avenue. The proposed location of the sign and the proposed landscaping in this part of the site requires review and approval by City staff.
22. The applicant or contractor shall hold a preconstruction meeting before starting any demolition, construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.

23. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.
24. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
25. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Applicant's Project Narrative dated April 5, 2024
2. Location Map
3. Property Line Map
4. Aerial Photo
5. Alta Land Title Survey dated November 10, 2023
6. Project Civil Design and Landscape Plans dated February 20, 2024 (14 pages)
7. Photometric Plan dated January 16, 2024 (1 page)
8. Project Architectural Elevations dated January 17, 2024 (2 Pages)
9. DRC Sign Plans dated February 19, 2024
10. Proposed Floor Plan dated December 28, 2023
11. Woodbury Chase Bank Photos
12. Resolution 05-08-24-01 (approving site design plans)



Ken Roberts
City Planner
City of Forest Lake
1408 Lake Street South
Forest Lake, Mn 55025

April 05, 2024

Re: Project narrative for Chase Bank –1232 W Broadway Ave.

Dear Mr. Ken Roberts

This letter is to detail our application requesting a Conditional Use Permit and Site Plan Review for a new single-story +/- 3,432 SF freestanding retail banking center with one through the wall Drive up ATM. As part of the redevelopment of this site, the existing structure will be demolished to make way for the new freestanding bank building.

The proposed Chase bank building and associated parking lot will be located at the SW corner of W. Broadway and 12th St. SW. New parking and landscaping will be implemented to improve the aesthetics of the overall shopping center. This redevelopment will have an overall benefit to the surrounding area as the project is proposing to include a new infiltration basin at the northern side of the lot along W. Broadway that brings the property into compliance with the local watershed. The infiltration basin will act as a stormwater management feature and will be planted to provide landscaping throughout the basin area. Furthermore, Chase Bank has implemented a new sustainable initiative that strives to have every ground up project obtain LEED. This project will aim to achieve LEED Silver certification. In addition to improving the aesthetics of the area, Chase will create job opportunities which help contribute to the economic growth of the community.

The design intent of the proposed Chase Bank is to complement the surrounding architecture of the area. The proposed Banking Center is comprised of cultured stone (limestone color), masonry in colors “Midnight black” and “Platinum”, aluminum composite panels in “clear anodized” color, along with a black anodized storefront system, and clear glassing. All the exterior cladding options are modern finishes and are long lasting cladding materials that will mesh well with the development growth of the area. Additionally, the proposed floor to ceiling glazing was incorporated to provide connectivity to the retail customers navigating the area and pedestrians traversing the adjacent public thoroughfares.

Principle land uses within 350 feet of the property include McDonalds west of site, Holiday Gas station East of site, and general commercial parking to the south.

Lighting Design and Locations:

To provide the best and most efficient lighting design and locations, a photometric study has been developed and included in this submittal. A fully new layout of site lighting will be proposed along with complementary architectural lighting within the building which will enrich the architectural design of the site at night and will also add to the security for the users during night hours.



Sustainability Components:

The project will contain the following components which would contribute to sustainability practices the City is encouraging:

- Installation of additional trees/landscaping within development area
- LED lighting
- Future use of solar panels
- Project Sustainability goal - LEED Silver certification

The proposed schedule has construction commencing by late Summer 2024 (pending regulatory approvals) and an anticipated occupancy date of Winter 2025.

Parties Involved:

Lease Holder

Ronald Chester
Obo JPMorgan Chase Bank, N.A.

Landscape

Matthew Lingham
Kimley Horn and Associates, Inc.

Architect of Record

John Halleran
The Architects Partnership, LTD (TAP)

Civil Engineer

Matthew Lingham
Kimley-Horn and Associates, INC.

Property Owner

Saunders Steven R & Patricia M

Application Contact

Terron Wright
The Architects Partnership, LTD (TAP)

Zoning Classification:

The property in question is in a zoning district classified as B-2 Highway Business District.

Type of Business:

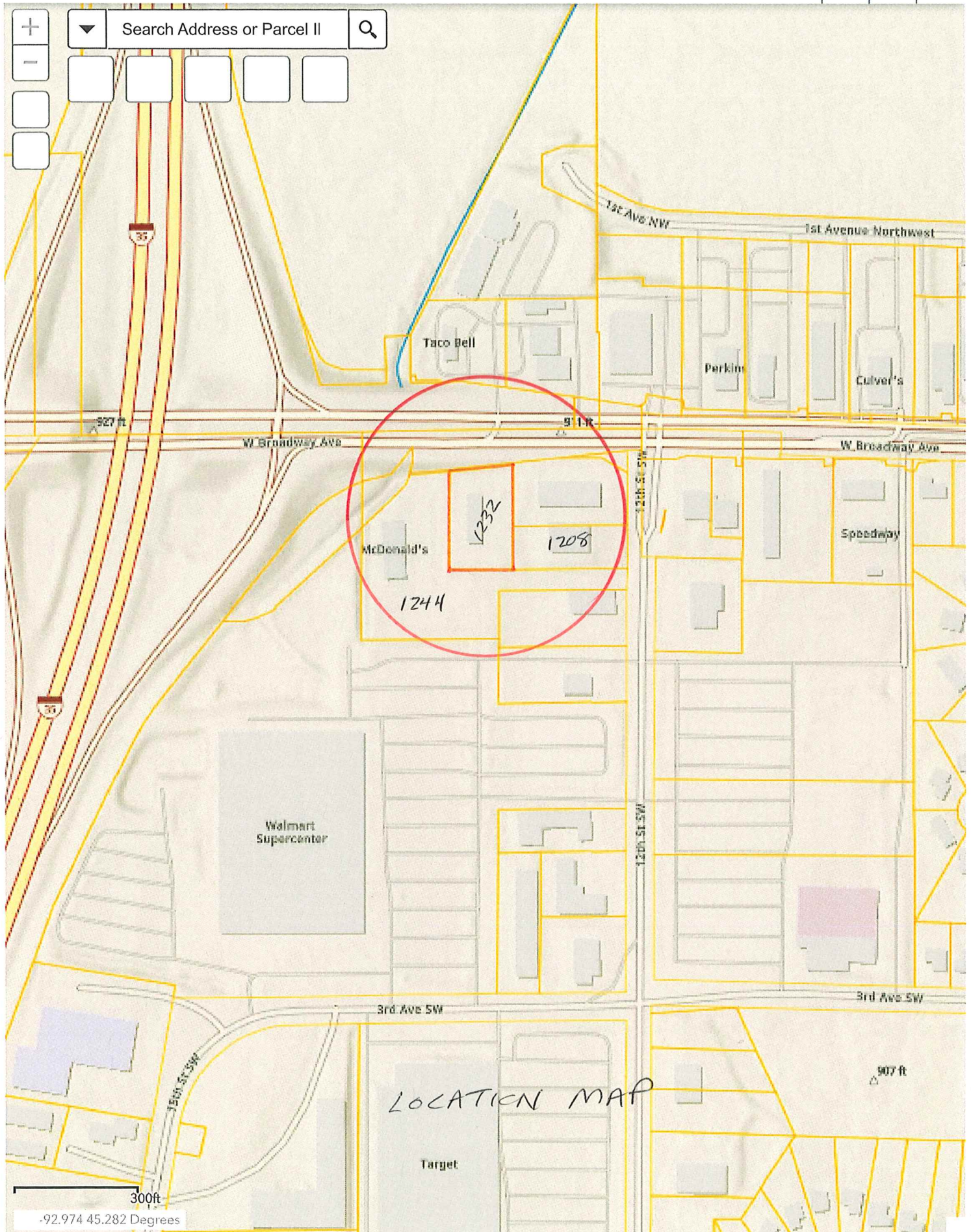
The type of business is a retail banking center. The hours of operation will be Monday – Friday 9 AM – 6 PM and Saturday 9 AM – 2 PM. The total number of employees and any one time will be eight. The eight employees will consist of one (1) tellers, one (1) lead teller, two (2) bankers, (1) branch manager, (1) mortgage loan officer, (1) financial advisor and (1) business banker.

John Halleran
The Architects Partnership, LTD.

Parcel Viewer - Quick Access

Beta

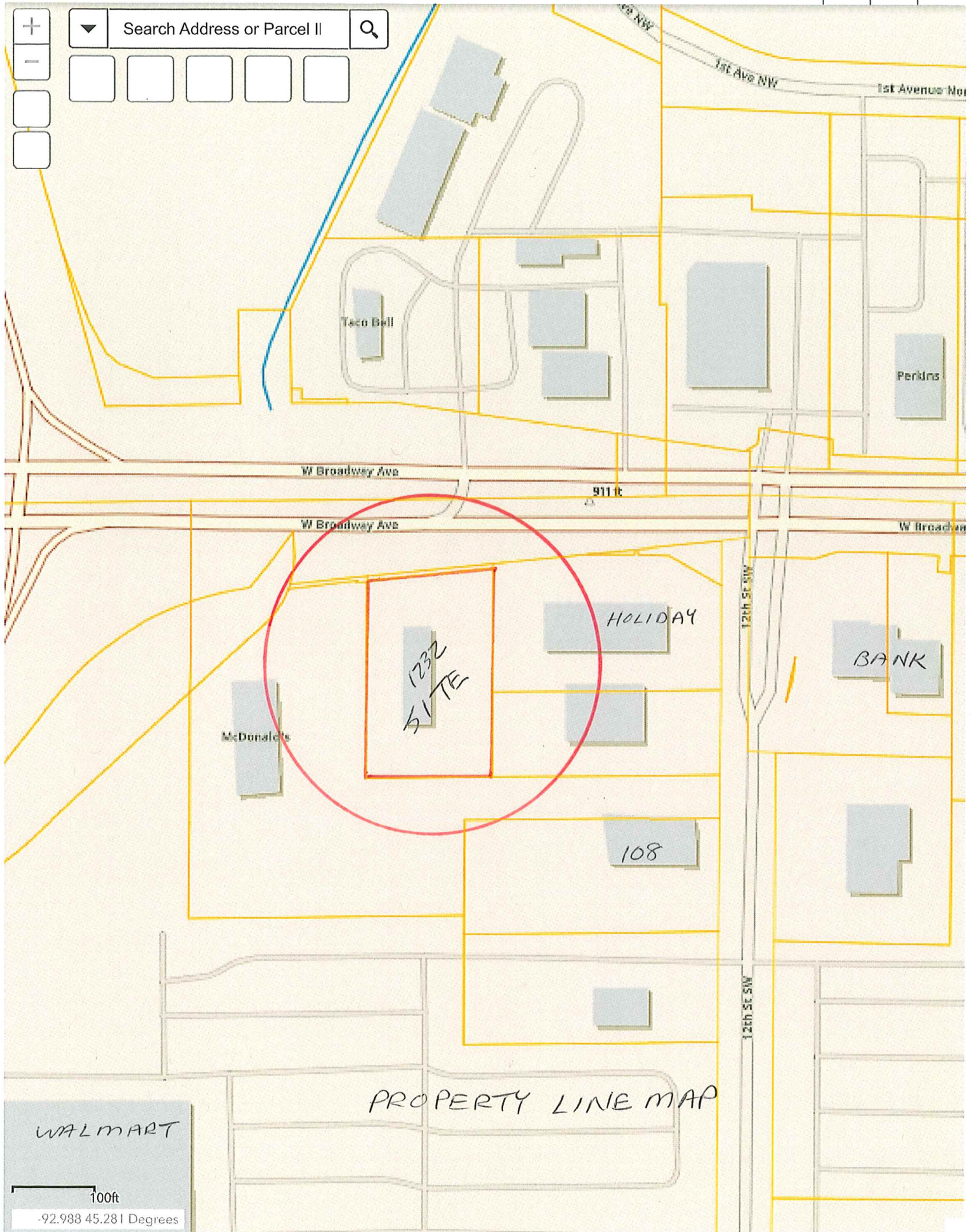
Washington County, MN









Parcel Viewer - Quick Access

Beta

Washington County, MN

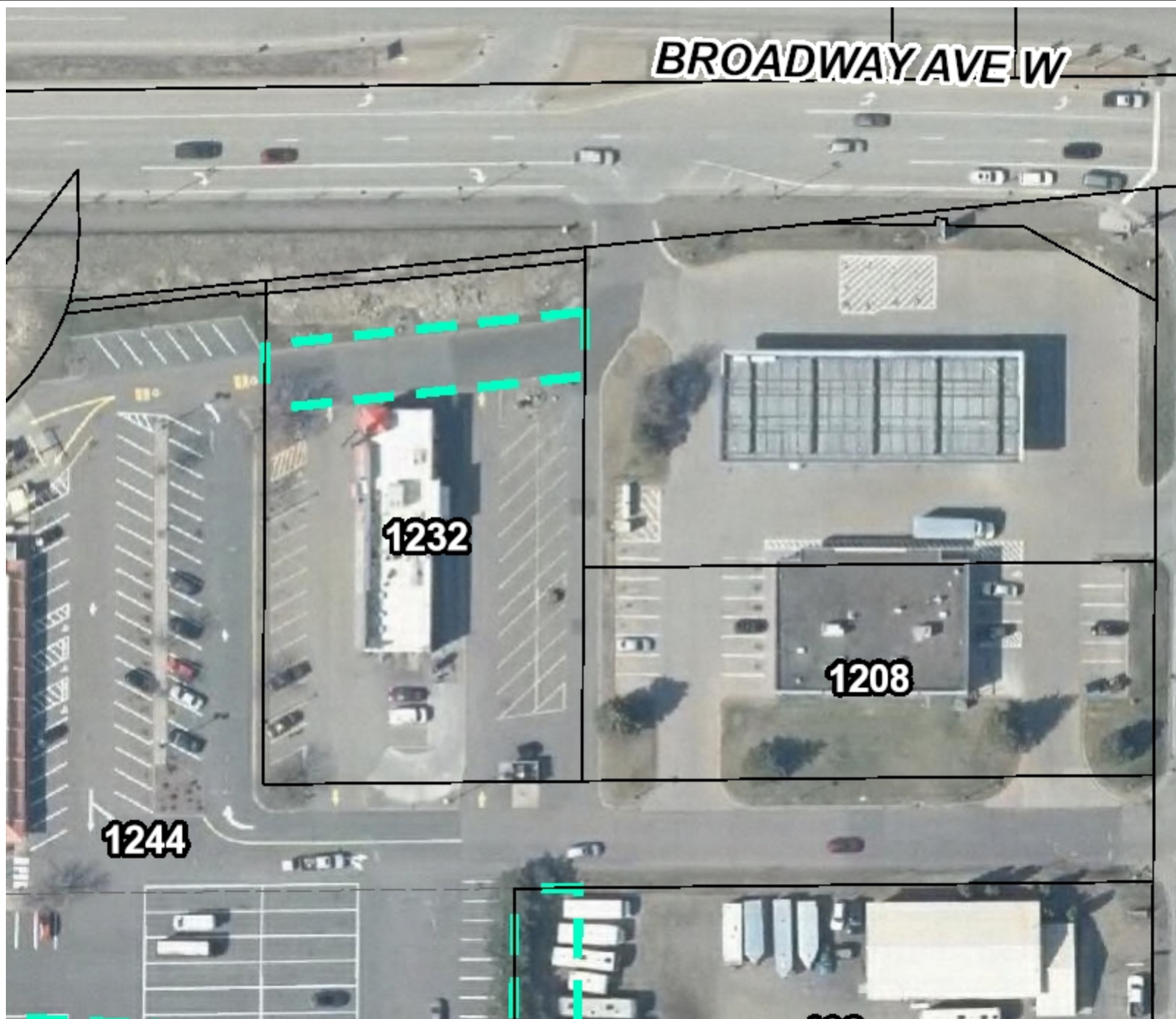


Legend

-  City Limits
-  Parcels (11/1/2023)
-  Lot Lines
- Easement Lines**
 -  Computed Utility Drainage
 -  Conservation
 -  Scenic

ForestLake_2022.sid

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3



**1232 Broadway
Avenue West**

**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

0 66 Feet

ALTA/NSPS LAND TITLE SURVEY FOR: Kimley Horn & Associates, Inc.

LEGAL DESCRIPTION:

PARCEL 1 [Abstract Property]: Lot 3, Block 1, Harland Sanders Commercial, Washington County, Minnesota, less and except the North 6.00 feet of said Lot 3.

PARCEL 2: Non-exclusive appurtenant easement for ingress and egress purposes as contained in Easement recorded as Document No. 374481 in the Office of the County Recorder, Washington County, Minnesota.

PARCEL 3: Non-exclusive private roadway easement as contained in Restrictive Covenants recorded as Document No. 378617 in the Office of the County Recorder, Washington County, Minnesota.

PARCEL 4: Non-exclusive access, roadway, ingress and egress easement as contained in Easement Agreement recorded as Document No. 624098, in the Office of the County Recorded, Washington County, Minnesota.

GENERAL SURVEY NOTES:

- The orientation of this bearing system is based on the Washington County coordinate grid (NAD 83-2011 Adj.).
- The legal description and easement information used in the preparation of this survey is based on the Commitment for Title Insurance prepared by First American Title Insurance Company, Commitment No. NCS-1193101-CH12 dated September 18, 2023 at 7:30 am.
- The angular rotation measured clockwise from record bearings depicted on the plat of HARLAND SANDERS COMMERCIAL to this survey is 00 degrees 20 minutes 15 seconds.
- The surveyed property has access to Broadway Avenue West, a public right of way, via an ingress and egress easement per Document No. 374481. The surveyed property has access to 12th Street Southwest, a public right of way, via an access, roadway, ingress and egress easement per Document No. 624098.

OPTIONAL TABLE A ITEMS:

- Monuments have been placed at all major corners of the surveyed property described hereon, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner.
- The address of the property described hereon is 1232 Broadway Avenue West, Forest Lake, Minnesota 55025.
- The property described hereon lies within Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per Federal Insurance Rate Map No. 27163 C 0020 E, dated February 3, 2010.
- The total area of the property described hereon is 35,542 square feet or 0.81593 acres.
- The contours depicted hereon are per elevation data collected while conducting the fieldwork. The contour interval is 1 foot.

BENCHMARK: Top of Minnesota Department of Transportation Geodetic Monument "WARD"
Elevation = 922.97 feet. (NAVD88)

SITE BENCHMARK: 5/8-inch rebar with cap marked "EFN CONTROL" near the SE corner of the surveyed property.
Elevation = 903.49 feet. (NAVD88)

- No zoning report or letter was received from the insurer pursuant to Optional Table A Item 6(b), as set forth in the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys.
- Exterior building dimensions are depicted hereon.
- The exterior building footprint area at ground level is depicted hereon.
- The measured building height is depicted hereon.
- Substantial features observed in the process of conducting the fieldwork are depicted hereon.
- As of the date of this survey the property described hereon contains a total of 38 parking spaces of which 36 are standard spaces and 2 are handicapped spaces.
- There are no division or party walls on the property described hereon.
- Existing utilities, services and underground structures shown hereon were located either physically, from existing records made available to us, by resident testimony, or by locations provided by Copher State One Call, per Ticket No. 232911441. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- A private utility locate was provided by ZoneOne Locating, on November 6, 2023. Other utilities and services may be present and verification and location of all utilities and services should be obtained from the owners of the respective utilities prior to any design, planning or excavation.
- As specified by the client, Governmental Agency survey-related requirements.
- The names of adjoining owners according to current tax records are depicted hereon.
- The intersection of Broadway Avenue West & 12th Street Southwest is located 270 feet easterly of the northeasterly corner of the surveyed property.
- As of the date of this survey there is no observable evidence of current earth moving work, building construction or building additions on the property described hereon.
- The surveyor is unaware of any completed or proposed changes in street right-of-way lines. As of the date of this survey there is no observable evidence of recent street or sidewalk construction or repairs that affect the property described hereon.
- The plottable offsite easements or servitudes disclosed in documents provided to the surveyor are depicted hereon.
- Professional Liability Insurance policy obtained by the surveyor to be in effect throughout the contract term.

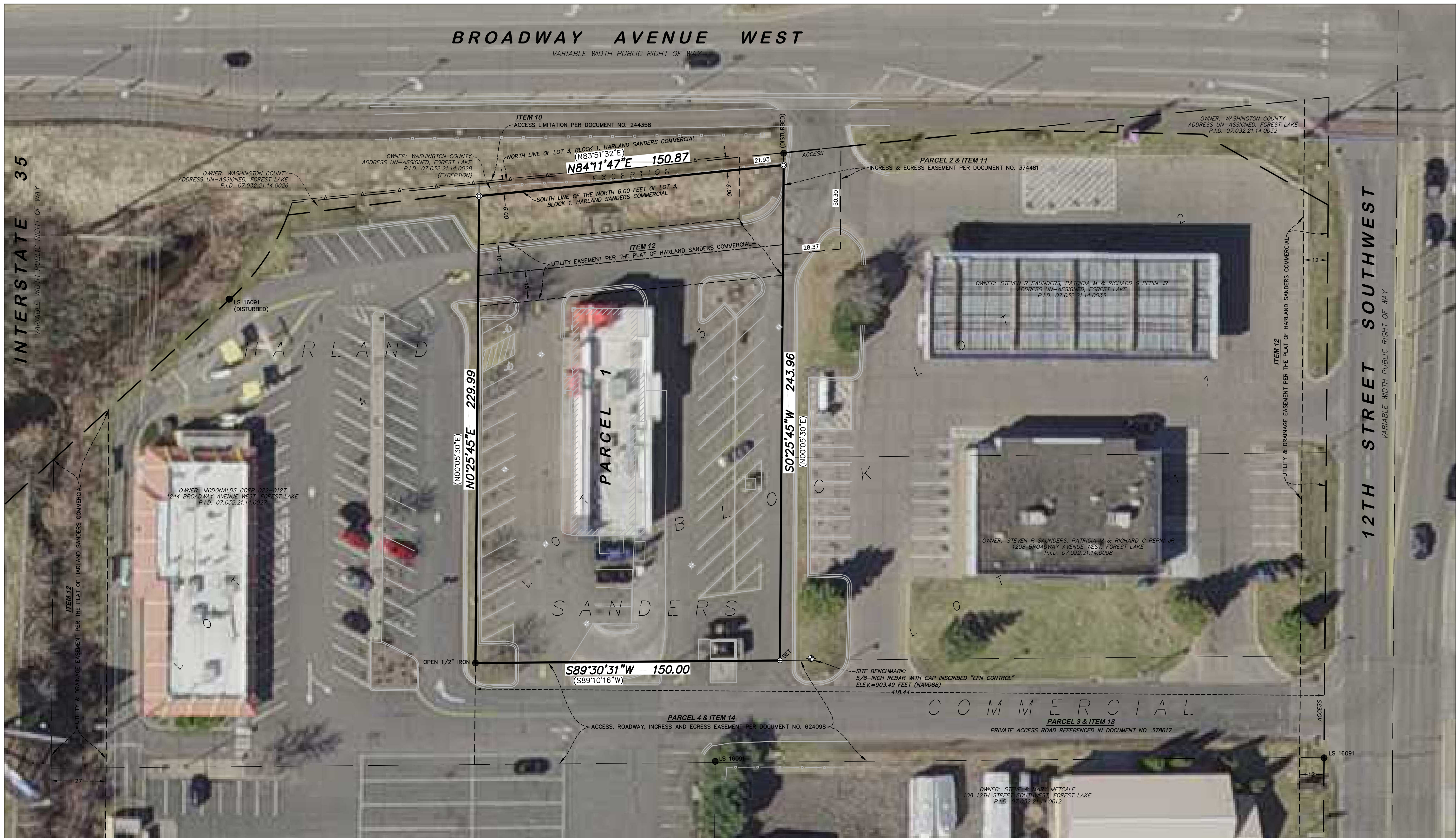
CERTIFICATION:

To Steven R. Saunders and Patricia M. Saunders, and First American Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 12, 13, 14, 16, 17, 18 and 19 of Table A thereof. The fieldwork was completed on October 31, 2023.

Date of Plat or Map: November 10, 2023.

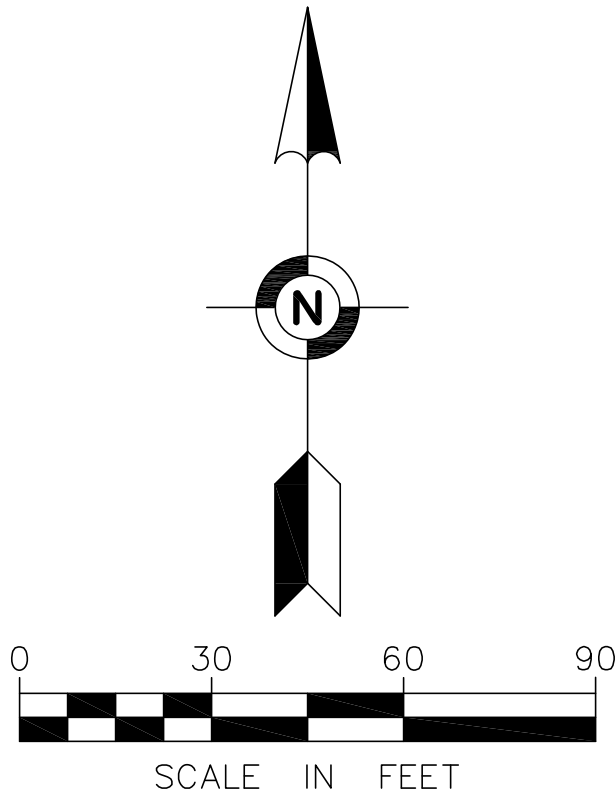
Christopher A. Terwedo
Christopher A. Terwedo
Minnesota License No. 53536
cterwedo@efnsurvey.com



SURVEY ITEMS PER SCHEDULE B:

- ITEM 9: Reservation by the State of Minnesota of minerals and mineral rights, as shown by Special Warranty Deed dated November 2, 1945, recorded May 20, 1946, as Document No. 142150 in Book 150 of Deeds Page 74.
Said document was not provided to Egon, Field & Nowak, Inc.
- ITEM 10: Limitation of access in favor of the State of Minnesota, as set forth and contained in the Warranty Deed dated January 21, 1965, recorded June 3, 1965, as Document No. 244358 in Book 278 of Deeds Page 467.
Said limited access is located within the right of way of Broadway Avenue West and is depicted hereon.
- ITEM 11: Terms, conditions and provisions of Easement dated February 21, 1978, recorded May 10, 1978, as Document No. 374481.
Said easement benefits the surveyed property and is depicted hereon. (See Parcel 2)
- ITEM 12: Easements for access, utility and drainage purposes as shown on the plat of Harland Sanders Commercial, recorded August 9, 1978, as Document No. 378569.
Said easements affect the surveyed property and are depicted hereon.
- ITEM 13: Terms, conditions, covenants, restrictions and provisions, including maintenance costs, as set forth and contained in Restrictive Covenants dated July 28, 1978, recorded August 9, 1978, as Document No. 378617.
Said terms, conditions, covenants, restrictions and provisions affect the surveyed property. The referenced private access road is depicted hereon. (See Parcel 3)
- ITEM 14: Terms, conditions, covenants, restrictions and provisions, including maintenance costs, as contained in Easement Agreement dated December 22, 1989, recorded March 2, 1990, as Document No. 624098.
Said terms, conditions, covenants, restrictions and provisions affect the surveyed property. Said easement benefits the surveyed and is depicted hereon. (See Parcel 4)

● FOUND IRON MONUMENT
○ SET IRON MONUMENT MARKED WITH LICENSE NUMBER 53536
○ SET PK NAIL
○ (NXX°XX'XX"E) RECORD BEARING



FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		LCH	NO.	DATE	DESCRIPTION
		DRAWN BY:			
		PMD			
DRAWING NAME:		CHECKED BY:			
.41684 ALTA.dwg		CAT			
JOB NO. 41684					
FILE NO. 6032					

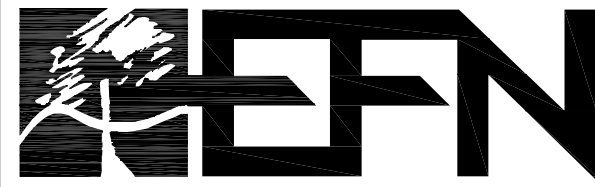
ALTA/NSPS LAND TITLE SURVEY

SURVEY FOR:

Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:

1232 Broadway Avenue West
Forest Lake, Minnesota 55025
Washington County P.I.D. 07.032.21.14.0029



Egan, Field & Nowak, Inc.

land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM

COPYRIGHT © 2023 By EGAN, FIELD & NOWAK, INC.

ALTA/NSPS LAND TITLE SURVEY FOR: Kimley Horn & Associates, Inc.

LEGAL DESCRIPTION:

PARCEL 1 [Abstract Property]: Lot 3, Block 1, Harland Sanders Commercial, Washington County, Minnesota, less and except the North 6.00 feet of said Lot 3.

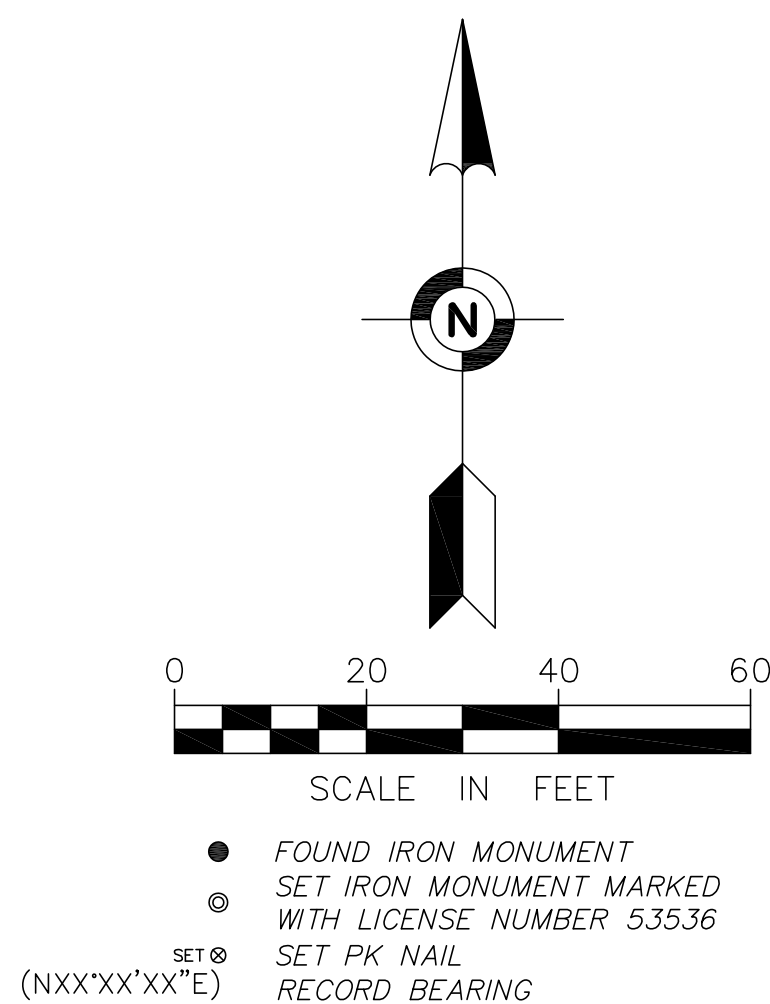
PARCEL 2: Non-exclusive appurtenant easement for ingress and egress purposes as contained in Easement recorded as Document No. 374481 in the Office of the County Recorder, Washington County, Minnesota.

PARCEL 3: Non-exclusive private roadway easement as contained in Restrictive Covenants recorded as Document No. 378617 in the Office of the County Recorder, Washington County, Minnesota.

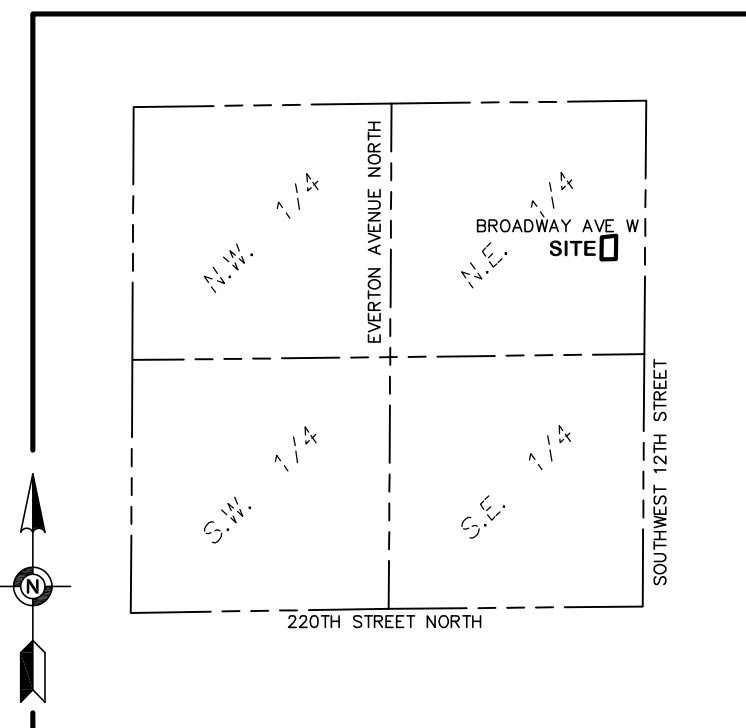
PARCEL 4: Non-exclusive access, roadway, ingress and egress easement as contained in Easement Agreement recorded as Document No. 624098, in the Office of the County Recorder, Washington County, Minnesota.

LEGEND:

<ul style="list-style-type: none"> ○ SANITARY MANHOLE ○ CLEAN OUT ○ CATCH BASIN ○ GATE VALVE ○ HYDRANT ○ GAS METER □ ELECTRIC BOX □ ELECTRIC METER □ HANDHOLE □ LIGHT □ COMMUNICATION BOX □ MAILBOX □ FLAGPOLE • BOLLARD ♿ HANDICAPPED PARKING SPACE ♿ HANDICAPPED PARKING SIGN — SIGN (15) PARKING COUNT • BENCHMARK • BORING 	<ul style="list-style-type: none"> — LIMITED ACCESS — CHAIN LINK FENCE — SANITARY SEWER — WATERMAIN — UNDERGROUND ELECTRIC — UNDERGROUND TELECOMMUNICATION — 920 EXISTING CONTOUR LINE ○ OR ★ TREE ■ BITUMINOUS SURFACE ■ CONCRETE SURFACE ■ LANDSCAPE AREA
--	--



SECTION 7, T 32 N, R 21 W



VICINITY MAP
NO SCALE

GOPHER STATE ONE CALL NOTE:

List of utilities notified per Gopher State One Call Ticket No. 232911441.

CITY OF FOREST LAKE
CENTURYLINK - CTLL
MIDCONTINENT COMMUNICATIONS
MNDOT

WASHINGTON CO TPD
XCEL ENERGY
ZAYO BANDWIDTH

FIELD BOOK	PAGE	FIELDWORK CHIEF:	REVISIONS		
		LCH	NO.	DATE	DESCRIPTION
		DRAWN BY:			
		PMD			
		CHECKED BY:			
		CAT			
DRAWING NAME: 41684 ALTA.dwg					
JOB NO. 41684					
FILE NO. 6032					

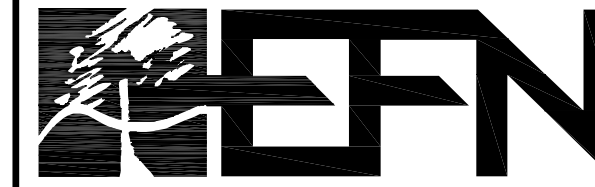
ALTA/NSPS LAND TITLE SURVEY

SURVEY FOR:

Kimley Horn & Associates, Inc.

PROPERTY ADDRESS:

1232 West Broadway Avenue
Forest Lake, Minnesota 55025
Washington County P.I.D. 07.032.21.14.0029



Egan, Field & Nowak, Inc.

land surveyors since 1872

475 Old Highway 8 NW, Suite 200
New Brighton, Minnesota 55112
PHONE: (612) 466-3300
WWW.EFNSURVEY.COM

COPYRIGHT © 2023 By EGAN, FIELD & NOWAK, INC.

FOREST LAKE, WASHINGTON COUNTY, MN

[illegible]

VARIABLE WIDTH PUBLIC RIGHT OF WAY



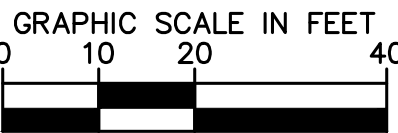
- | | |
|--|--------------------------------|
| | PROPERTY LINE |
| | REMOVE BITUMINOUS SURFACE |
| | REMOVE CONCRETE SURFACE |
| | REMOVE BUILDING |
| | CLEARING & GRUBBING |
| | FULL DEPTH SAWCUT |
| | REMOVE TREE |
| | REMOVE CONCRETE CURB & GUTTER |
| | REMOVE UTILITY LINES |
| | FILL & ABANDON UTILITY LINES |
| | LIMITS OF CONSTRUCTION |
| | EXISTING OVERHEAD POWER LINE |
| | EXISTING CHAINLINK FENCE |
| | EXISTING J-BARRIER |
| | EXISTING RETAINING WALL |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM SEWER |
| | EXISTING WATERMAIN |
| | EXISTING GAS MAIN |
| | EXISTING UNDERGROUND TELEPHONE |
| | EXISTING UNDERGROUND CABLE |
| | EXISTING CONTOUR |
| | EXISTING CURB & GUTTER |
| | EXISTING SIGN |
| | EXISTING FLARED END SECTION |
| | EXISTING STORM MANHOLE |
| | EXISTING STORM CATCHBASIN |
| | EXISTING GAS METER |
| | EXISTING POST INDICATOR VALVE |
| | EXISTING WELL |
| | EXISTING AUTOMATIC SPRINKLER |
| | EXISTING ROOF DRAIN |
| | EXISTING GATE VALVE |
| | EXISTING HYDRANT |
| | EXISTING METAL COVER |
| | EXISTING ELECTRICAL METER |
| | EXISTING AIR CONDITIONER |
| | EXISTING TELEPHONE MANHOLE |
| | EXISTING CABLE BOX |
| | EXISTING GUY WIRE |
| | EXISTING POWER POLE |
| | EXISTING LIGHT POLE |
| | EXISTING TREE |
| | EXISTING TREE LINE |
| | ROCK ENTRANCE |
| | INLET PROTECTION |
| | SILT FENCE |
| | BIOROLL |
| | TREE PROTECTION FENCE |

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PAIDS, WALLS, FLUMES, FOUNDATIONS, PAVING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION AND DISPOSAL FROM THE APPROPRIATE LOCAL AND STATE AGENCIES. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS FOR DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE, INCLUDING THE TYPE OF DEBRIS AND LOCATION WHERE IT WAS DISPOSED.
3. THE CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES WILL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING THE PORTAL OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES TO PROVIDE LOCATIONS OF EXISTING UTILITIES WITHIN PROPOSED WORK AREA.
6. EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD PLAN DATA AND/OR FIELD UTILITY MARKINGS AND ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION. ADDITIONAL UNMARKED OBSTACLES MAY EXIST ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AGAINST ANY ANTICIPATED UNDERGROUND FEATURES. GIVE NOTICE TO AFFECTED UTILITY COMPANIES REGARDING REMOVAL OF SERVICE LINES AND CAP ANY ABANDONED LINES BEFORE PRECEDING WITH THE PROPOSED WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CITY CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH THE CITY, COUNTY, AND STATE DOT AS NECESSARY.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ADJACENT PROPERTY OWNERS IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO THE START OF DEMOLITION, INSTALL EROSION CONTROL BMP'S IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLANS / SWPPP.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT OR CURB, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE CITY WATER AND FIRE DEPARTMENTS TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND SURROUNDING PROPERTIES THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFF'S WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH STATE REQUIREMENTS.
14. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
15. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE. ACTIVE DRAINILE SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.
16. IF CONTAMINATED MATERIAL IS ENCOUNTERED ON THE PROJECT SITE, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY.


1. INSTALL PERIMETER EROSION CONTROL (I.E. SILT FENCE) AND INLET PROTECTION AT EXISTING STORMWATER INLETS.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT
3. PREPARE TEMPORARY PARKING AND STORAGE AREA.
4. CONSTRUCT AND STABILIZE DIVERSIONS AND TEMPORARY SEDIMENT BASINS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN MASS SITE GRADING AND ROUGH GRADE SITE SUFFICIENTLY TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED AND MOW THE CONSTRUCTION DISTURBED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE OR AS REQUIRED BY THE NPDES AND/OR CITY GRADING PERMIT(S).

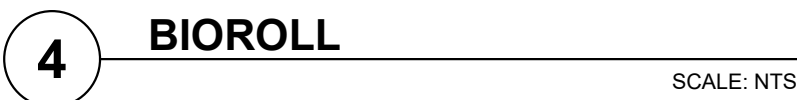
NOTE: THE SEQUENCE OF CONSTRUCTION IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCING IS NECESSARY.

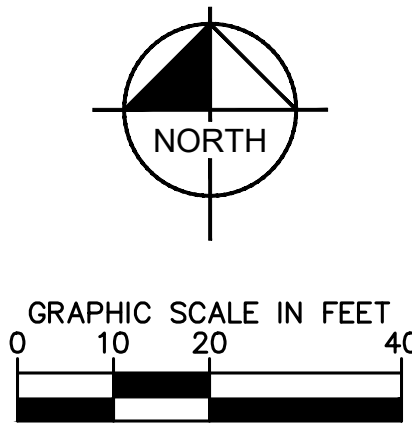
PHASE 1 BMP QUANTITIES	
INLET PROTECTION	1 EA
ROCK CONSTRUCTION ENTRANCE	1 EA
BIO ROLL	±215 LF
SILT FENCE	±485 LF
EROSION CONTROL BLANKET	±1,850 SF



Know what's **below**.
Call before you dig.

CHASE BANK-FOREST LAKE		MINN	
PREPARED FOR THE ARCHITECTS PARTNERSHIP FOREST LAKE			
SHEET NUMBER C200			
SITE DEMOLITION & EROSION CONTROL PLAN			
KHA PROJECT 160094047		SCALE AS SHOWN	
DATE 01/29/2024		DESIGNED BY BSK	
		DRAWN BY BSK	
		CHECKED BY MTL	
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.			
		BRIAN M. WURDEIMAN	
DATE: 02/20/2024		LIC. NO. 53113	
Mn		BSK	
1995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344		PHONE: 661-1445-1197	
2024 KIMLEY-HORN AND ASSOCIATES, INC.		WWW.KIMLEY-HORN.COM	
Kimley»Horn			
		No.	
		IFP / IFB SET	
		DATE	
		BY	
		REVISIONS	
		02/20/2024	
		BSK	





BUILDING DATA	
TOTAL BUILDING AREA	3,432 SF
PERCENT OF TOTAL PROPERTY AREA	10.36%
PARKING SUMMARY	
REQUIRED PARKING	18 SPACES @ 1/200 SF
TOTAL PROPOSED PARKING	28 SPACES
REQUIRED ACCESSIBLE PARKING	1 STANDARD SPACE
PROPOSED ACCESSIBLE PARKING	2 STANDARD SPACES

KEYNOTE LEGEND

(A)	CONCRETE SIDEWALK
(B)	6" CONCRETE FILLED PIPE BOLLARD
(C)	MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
(D)	ACCESSIBLE CURB RAMP
(E)	ACCESSIBLE PARKING SIGN, SIGN AND POST FURNISHED BY CHASE SIGN VENDOR. BOLLARD AND CONCRETE FOUNDATION PROVIDED BY GC
(F)	ACCESSIBLE PARKING SYMBOL
(G)	AREA STRIPED WITH 4" SYSL @ 45° 2' O.C.
(H)	"NO PARKING" SIGN
(I)	LANDSCAPE AREA - SEE LANDSCAPE PLANS
(J)	CONCRETE WHEEL STOP, SEE DETAIL
(K)	SITE DIRECTIONAL SIGN (SEE ARCH PLANS FOR DETAILS)
(L)	6" CURB AND GUTTER (TYP.), SEE DETAIL
(M)	TRANSITION CURB
(N)	FLUSH CURB
(O)	LIGHT POLE (SEE ARCH SITE PLAN FOR DETAILS)
(P)	4" WIDE PAINTED SOLID LINE, TYP.
(Q)	TRAFFIC FLOW PAVEMENT MARKINGS, TYP. (SEE DETAILS)
(R)	EXISTING TRANSFORMER, CONCRETE PAD, & BOLLARDS (SEE MEP PLANS FOR DETAILS). COORDINATE WITH GC AND UTILITY PROVIDER TO CONFIRM TRANSFORMER MEETS SPECIFICATIONS
(S)	TRASH ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
(T)	BIKE RACK WITH ASSOCIATED CONCRETE PAD FLATWORK (SEE ARCH PLANS)
(U)	ACCESSIBLE CROSSWALK
(V)	PYLON SIGN (SEE ARCH PLANS FOR DETAILS)
(W)	"DO NOT ENTER" SIGN
(X)	CLEARANCE BAR (SEE ARCH PLANS FOR DETAILS)
(Y)	HEAVY DUTY CONCRETE PAD
(Z)	TRUNCATED DOMES, SEE DETAIL

- 


ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST

**LAKE
PREPARED FOR
THE ARCHITECTS
PARTNERSHIP**

SHEET NUMBER
C300

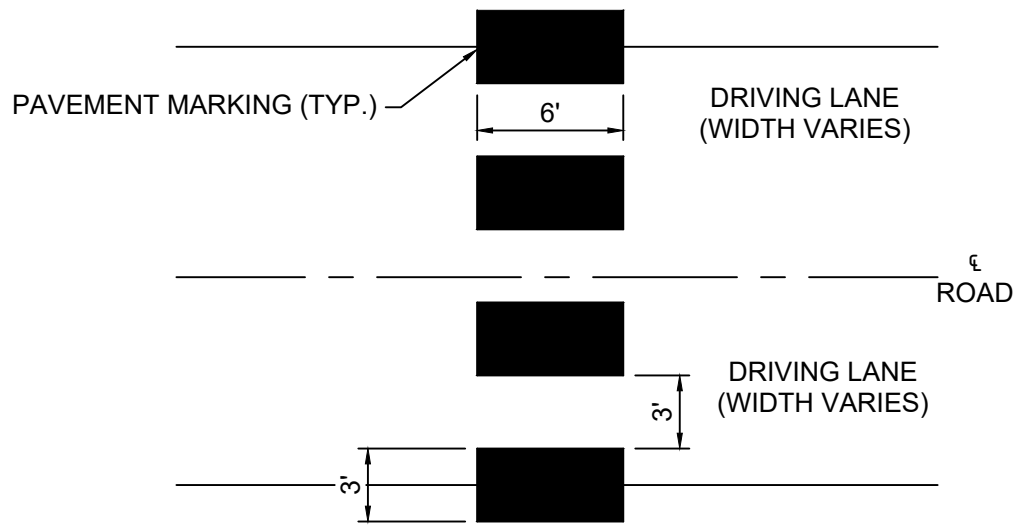
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS PREPARED BY
ME OR UNDER MY DIRECT SUPERVISION AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
MINNESOTA.


BRIAN M. WURDEMAN
MN

Kimley»Horn

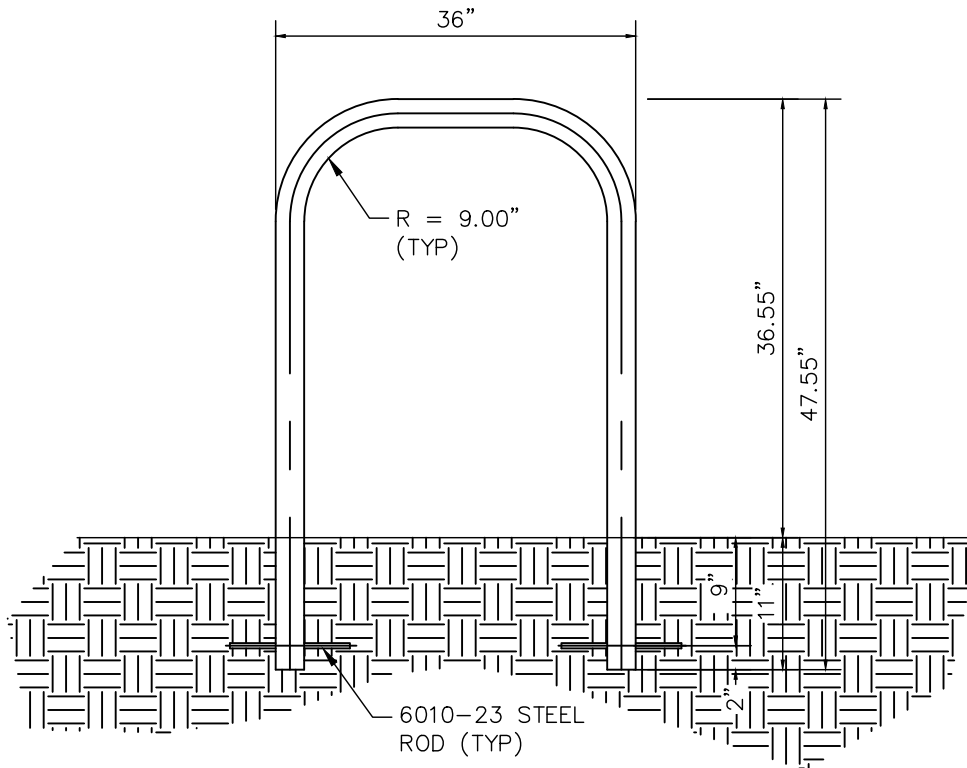
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-645-4197
WWW.KIMLEY-HORN.COM

[illegible]



- NOTE:
1. TAPED AREAS TO BE CENTERED AND ALIGNED ON CENTER LINE AND LANE LINES. MAKE ADJUSTMENTS IN CENTER MEDIAN AREA.
 2. ZEBRA CROSSWALKS SHALL BE WHITE POLYMER-PREFORMED TAPE OR AN ACCEPTABLE EQUIVALENT APPROVED BY THE ENGINEER.
 3. A MINIMUM OF 1.5 FT. CLEAR DISTANCE MUST BE LEFT ADJACENT TO CURB. IF LAST STRIPED AREA FALLS INTO THIS DISTANCE, IT MUST BE OMITTED.
 4. REMOVE ALL CONFLICTING PAVEMENT MARKINGS AS DIRECTED BY THE ENGINEER.
 5. AT SKEWED CROSSWALKS, THE TAPED AREAS ARE TO REMAIN PARALLEL TO THE LANE LINES.
 6. WHERE PAVEMENT MARKINGS CAN NOT BE INLAYED INTO THE HOT MAT, PAVEMENT SHALL BE GROOVED FOR THE INSTALLATION OF THE POLYMER-PREFORMED MARKINGS. SEE Mn/DOT STANDARD SPECIFICATION 2564.

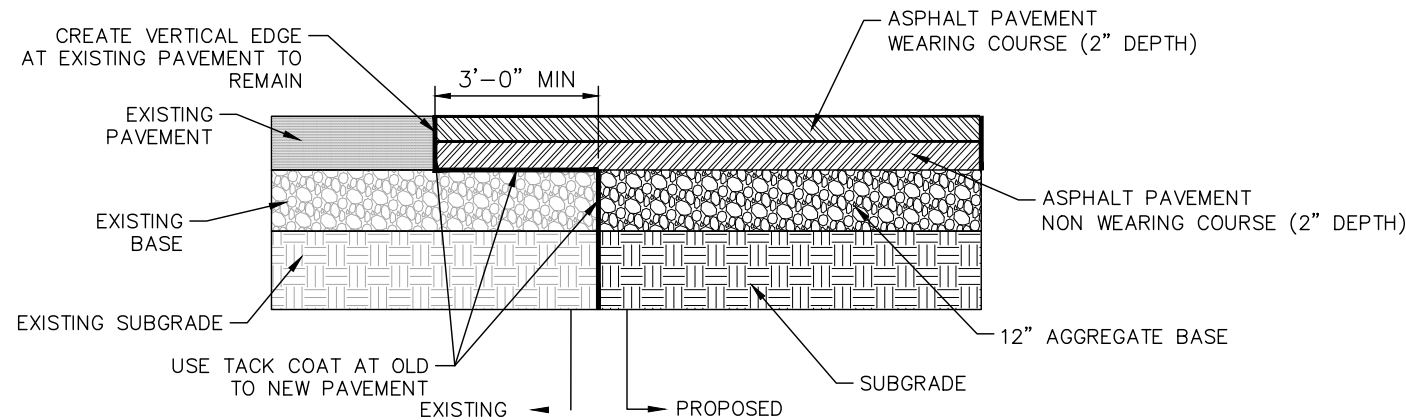
1 CROSSWALK STRIPING
NO SCALE



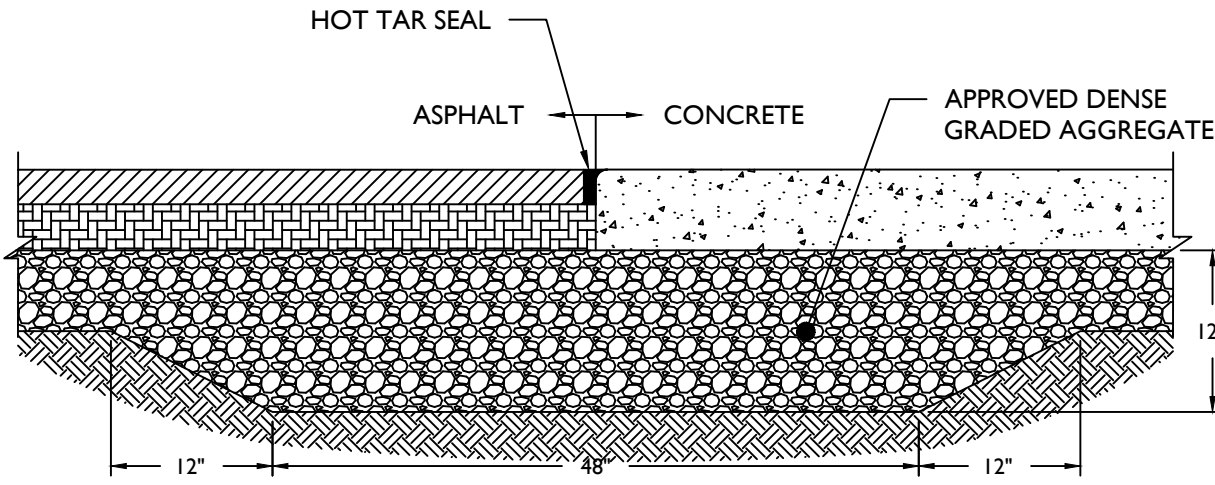
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. FINISH IS ELECTROPLATED IN CHROMATE
 3. COLOR TO BE STANDARD BLACK

BIKE RACK
N.T.S.

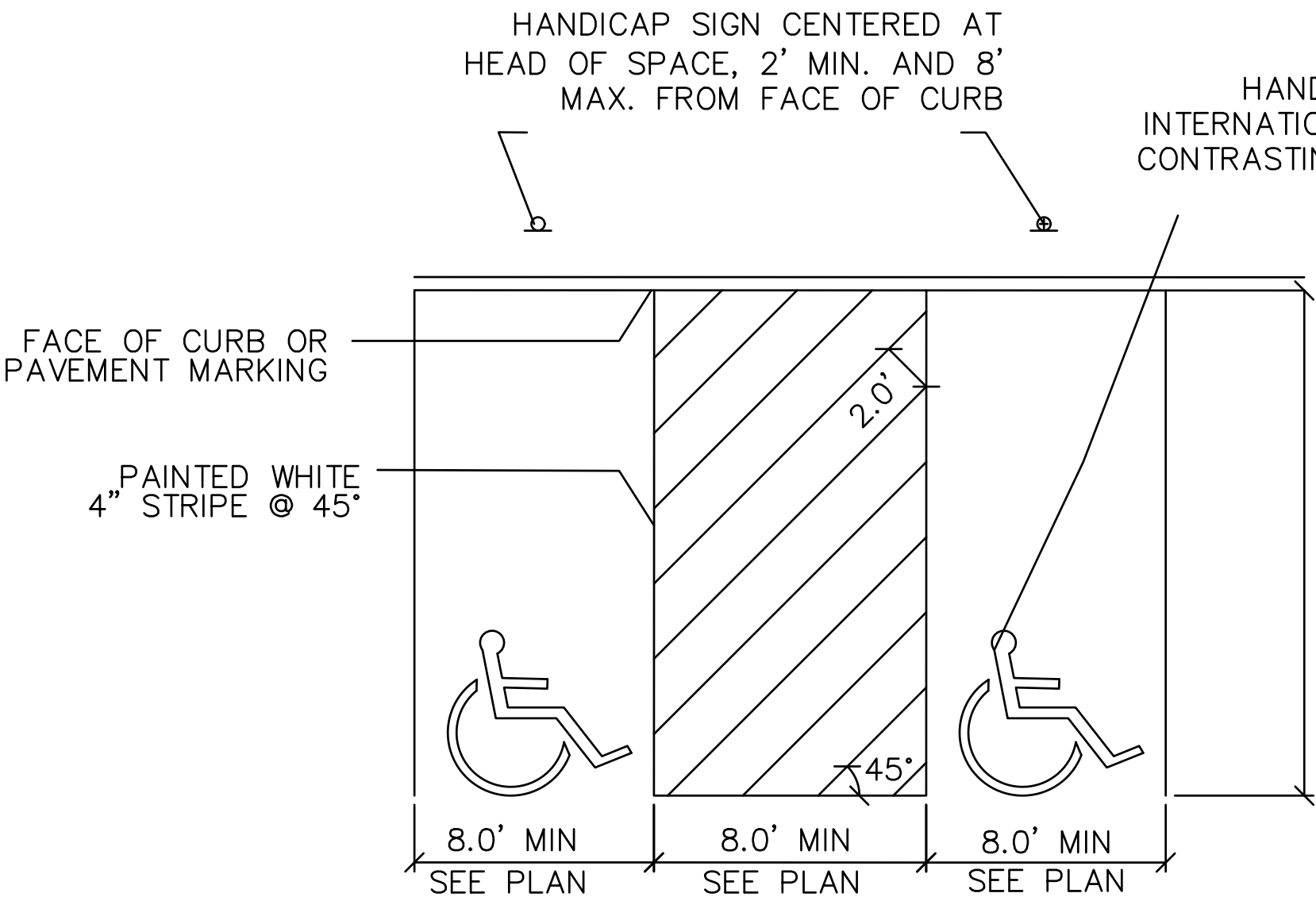
2 BIKE RACK
SCALE: NTS



3 ASPHALT TO ASPHALT TRANSITION
SCALE: NTS

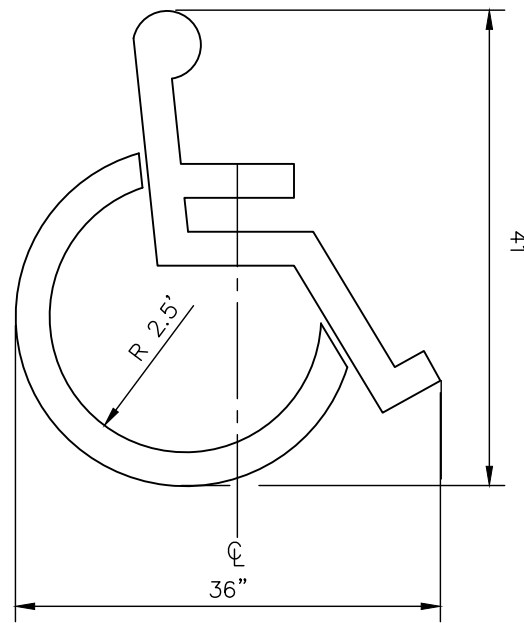


4 CONCRETE TO ASPHALT TRANSITION
SCALE: NTS



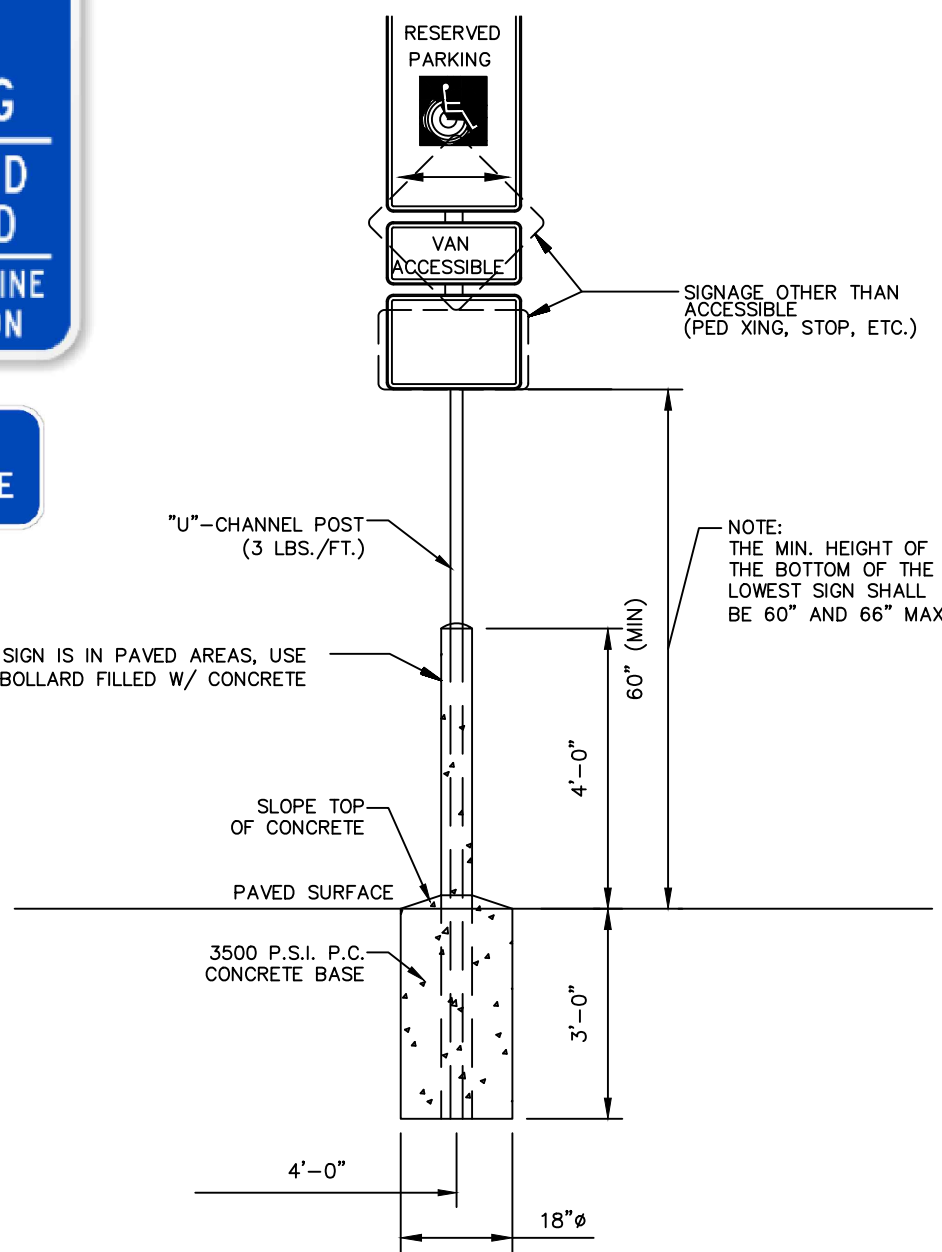
ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE

5 ADA PARKING STALL LAYOUT
SCALE: NTS



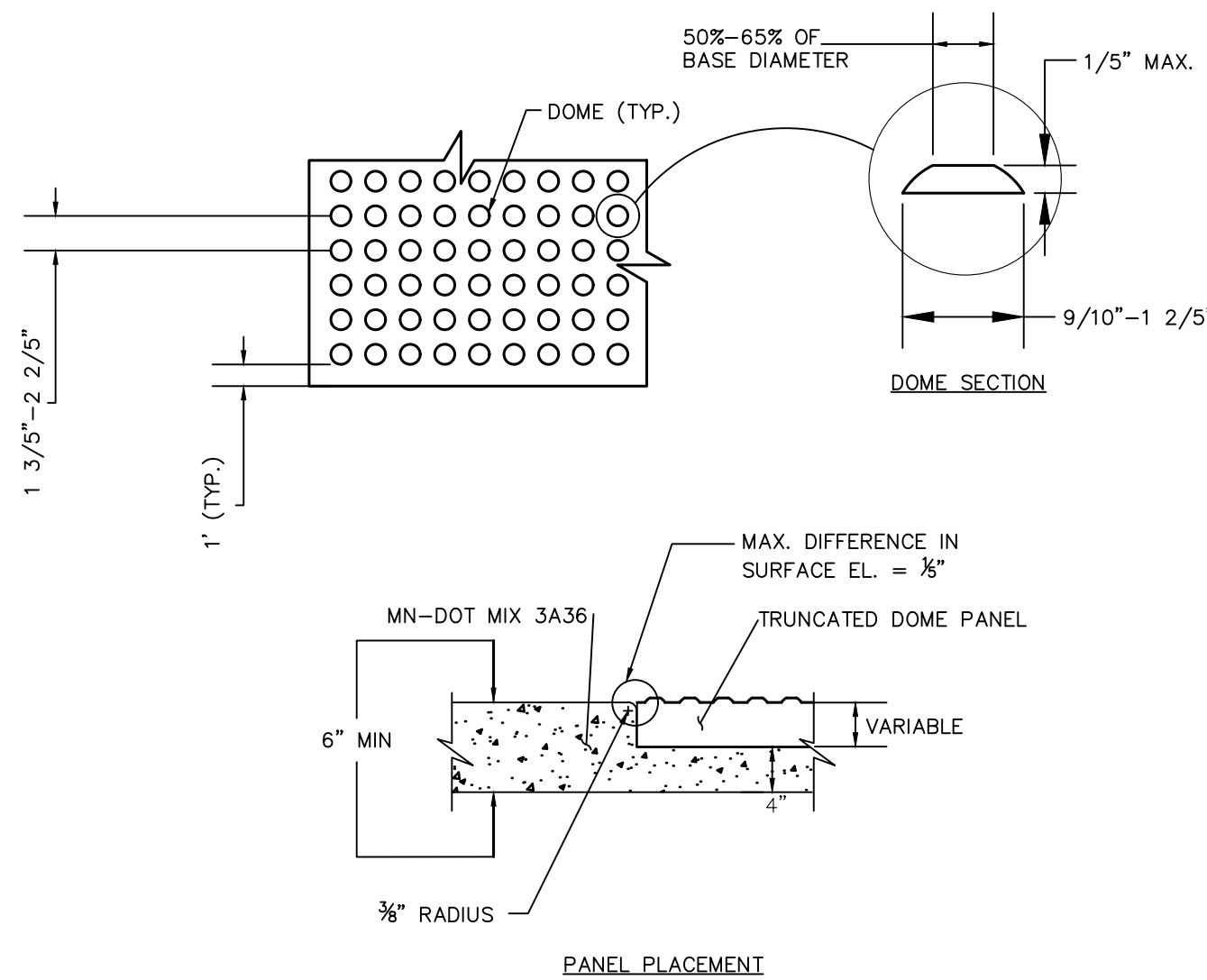
ACCESSIBLE PARKING SYMBOL
N.T.S.

6 ADA PARKING SYMBOL
SCALE: NTS



ADA PARKING SIGNAGE DETAIL

7 ADA SIGNAGE
SCALE: NTS



8 TRUNCATED DOMES
SCALE: NTS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST LAKE

PREPARED FOR
THE ARCHITECTS
PARTNERSHIP

FOREST LAKE MN

SITE DETAILS

KHA PROJECT
160094047
DATE
01/29/2024
SCALE
AS SHOWN
DESIGNED BY
BSK
DRAWN BY
BSK
CHECKED BY
MTL

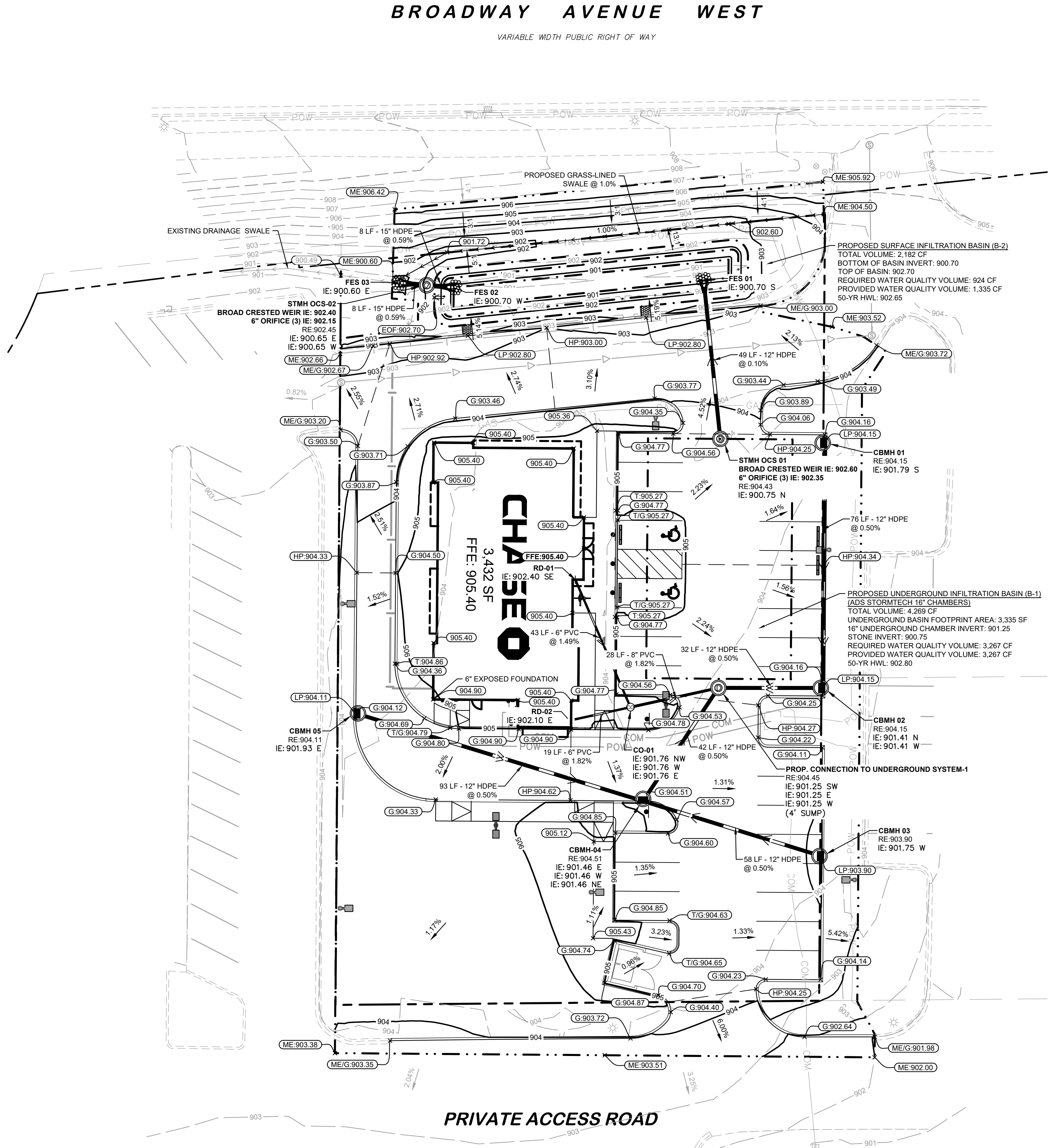
LICENSING CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Brian M. Wurdeiman
BRIAN M. WURDEIMAN
DATE
02/20/2024
MINN.
LIC. NO.
53113

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
11895 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-445-4187
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1	IFP/IFB SET	02/20/2024	BSK



INFILTRATION BMP NOTES

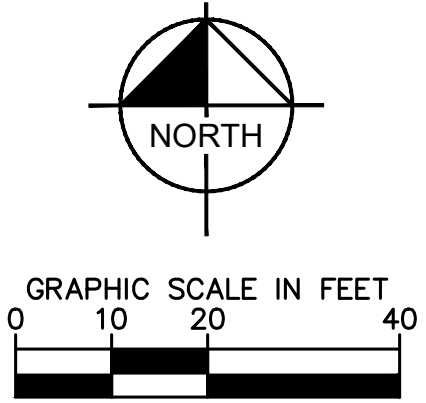
1. TO THE EXTENT PRACTICABLE, LIMIT USE OF HEAVY CONSTRUCTION EQUIPMENT WITHIN THE BOUNDARIES OF THE PROPOSED INFILTRATION BMP. UTILIZE AN EXCAVATOR WITH A TOOTHED BUCKET TO AVOID COMPACTING OR SMEARING OF SOILS.
2. AFTER INITIAL EXCAVATION AND ROUGH GRADING, PROVIDE A MINIMUM OF TWO (2) DOUBLE RING INFILTRATION TESTS WITHIN THE INFILTRATION AREA AT THE ELEVATION OF THE BASIN BOTTOM. PROVIDE THE RESULTS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO COMPLETING INSTALLATION OF THE BASIN OR UNDERGROUND SYSTEM.
3. IF CLAY SOILS ARE ENCOUNTERED, OVER-EXCAVATE AS NECESSARY TO REACH NATIVE SANDY/SILTY SOIL. BACKFILL THE ADDITIONAL EXCAVATION WITH SUITABLE ENGINEERED FILL MATERIAL.
4. IF NATIVE SUBGRADE SOILS AT THE BOTTOM OF THE PROPOSED INFILTRATION AREA ARE DETERMINED TO NOT BE CONDUCTIVE TO THE DESIGN INFILTRATION REQUIREMENTS, REMOVE AND REPLACE THE POORLY INFILTRATION SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION REQUIREMENTS AS REVIEWED BY THE ENGINEER.
5. FINAL EXCAVATION OF THE INFILTRATION AREA AND INSTALLATION OF ANY ENGINEERED SOIL MUST OCCUR IN DRY CONDITIONS TO PREVENT SMEARING AND COMPACTION.
6. REMOVE ANY EXCESS SOILS THAT ENTER THE INFILTRATION BASIN PRIOR TO FINAL STABILIZATION.
7. UPON COMPLETION OF THE INFILTRATION/FILTRATION SYSTEM INSTALLATION AND FINAL STABILIZATION OF THE TRIBUTARY AREA, PROVIDE DOCUMENTATION THAT THE BMP DRAINS DOWN WITHIN 48 HOURS.

LEGEND

	PROPERTY LINE
	LIMITS OF GRADING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	EXISTING SWALE
	PROPOSED STORMWATER MANAGEMENT AREA
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE (ROUND INLET CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED TOP/BOTTOM OF WALL ELEVATION
	PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

1. PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
2. CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
3. STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 0" - 10" PER AASHTO M-252
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-1785
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
4. CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
5. SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
7. CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
8. GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
9. ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
10. REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
11. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
12. INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
13. UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
14. ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
15. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1:5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
16. MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
17. CONTRACTOR TO PROVIDE 3" INSULATION BY 5" WIDE CENTERED ON STORM PIPE IF LESS THAN 4" OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
18. ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
19. ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
20. MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
21. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



Know what's below.
Call before you dig.

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST LAKE

PREPARED FOR
THE ARCHITECTS
PARTNERSHIP

FOREST LAKE MN

GRADING AND
DRAINAGE PLAN

DESIGNED BY
DRAWN BY
CHECKED BY

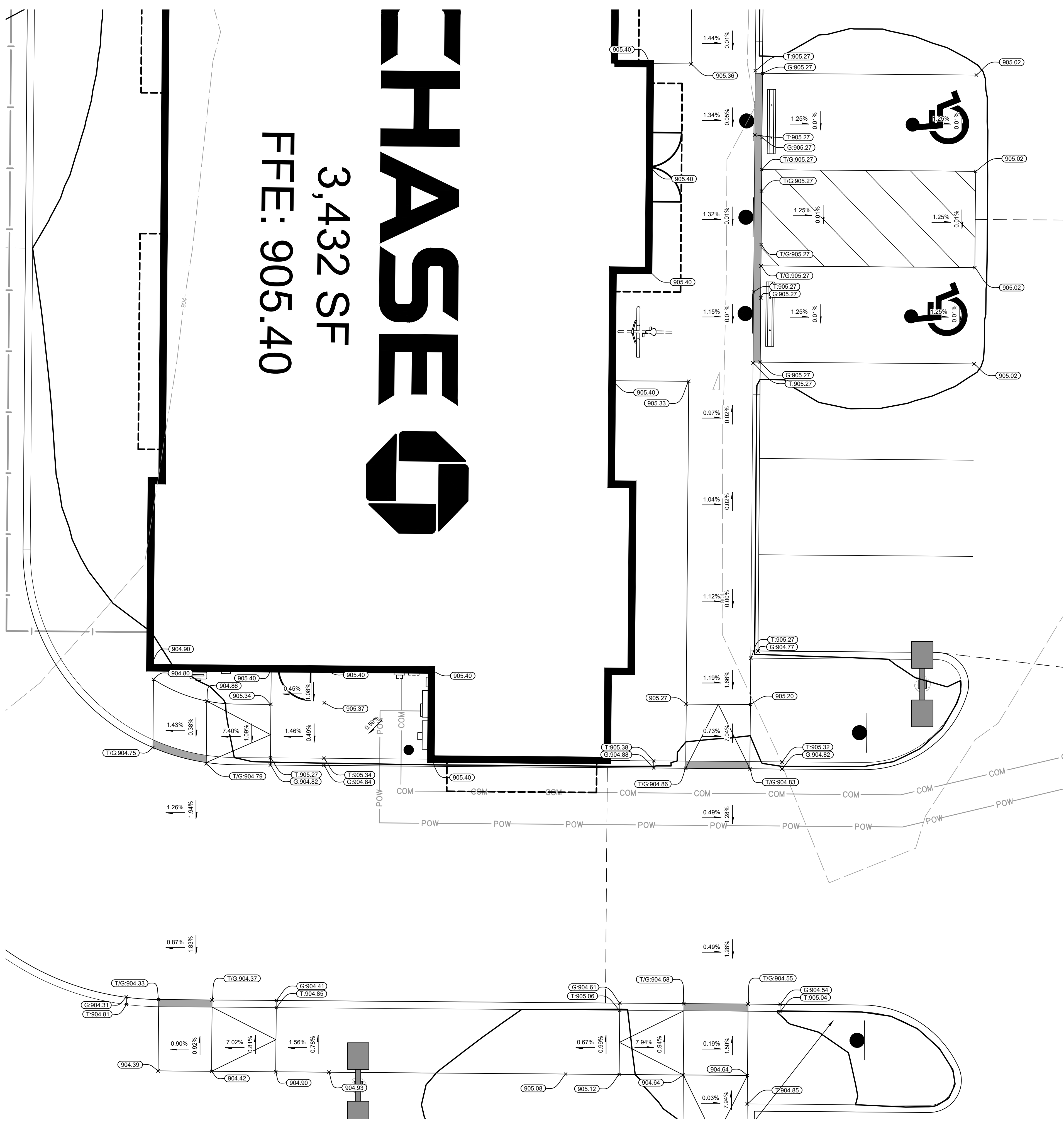
SCALE
DATE
PROJECT

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY
1	IFP/IFB SET	02/20/2024	BSK

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.

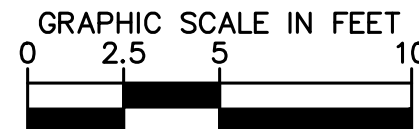


LEGEND

	PROPERTY LINE
	LIMITS OF GRADING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED RIDGE LINE
	EXISTING SWALE
	PROPOSED STORM MANHOLE (SOLID CASTING)
	PROPOSED STORM MANHOLE/ CATCH BASIN (CURB INLET CASTING)
	PROPOSED STORM SEWER CLENOUT
	PROPOSED FLARED END SECTION
	PROPOSED RIPRAP
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERFLOW ELEVATION
	PROPOSED TOP/BOTTOM OF WALL ELEVATION
	PROPOSED DRAINAGE DIRECTION

GRADING PLAN NOTES

- PERFORM GRADING WORK IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- STORM SEWER PIPE SHALL BE AS FOLLOWS:
RCP PER ASTM C-76
HDPE: 0" - 10" PER AASHTO M-252
HDPE: 12" OR GREATER PER ASTM F-2306
PVC SCH. 40 PER ASTM D-1785
STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
RCP PER ASTM C-76, JOINTS PER ASTM C-361, C-990, AND C-443
HDPE PER ASTM 3212
PVC PER ASTM D-3034, JOINTS PER ASTM D-3212
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
- INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
- UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 4" OF TOPSOIL.
- ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATENATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A COMPLIANCE ISSUES.
- MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
- CONTRACTOR TO PROVIDE 3" INSULATION BY 5' WIDE CENTERED ON STORM PIPE IF LESS THAN 4' OF COVER IN PAVEMENT AREAS AND LESS THAN 3' OF COVER IN LANDSCAPE AREAS.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS, 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
- CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST LAKE

PREPARED FOR
THE ARCHITECTS
PARTNERSHIP

FOREST LAKE MN

GRADING
ENLARGEMENT
PLAN

DESIGNED BY
SCALE AS SHOWN
DRAWN BY
CHECKED BY

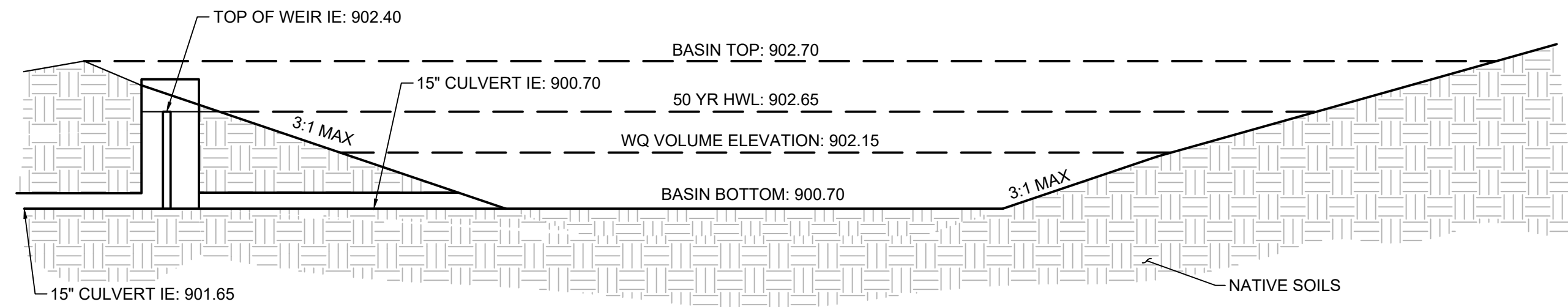
DATE
01/23/2024
DATE
02/20/2024
DATE
02/20/2024
DATE
02/20/2024

Kimley»Horn

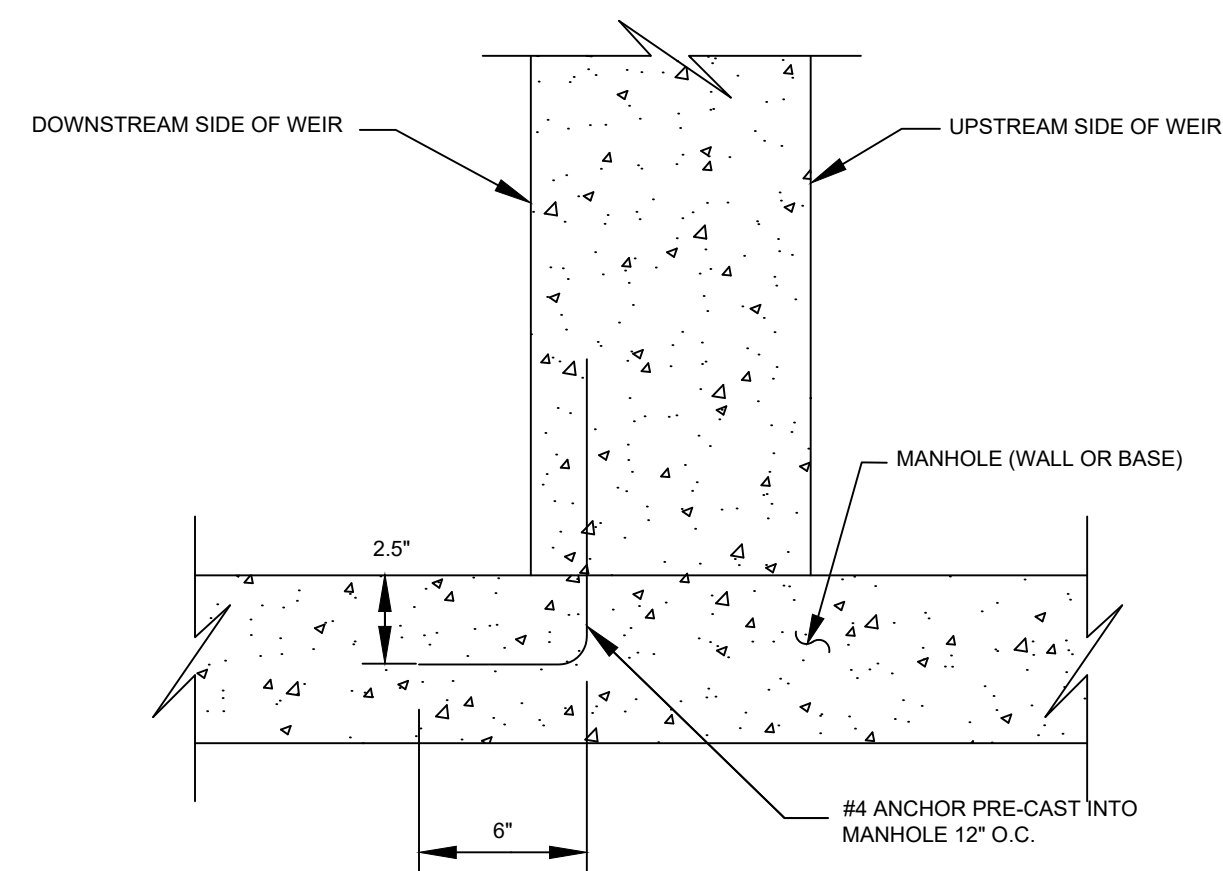
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1895 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

No.	REVISIONS	DATE	BY
1	IFP/IFB SET	02/20/2024	BSK

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.



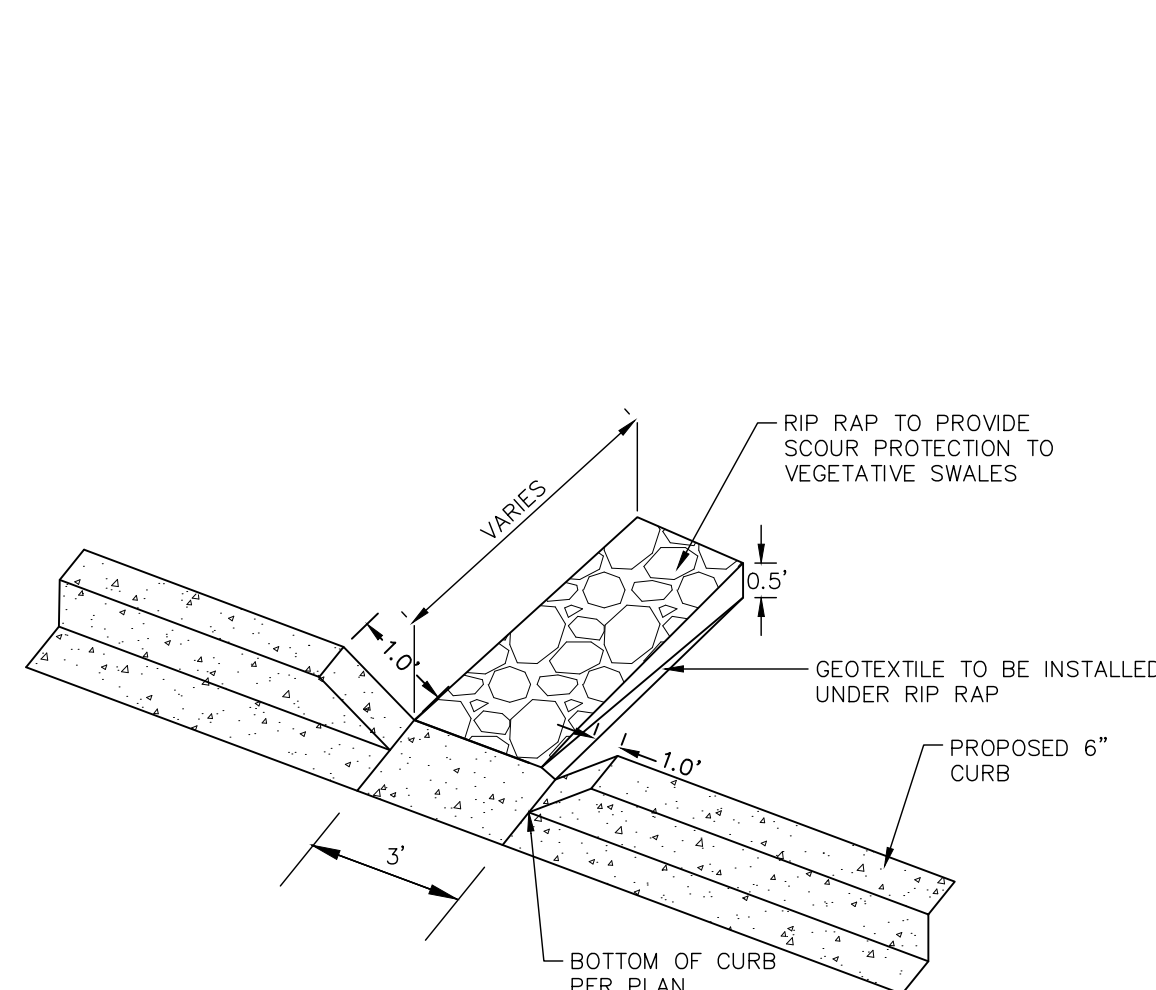
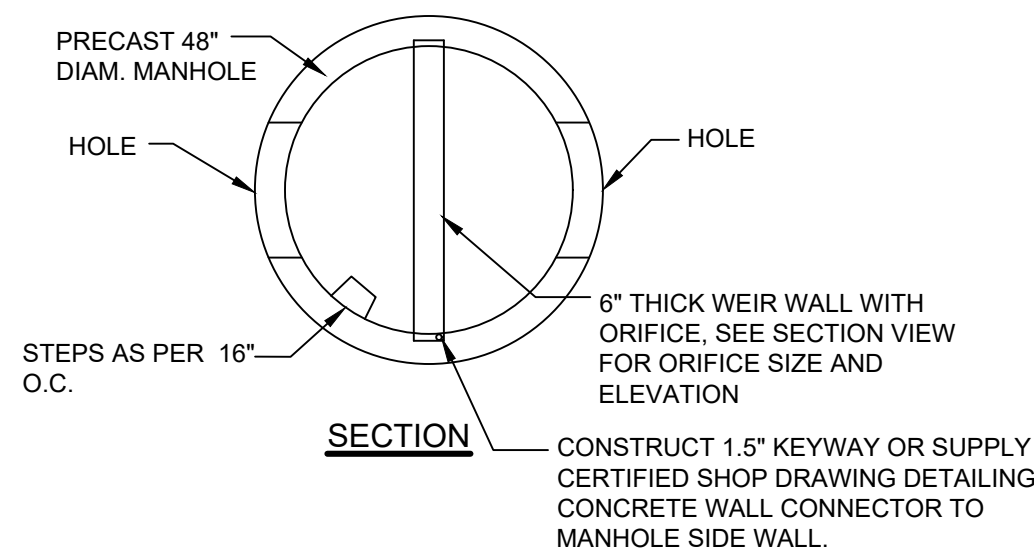
INFILTRATION BASIN TYPICAL
SECTION (B-2)
N.T.S.



NOTES:

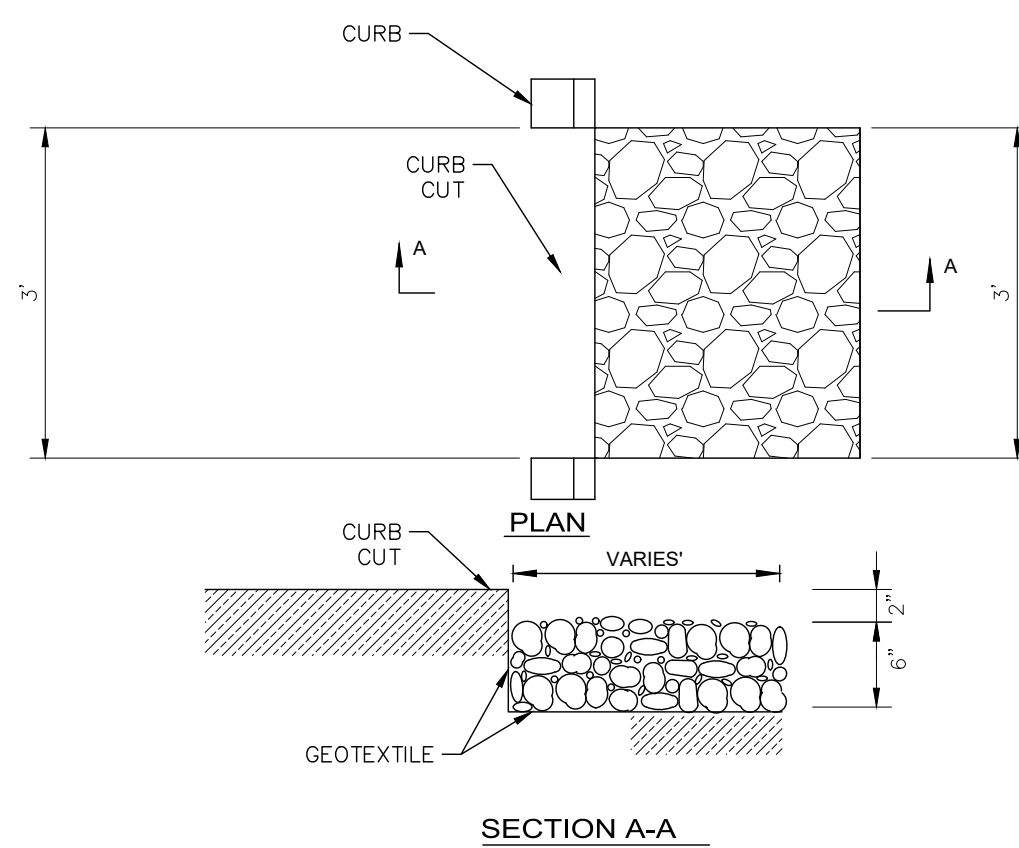
1. THE FOLLOWING MAY BE USED AS AN ALTERNATIVE TO THE PRE-CAST ANCHORS: HVA ADHESIVE ANCHOR SYSTEM, WITH HVA ADHESIVE CAPSULES AND #5 REBAR, AS MANUFACTURED BY HILTI CORP OR APPROVED EQUAL.
2. REINFORCEMENT BARS IN WEIR NOT SHOWN.

WEIR REINFORCEMENT
@ WALL AND BASE



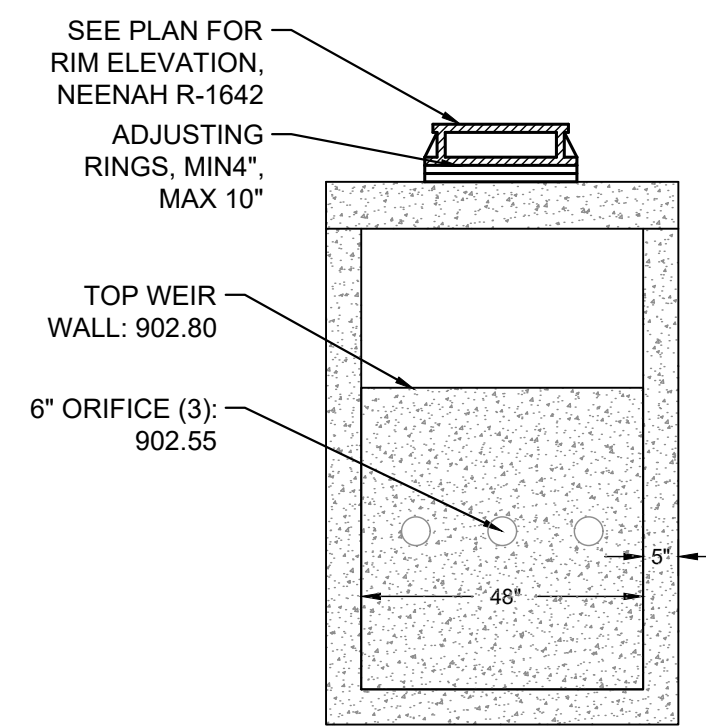
CURB CUT

N.T.S.

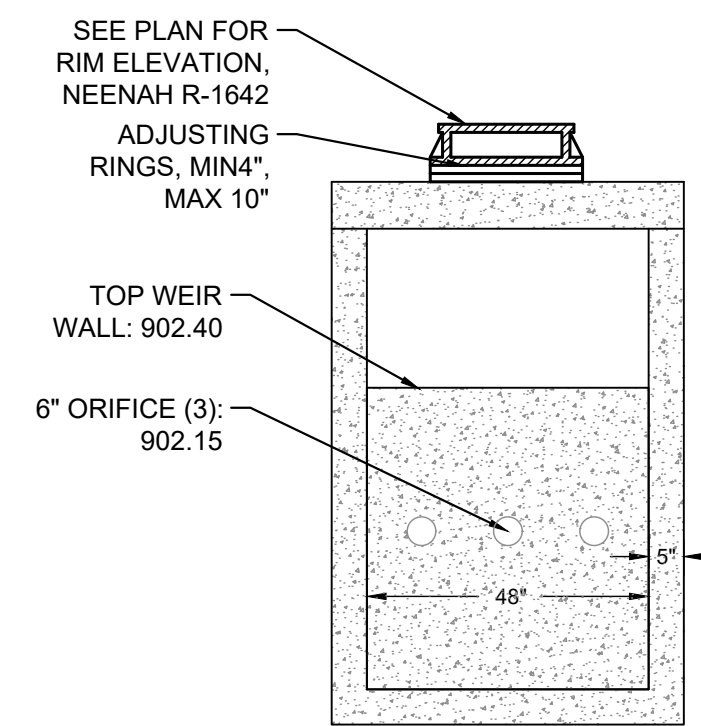


NOTES

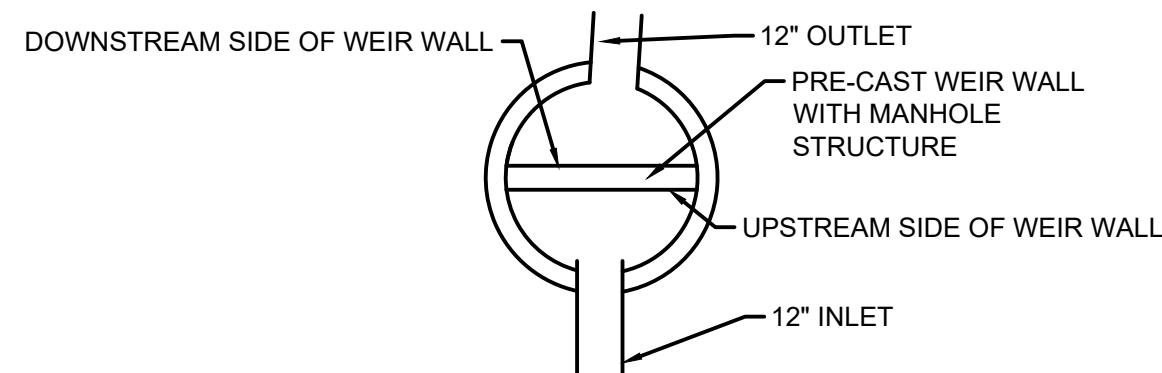
1. THE FILTER FABRIC SHALL MEET THE REQUIREMENTS IN MATERIAL SPECIFICATIONS 592 GEOTEXTILE TABLE 1 OR 2, CLASS I, II, OR III.
2. THE RIPRAP SHALL BE PLACED ACCORDING TO CONSTRUCTION SPECIFICATION 61 LOOSE ROCK RIPRAP. THE ROCK MAY BE EQUIPMENT PLACED.



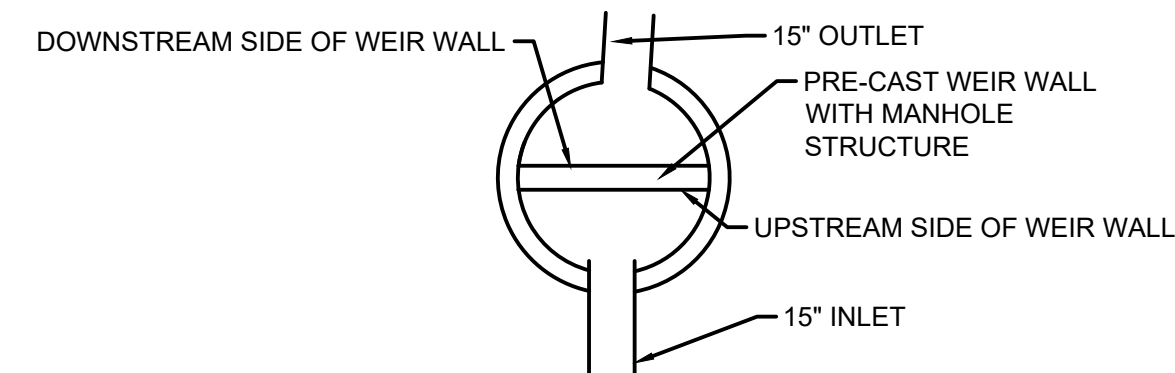
OCS WEIR WALL SECTION (B-1)



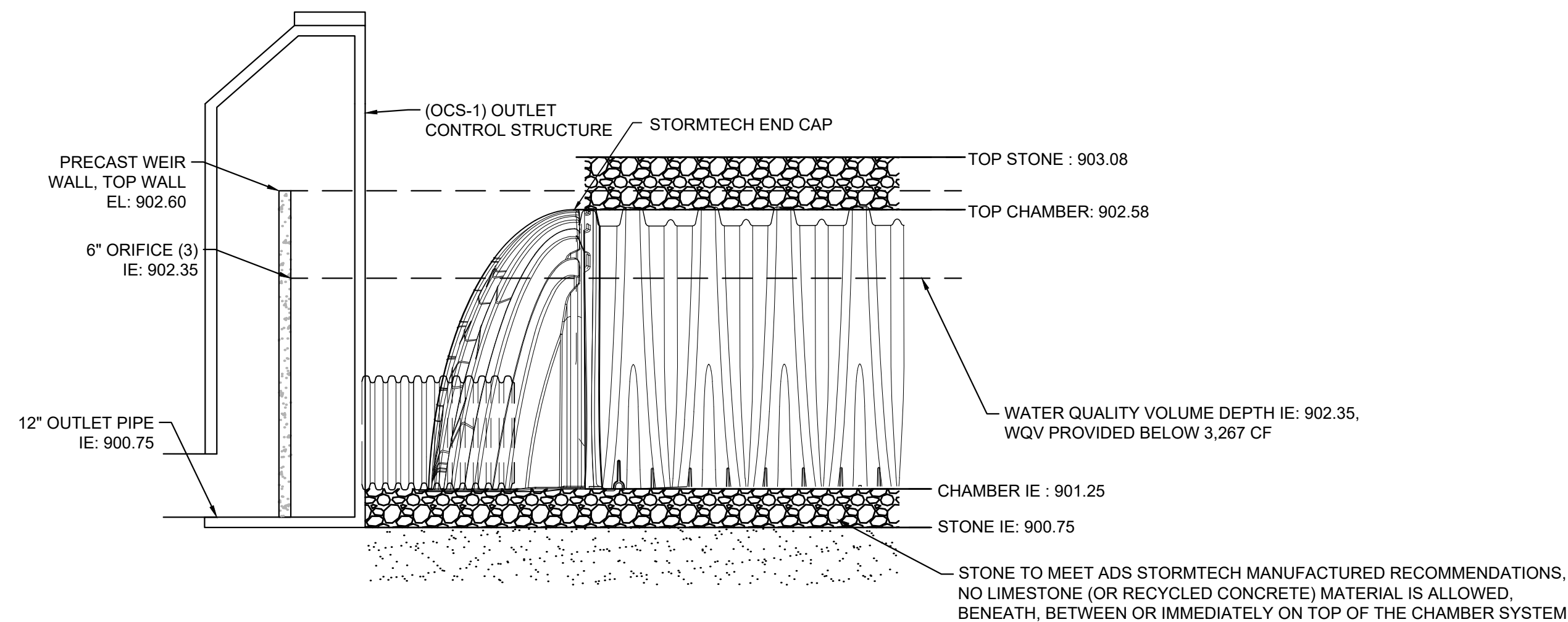
OCS WEIR WALL SECTION (B-2)



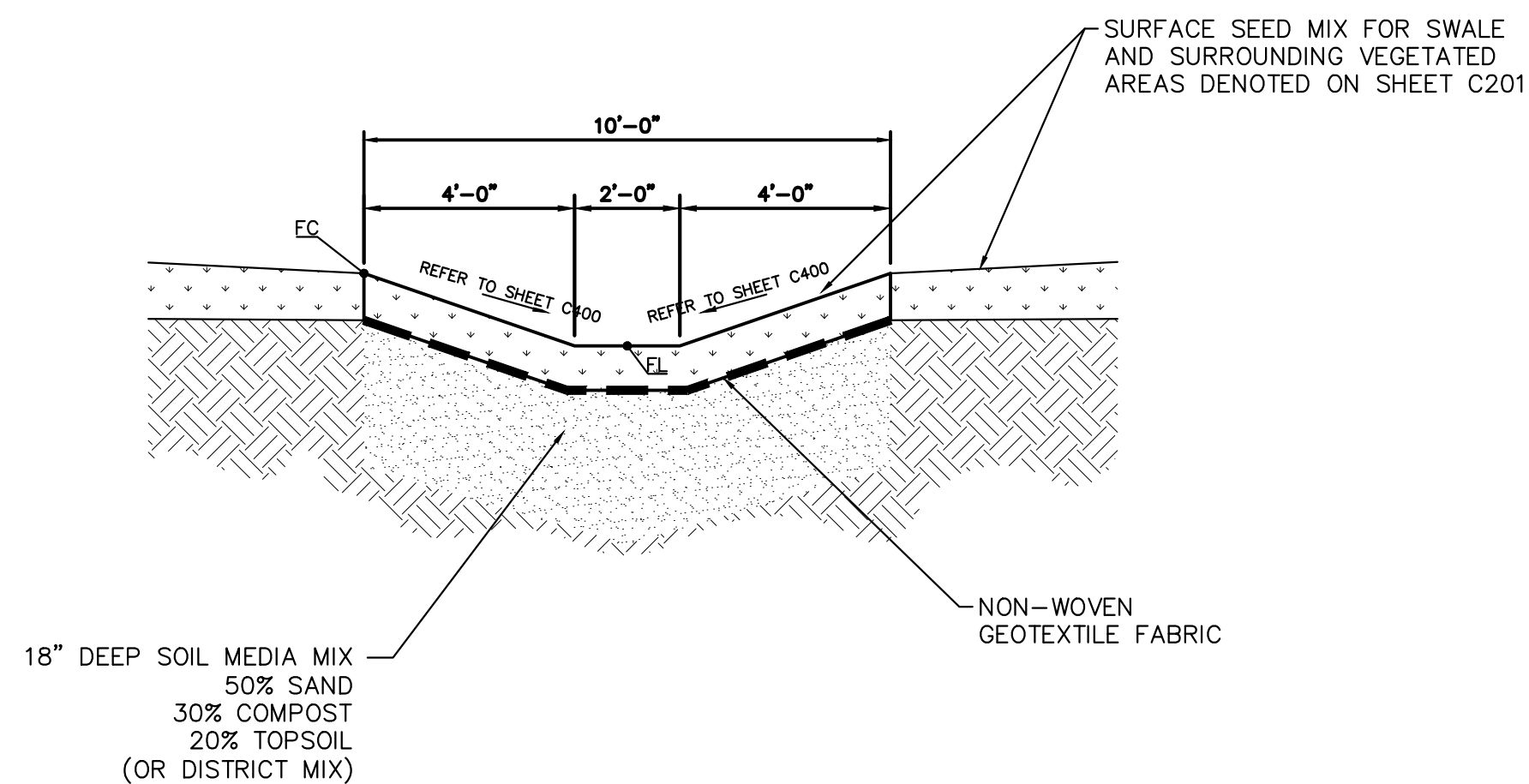
OCS-1 PLAN VIEW



OCS-2 PLAN VIEW



TYPICAL SECTION - ADS STORMTECH SC-310 - INFILTRATION



VEGETATED DRAINAGE SWALE

SCALE: NTS

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST LAKE

PREPARED FOR
**THE ARCHITECTS
PARTNERSHIP**

N

C402

GRADING DETAILS

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

Eric Walker

For Value
BRIAN M. WURDEMAN

DATE: 02/20/2024 MN LIC. NO. 53113

KHA PROJECT
160094047

DATE	01/29/2024
------	------------

AS SHOWN	SALE

DESIGNED BY	BSK
OWN BY	BSK

Checked by	MTL
------------	-----

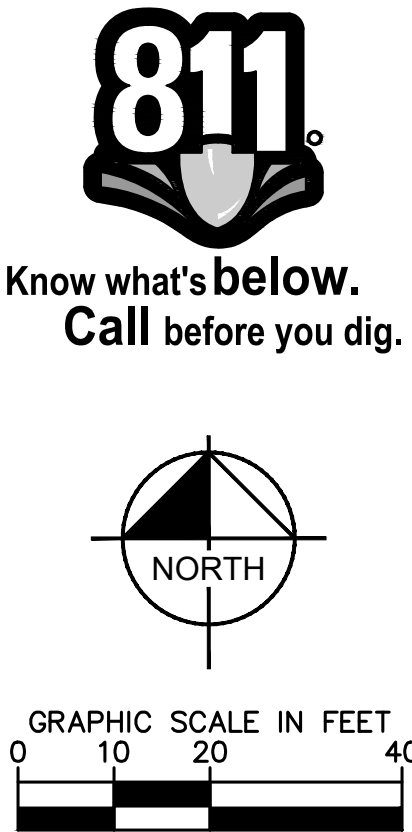
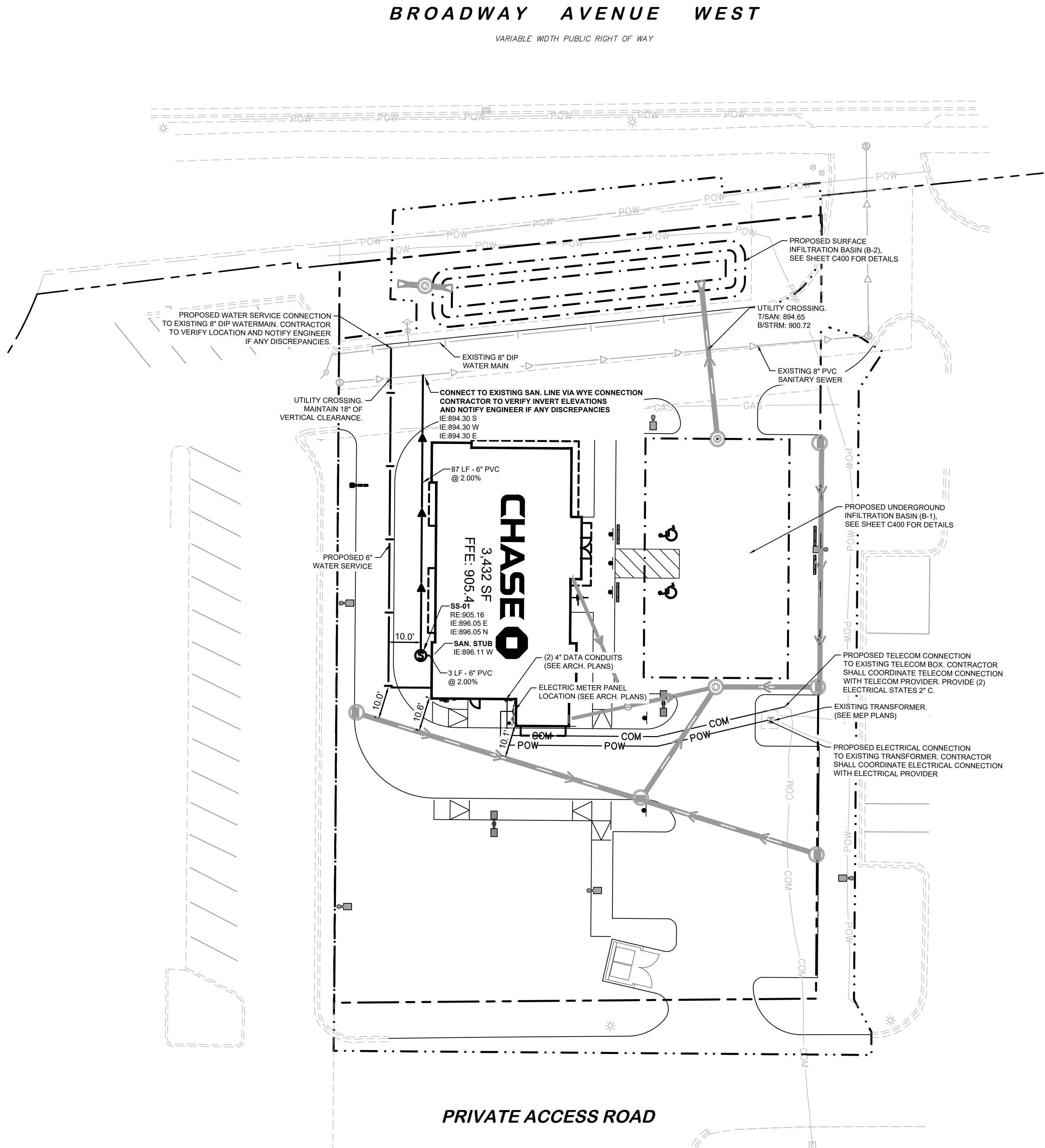
Kimley»Horn

























2024 KIMLEY-HORN AND ASSOCIATES, INC.

11995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-645-4197

WWW.KIMLEY-HORN.COM

[illegible]



LEGEND		
EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN

UTILITY PLAN NOTES

- INSTALL UTILITIES IN ACCORDANCE WITH APPLICABLE CITY SPECIFICATIONS, STATE PLUMBING CODE, AND BUILDING PERMIT REQUIREMENTS.
- CONTACT STATE 811 CALL-BEFORE-YOU-DIG LOCATING SERVICE AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION FOR UNDERGROUND UTILITY LOCATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- SANITARY SEWER PIPE SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH 40: ASTM D-1785, F-714, F-894
SANITARY SEWER FITTINGS SHALL BE:
PVC: ASTM D-2729, D-3034
PVC SCH40: ASTM D-2665, F-2794, F-1866
- WATER MAIN PIPE SHALL BE:
PVC: ASTM D-1785, D-2241, AWWA C-900
DUCTILE IRON: AWWA C115
WATER MAIN FITTINGS SHALL BE:
PVC: ASTM D-2464, D-2466, D-2467, F-1970, AWWA C-907
DUCTILE IRON: AWWA C-153, C-110, ASME 316.4
- STORM SEWER PIPE SHALL BE:
RCP: ASTM C-76
HDPE: ASTM F-714, F-894
PVC: ASTM D-2729
PVC SCH40: ASTM D-1785, D-2665, F-794
DRAIN TILE SHALL BE:
PE: ASTM F-6667
PVC: ASTM D-2729
STORM SEWER FITTINGS SHALL BE:
RCP: ASTM C-76, JOINTS PER ASTM C-361, C-900, AND C-443
PVC: ASTM D-2729, JOINTS PER ASTM D-3212
HDPE: ASTM D-3212
PVC SCH40: ASTM D-2665, F-794, F-1866
- WHEN CONNECTING TO AN EXISTING UTILITY LINE, FIELD VERIFY THE LOCATION, DEPTH, AND SIZE OF THE EXISTING PIPE(S) PRIOR TO INSTALLATION OF THE NEW LINES. NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS IMPACTING THE PROPOSED DESIGN OF THE PROJECT.
- PLACE AND COMPACT ALL FILL MATERIAL PRIOR TO INSTALLATION OF PROPOSED UNDERGROUND UTILITIES. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- MAINTAIN A MINIMUM OF 7'-6" COVER ON ALL WATER LINES.
- FOR WATER LINES AND STUB-OUTS UTILIZE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR COBALT BLUE BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
- MAINTAIN 18-INCH MINIMUM VERTICAL SEPARATION WHERE SEWER PIPE CROSSES WATER LINES (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE). PROVIDE 10-FOOT HORIZONTAL SEPARATION BETWEEN SEWER PIPE AND WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (OR ANY OBSTRUCTION EXISTING AND PROPOSED), THE SANITARY PIPE MATERIAL SHALL BE PVC SCHEDULE 40 OR PVC C900 AND HAVE MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18-INCH VERTICAL SEPARATION MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- ALL PVC & HDPE SEWER AND WATER PIPE SHALL HAVE A TRACER WIRE INSTALLED IN THE TRENCH AND TERMINATED PER THE DETAILS.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO PLACING BACKFILL.
- IN PAVEMENT AREAS, RAISE MANHOLE CASTINGS TO BE FLUSH WITH PROPOSED FINISHED SURFACE GRADE. IN GREEN AREAS, RAISE MANHOLE CASTINGS TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATION & INSTALL A WATERTIGHT LID.
- REFER TO PLUMBING PLANS FOR LOCATION, SIZE AND ELEVATION OF UTILITY SERVICE CONNECTIONS AND ROOF DRAINS TO THE INTERIOR BUILDING SYSTEMS. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) & METERS ARE LOCATED INSIDE THE BUILDING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO THE SITE ELECTRICAL PLANS FOR SPECIFICATIONS OF THE PROPOSED SITE LIGHTING AND ELECTRICAL EQUIPMENT.
- EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS. REFER TO THE UTILITY PLANS FOR LAYOUT AND ELEVATIONS FOR PROPOSED SANITARY SEWER, WATER MAIN, AND OTHER BUILDING UTILITY SERVICE CONNECTIONS. REFER TO THE GRADING PLAN FOR DETAILED SURFACE ELEVATIONS.
- EXCESS MATERIAL, ABANDONED UTILITY ITEMS, AND OTHER UNUSABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE CONSTRUCTION SITE.
- COORDINATE WITH THE PLUMBING PLANS FOR THE LOCATION, SIZE AND ELEVATION OF THE PROPOSED UNDERGROUND ROOF DRAIN CONNECTIONS.
- WHERE STORM SEWER ROOF DRAINS HAVE LESS THAN 4-FEET OF COVER IN PAVED AREAS OR 3-FEET OF COVER IN LANDSCAPE AREAS, PROVIDE 3-INCH THICK INSULATION A MINIMUM OF 5-FEET IN WIDTH, CENTERED ON THE PIPE.
- ALL STORM SEWER PIPE JOINTS SHALL BE WATER-TIGHT CONNECTIONS.
- ALL STORM SEWER PIPE CONNECTIONS TO MANHOLES SHALL BE GASKETED AND WATER TIGHT. BOOTED COUPLERS AT THE STRUCTURE OR A WATER STOP WITH NON-SHRINK GROUT MAY BE USED IN ACCORDANCE WITH LOCAL CODES.
- CONTRACTOR SHALL AIR TEST ALL STORM SEWER PIPE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE BANK-FOREST LAKE

PREPARED FOR
THE ARCHITECTS
PARTNERSHIP

FOREST LAKE MN

UTILITY PLAN

KHA PROJECT	160094047
DATE	01/29/2024
SCALE	AS SHOWN
DESIGNED BY	BSK
DRAWN BY	BSK
CHECKED BY	MTL

UTILITY SERVICE REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN M. WURDEIMAN
DATE: 02/20/2024 LIC. NO. 53113

Kimley»Horn
2024 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 954-445-4197
WWW.KIMLEY-HORN.COM

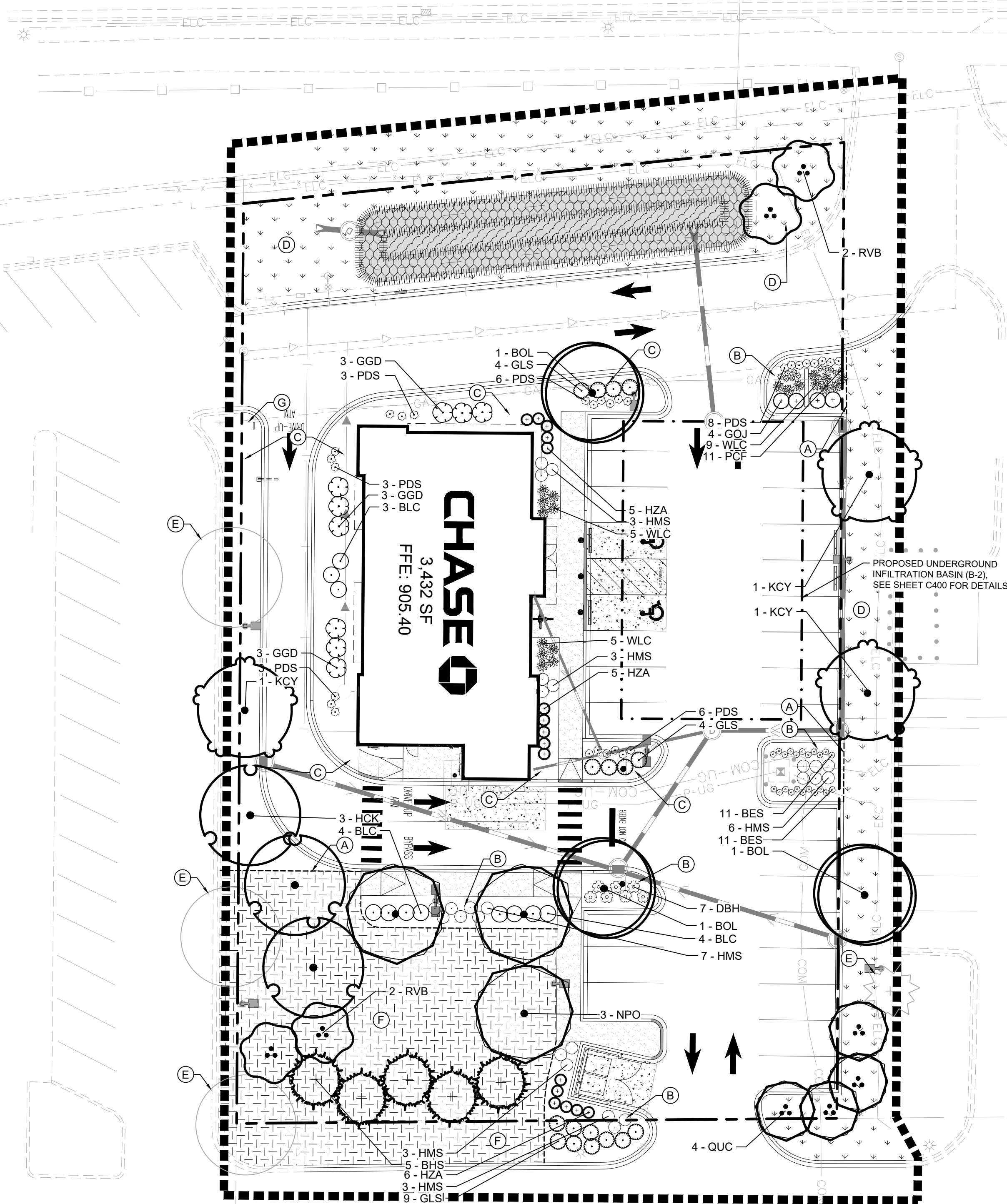
No.	REVISIONS	DATE	BY
1	IFP/IFB SET	02/20/2024	BSK



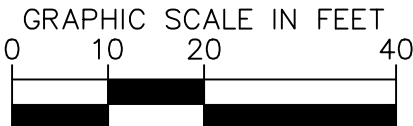
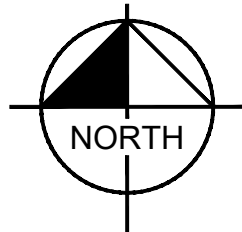
Know what's below.
Call before you dig.

BROADWAY AVENUE WEST

VARIABLE WIDTH PUBLIC RIGHT OF WAY



PRIVATE ACCESS ROAD



LANDSCAPE SUMMARY

MINIMUM LANDSCAPING

OVERSTORY TREES REQUIRED: THE MINIMUM NUMBER OF OVERSTORY TREES SHALL NOT BE LESS THAN THE PERIMETER OF THE LOT DIVIDED BY 30. THE MINIMUM NUMBER OF UNDERSTORY TREES AND SHRUBS SHALL NOT BE LESS THAN THE PERIMETER OF THE LOT DIVIDED BY 10.

OVERSTORY TREES PROVIDED: 26 TREES = (775 L.F. LOT PERIMETER / 30)

UNDERSTORY TREES AND SHRUBS REQUIRED: 78 UNDERSTORY TREES / SHRUBS = (775 L.F. LOT PERIMETER / 10)

UNDERSTORY TREES AND SHRUBS PROVIDED: 55 SHRUBS *

* TREE REQUIREMENT NOT MET DUE TO SITE CONSTRAINTS

PARKING LOT LANDSCAPING

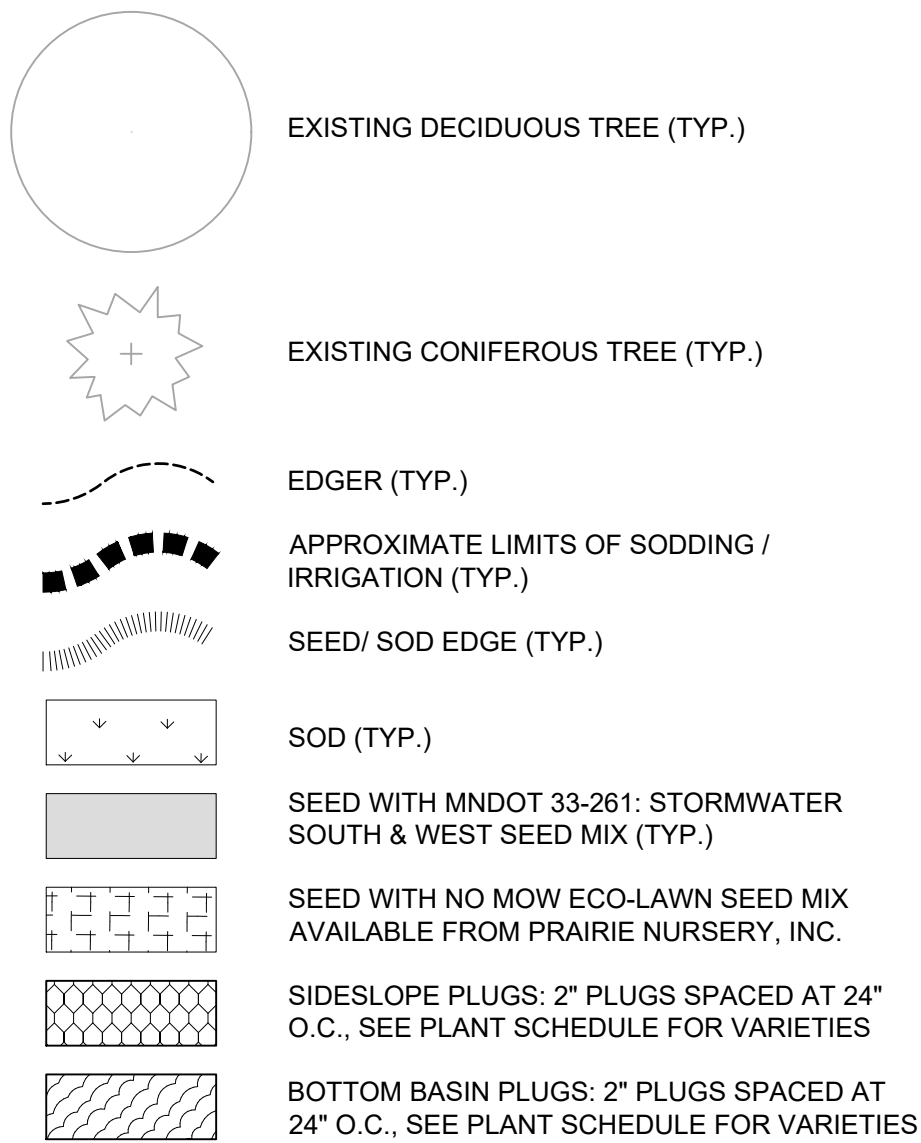
TREES REQUIRED: A MINIMUM OF 1 DECIDUOUS SHADE TREE SHALL BE PROVIDED FOR EACH PARKING ISLAND.

TREES PROVIDED: 6 TREES = (6 TOTAL PARKING ISLANDS / 1)

SCREENING REQUIRED: ANY OFF STREET PARKING AREA WITH MORE THAN 6 PARKING SPACES SHALL BE SCREENED WITH A MIX OF SHADE TREES AND UNDERSTORY PLANTINGS IN REQUIRED PARKING LOT SETBACK AREAS

SCREENING PROVIDED: SEE PLAN

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) ROCK MULCH, TRAP ROCK 2 1/2" COARSE (TYP.)
- (D) SOD (TYP.)
- (E) EXISTING TREE TO REMAIN (TYP.)
- (F) SEED WITH NO MOW ECO-LAWN SEED MIX AVAILABLE FROM PRAIRIE NURSERY, INC.
- (G) RESTORE EXISTING IRRIGATION AND SOD IN-LIKE-KIND ON ADJACENT PROPERTY (TYP.)

SEEDING KEYNOTES

(33-261) SEED WITH MNDOT 33-261: STORMWATER SOUTH & WEST SEED MIX (TYP.)

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CAL/SIZE
CONIFEROUS TREE						
	BHS	5	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B	6" HT.
ORNAMENTAL TREE						
	QUC	4	POPULUS TREMULOIDES	QUAKING ASPEN CLUMP	B & B	1.5" CAL.
	RVB	4	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	B & B	1.5" CAL.
OVERSTORY TREE						
	BOL	3	TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	B & B	2.5" CAL.
	HCK	3	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL.
	KCY	3	GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KENTUCKY COFFEETREE	B & B	2.5" CAL.
	NPO	3	QUERCUS ELLIPSOIDALIS	NORTHERN PIN OAK	B & B	2.5" CAL.
CONIFEROUS SHRUBS						
	GOJ	4	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4" O.C.
	HZA	16	THUJA OCCIDENTALIS 'HETZ MIDGET'	HETZ MIDGET ARBORVITAE	#5 CONT.	3" O.C.
DECIDUOUS SHRUBS						
	BLC	11	ARONIA MELANOCARPA 'IROQUOIS BEAUTY' TM	IROQUOIS BEAUTY BLACK CHOKEBERRY	#5 CONT.	4" O.C.
	DBH	7	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5 CONT.	3" O.C.
	GGD	9	CORNUS HESSEI 'GARDEN GLOW'	GARDEN GLOW DOGWOOD	#5 CONT.	5" O.C.
	GLS	17	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4" O.C.
ORNAMENTAL GRASSES						
	HMS	25	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCHGRASS	#1 CONT.	3" O.C.
	PDS	29	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1 CONT.	18" O.C.
PERENNIALS						
	BES	22	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	#1 CONT.	18" O.C.
	PCF	11	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1 CONT.	18" O.C.
	WLC	19	NEPETA X 'WALKER'S LOW'	WALKER'S LOW CATMINT	#1 CONT.	18" O.C.

SEE SHEET L101 FOR INFILTRATION POND PLANT SCHEDULE

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

CHASE
BANK-FOREST LAKE
PREPARED FOR
THE ARCHITECTS
PARTNERSHIP
FOREST LAKE MN

LANDSCAPE PLAN

CHASE
BANK-FOREST LAKE
PREPARED FOR
THE ARCHITECTS
PARTNERSHIP
FOREST LAKE MN

KHA PROJECT
160094047
DATE
01/23/2024
SCALE
AS SHOWN
DESIGNED BY
CFK
DRAWN BY
CFK
CHECKED BY
RAH

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
11995 SINGLETREE LN SUITE 225, EDEN PRAIRIE, MN 55344
PHONE: 651-445-4197
WWW.KIMLEY-HORN.COM

RYAN A. HYLLESTED, P.E.
DATE: 01/29/2024
MN LIC. NO. 53628

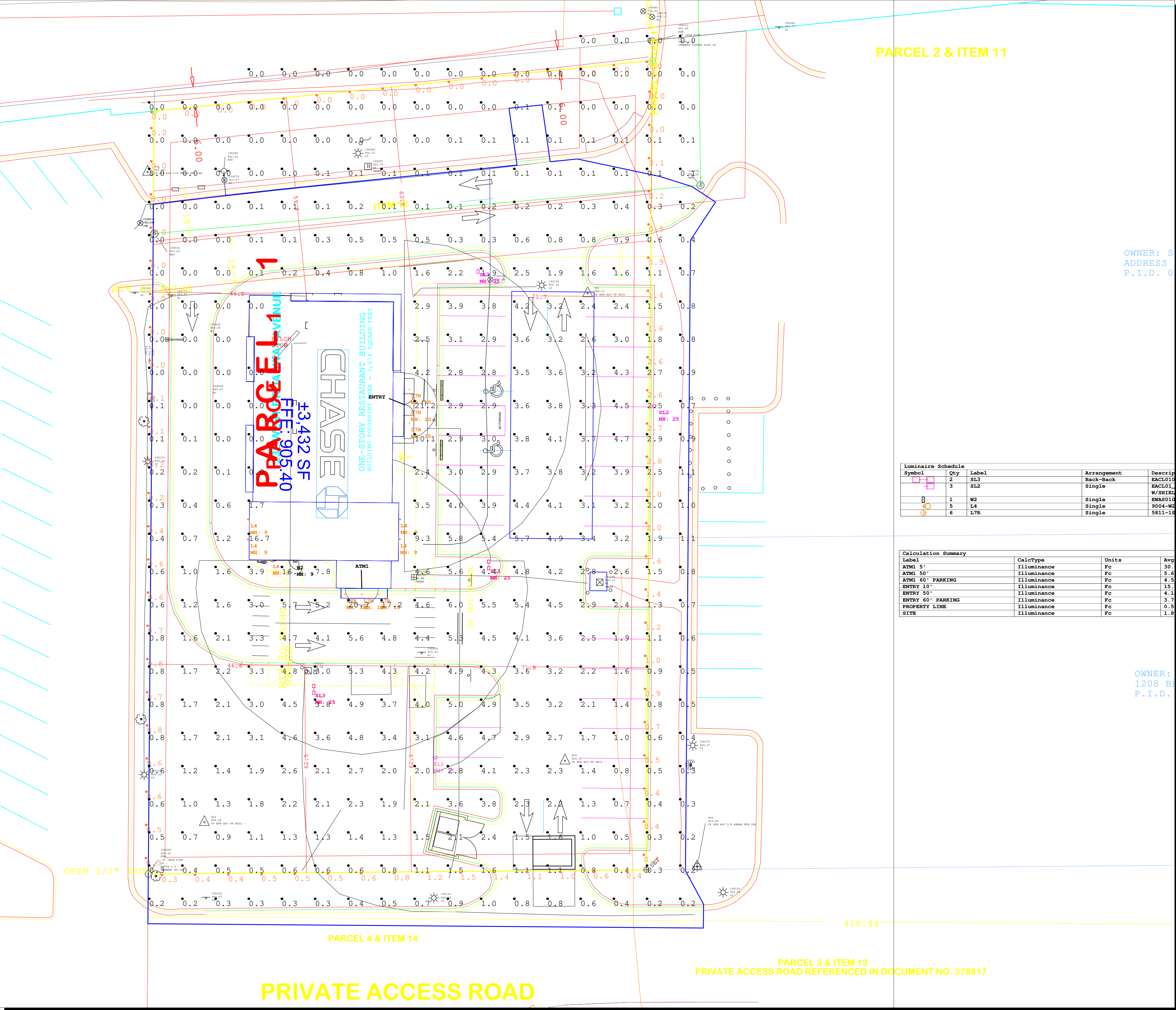
THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.

DATE: 02/20/2024
BY: BSK



Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
ATM1 5'	Fc	30.00	35.6	19.3	1.55	1.84	FC TAKEN 5' FROM ATM1 @ 3'-0" AFG
ATM1 50'	Fc	5.65	33.0	1.2	4.71	27.50	FC TAKEN 50' FROM ATM1 @ 3'-0" AFG
ATM1 60' PARKING	Fc	4.59	5.7	3.6	1.28	1.58	FC TAKEN 60' FROM ATM1 @ 3'-0" AFG
ENTRY 10'	Fc	15.38	33.0	2.2	6.99	15.00	FC TAKEN 10' FROM ENTRY @ 3'-0" AFG
ENTRY 50'	Fc	4.12	28.6	2.0	2.06	14.30	FC TAKEN 50' FROM ENTRY @ 3'-0" AFG
ENTRY 60' PARKING	Fc	3.76	4.0	3.5	1.07	1.14	FC TAKEN 60' FROM ENTRY @ 3'-0" AFG
PROPERTY LINE	Fc	0.59	2.8	0.0	N.A.	N.A.	FC TAKEN @ GRADE
SITE	Fc	1.86	21.2	0.0	N.A.	N.A.	FC TAKEN @ GRADE

Luminaire Schedule				
Symbol	Label	Qty	Part Number	Description
	SL3	2	EACL010E4AF740-DIMMING-D1-FINISH	FULL CUTOFF AREA LIGHT
	SL2	3	EACL01_E4AF740-DIMMING- D1-FINISH W/SHIELDLL CUTOFF AREA LIGHT W/SHIELD	
	W2	1	EWAS010A3AW740D1FM-FINISH	WALL MOUNT FULL CUTOFF WALLPACK
	L4	5	9004-W2-RW-LED3090-W-BK-L1-UNV	WALL MOUNT UP/ DN LIGHT
	L7R	6	5811-1SAT20L8040W	RECESSED DOWNLIGHT



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERAGED. ACTUAL RESULTS MAY VARY
- MH IS AN OVERALL MOUNTING HEIGHT.



Revisions	
#	Comments

Drawn By: JJM	Date: 1/16/2024
Checked By:	

JPMC FOREST LAKE, MN LIGHTING LAYOUT	PHOTOMETRIC CALCULATIONS
---	--------------------------

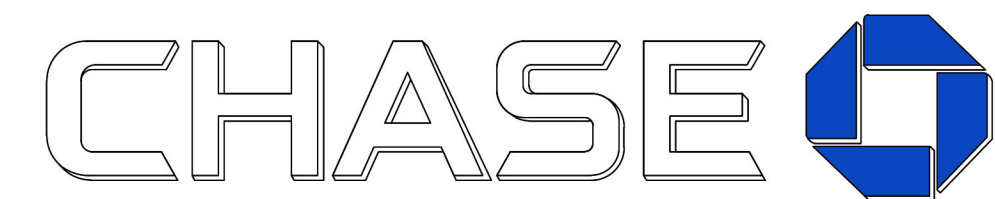


NORTH ELEVATION

		
STORE FRONT & CANOPY COLOR: BLACK ANODIZED ALUM.	CLEAR GLASS	MISC. PAINT
		
BRICK COLOR: PLATINUM INTERSTATE BRICKS	BRICK COLOR: MIDNIGHT INTERSTATE BRICKS	CAST STONE COLOR: CHISELED LIMESTONE HARVEY CEMENT
		
ACM COLOR: CLEAR ANODIZED ALUM.	COPING CAP COLOR: BLACK ALUMINUM	COLUMN PAINT COLOR: "CLOUD WHITE" SHERWIN WILLIAMS



EAST ELEVATION



FOREST LAKE
1232 W Broadway Ave
Forest Lake, MN 55025

ARCHITECTURAL ELEVATIONS

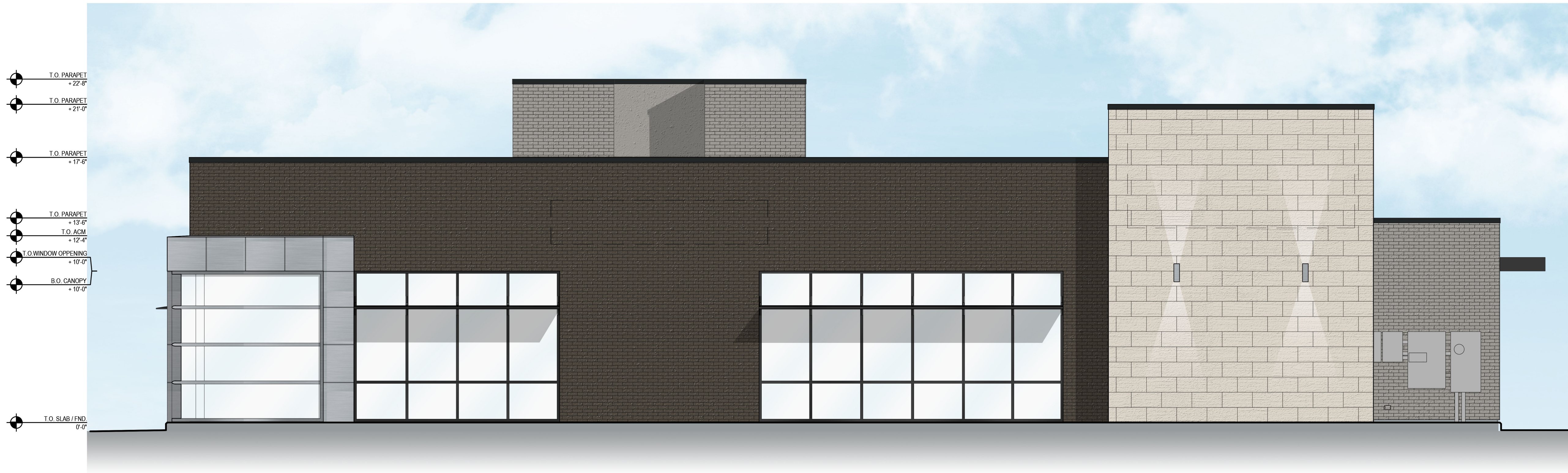
01.17.2024

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 24016

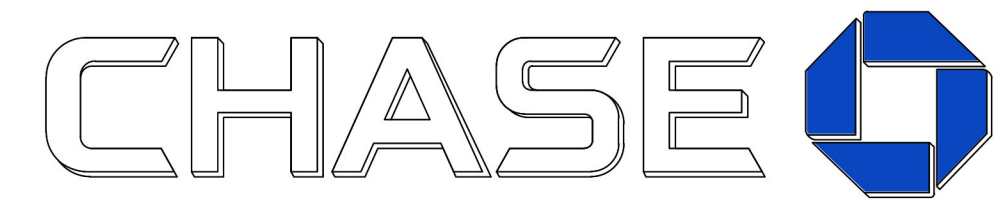




SOUTH ELEVATION



WEST ELEVATION



FOREST LAKE
1232 W Broadway Ave
Forest Lake, MN 55025

ARCHITECTURAL ELEVATIONS

01.17.2024

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 24016





EXECUTIVE SUMMARY

- (1) Qty Pylon (P-50)
- (4) Qty Wall Signs (LIF-WB0-24)
- (0) Qty Atm Signature Canopy

AOR CSG: Kyle Manske
Chase Designer: Jin Byun
Sign Co – Stratus: Rob Wong

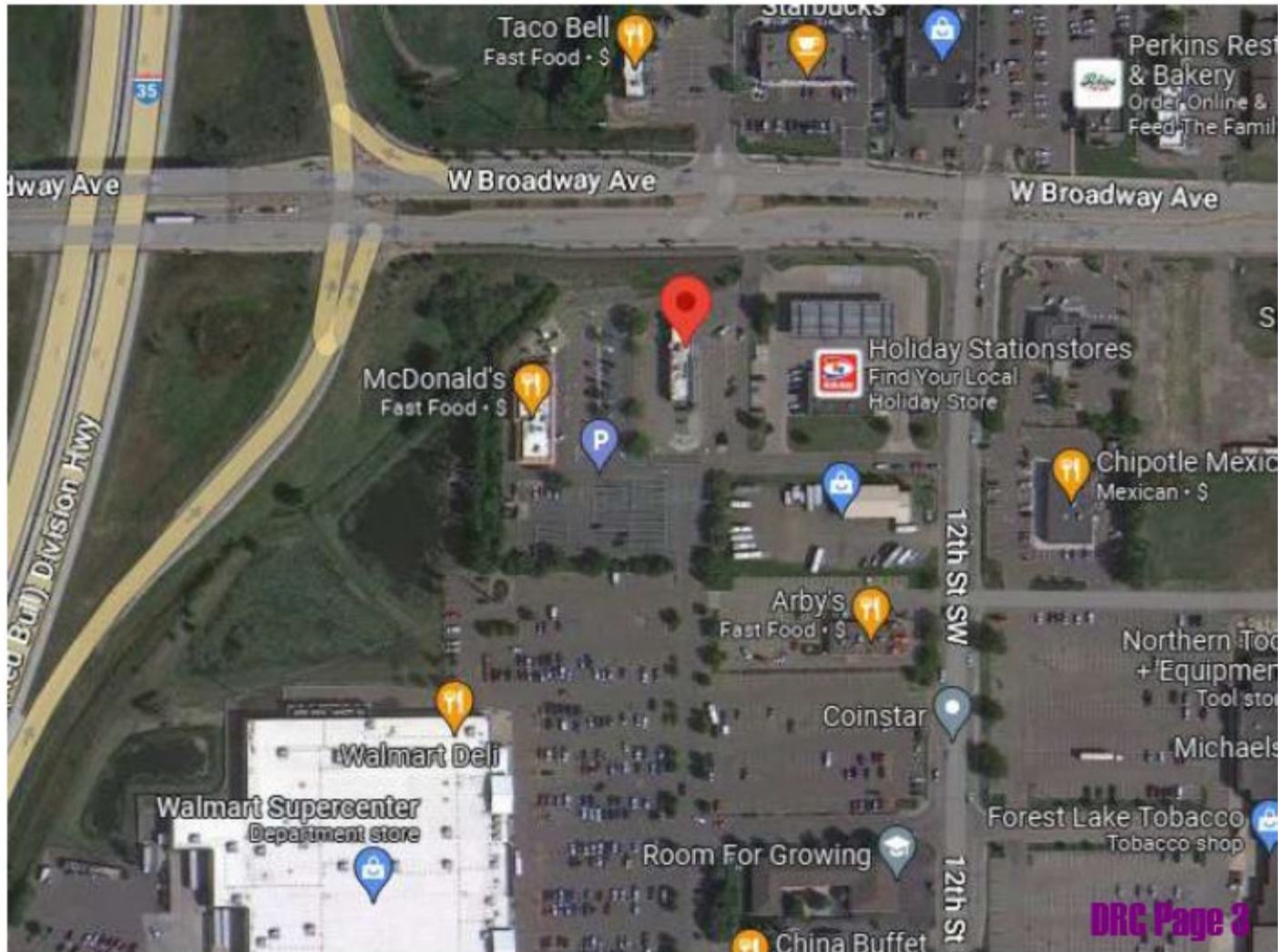


REVISION NOTES

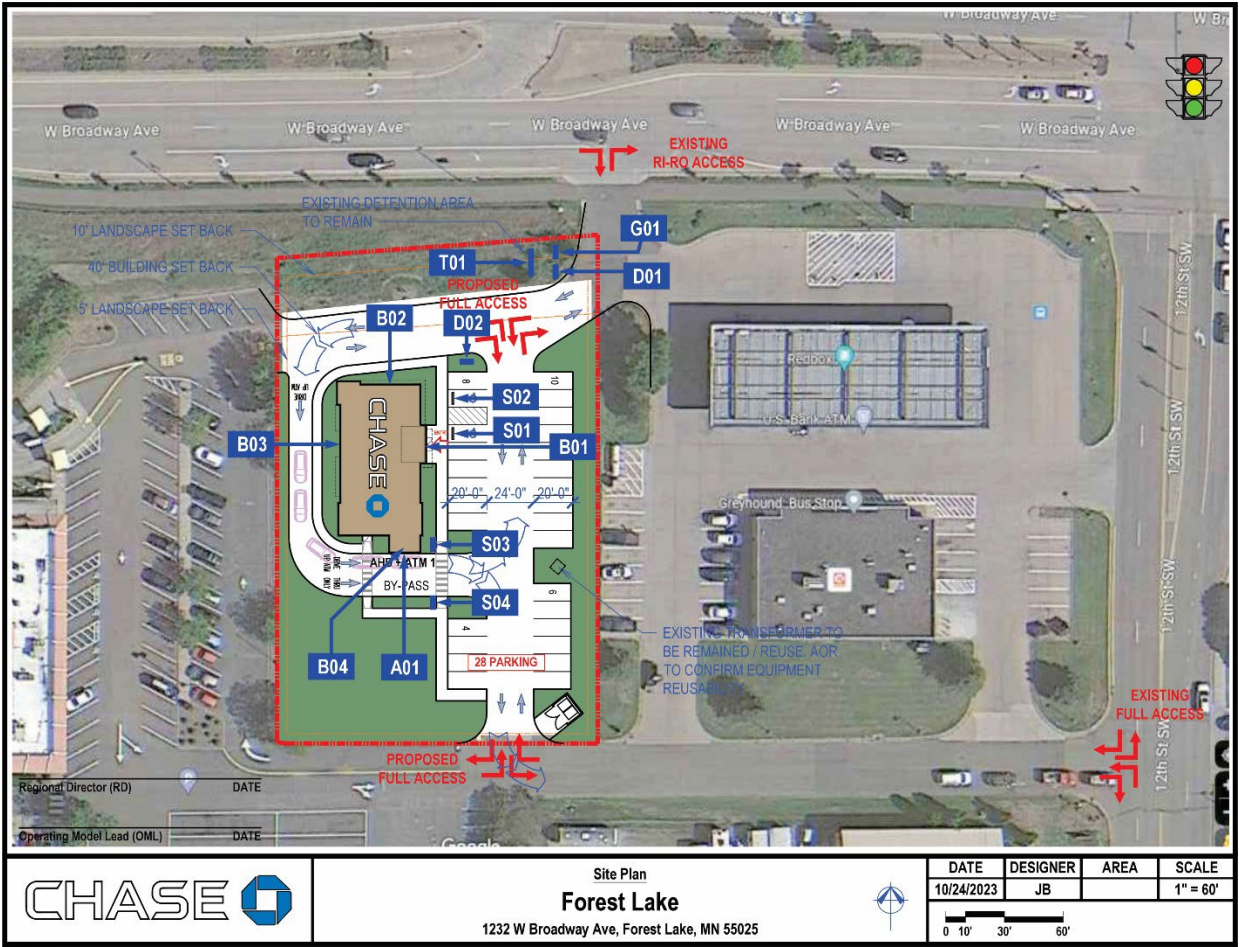
ORIGINAL: #454493 11/16/23 BS
 REV 1: #463960 02/19/24 BS

CODE ALLOWANCES

Code Allowances - Completed by Sign Vendor			Please note the definition for signs: SIGN: Any device, structure, fixture, or placard using graphics, symbols, and/or written copy for the primary purpose of identifying, providing directions, or advertising any establishment, product, goods, or services. This includes symbols, flags, pictures, wording, figures, or other forms of graphics painted on or attached to windows, walks, awnings, freestanding structures, suspended by balloons or kites, or on persons, animals, or vehicles.	39
General Info				
Site location address	1232 W Broadway Ave., Forest Lake, MN 55025			
Zoning Designation	Per Ken: The City has zoned the site B-2 Highway Business. I am unable to locate a Master sign plan for that property. Sections 153 205, 206 and 208 of the City Sign code are most relevant to this property.	Are decorative logos allowed (E18 octagon)? Does it count against overall SF?	[I] Wall sign commercial and industrial uses. The total aggregate square footage of all wall signs shall not exceed the sum of 15% of leased or owned building wall area on an improved public road frontage. No more than 2 wall signs shall be allowed on an improved public road frontage for an individual business. The maximum sign surface area for an individual wall sign may not exceed 200 square feet. [I] Individual letters/channel-raceway letters wall sign. [I] Outline cabinet wall sign. [I] Flat panel wall sign. [Logo as part of a wall sign. [Projecting wall sign. [Awning sign. Awning signs are permitted and calculated as a wall sign.	
Temporary Signs				
Is the 6' x 4' Coming Soon Ground Sign Allowed? If so, how many?	TEMPORARY SIGN: A sign designed or intended to be displayed for a short period of time, and that is not permanently installed. This includes, but shall not be limited to, banners, flying banners, sandwich board signs, pennants, and flags other than community promotion signs, garage sale signs and flyers, for-sale real estate signs, and lawn/curb signs. The following signs do not require a permit or permit fee, but are still subject to the other standards of this section. CONSTRUCTION SIGN: Any sign that displays information regarding the construction or development of the site on which it is displayed. Temporary construction signs designating the architects, lending institutions, engineers, or contractors, when placed on a site where a building is to be constructed within 60 days, shall be maintained on-site no more than 30 days after the issuance of a certificate of occupancy.		AREA OF WALL SIGN: That physical area of the sign constituted as the face upon which the advertisement is borne. The NET SURFACE AREA shall be that area enclosed within the smallest regular geometric figure needed to encompass completely all the letters, insignias, or symbols of the sign, including horizontal spacing between letters, insignias or symbols, and including the physical area constituting the face of the sign.	
Are temporary banners allowed? If so, for how long?	Temporary banner sign. No more than 1 temporary banner, not exceeding 40 square feet in area, may be located on an outside building wall and shall not be placed in any other location. Each temporary sign shall be permitted to be displayed for a maximum period of 30 consecutive days 4 times per year, with an approved temporary sign permit. No more than 1 banner, not exceeding 40 square feet in area, may be placed on the outside building wall between December 1 and January 1 without an approved temporary sign permit. A new permit must be obtained for every 30-day period. No fee is required for a temporary banner permit.	Drive up/Walk up ATMs Would a Drive up/Walk up ATM be allowed?	Per Ken: The City would probably consider a drive-up - walk up ATM to be an accessory use - assuming the property would be used as a financial institution such as a Chase Bank. The City could not make a final determination about that until we saw a site plan for the entire property. The City would allow limited signage on the ATM - again to be determined as part of a site and design review for the property.	
Are fly signs allowed? If so, for how long?	BANNERS, FLYING BANNERS, PENNANTS, STREAMERS, and FESTOONS: A temporary sign or attention-getting device generally made of flexible materials, such as paper, cloth, plastic, or any non-rigid material, with no enclosing framework. National and state flags shall not be included in this definition. The following signs and advertising devices shall be prohibited: [B]alloons or standard balloons greater than 18 inches in size [P]ennants, ribbons, streamers, festoons, flying banners	Would there be any restrictions? Would illumination and Branding be allowed?	See above. Subject to review. See above. Subject to review.	
Primary Ground Sign		Directional / Regulatory Signs Is our standard directional and regulatory sign package allowed?	See below.	
Will code allow our standard pylon or monument? If yes, which one (ex P-100, P-75, M-50, M-25, refer to reference guide for all standard options). Is more than 1 primary ground sign allowed?	[O]ne freestanding sign shall be allowed for a single- or multi-tenant commercial building. [I]f the surface area shall not exceed 100 square feet and may include up to 50% of the total area as changeable electronic or non-electronic copy. [P]arcel(s) fronting on Interstate Highway 35 are allowed 1 additional freestanding sign, not to exceed 100 square feet in area and a height of 30 feet. The secondary sign shall be located between the principal building and I 35, and shall be setback 20 feet from the I-35 right-of-way. [P]arcel(s) in the B-2 Zoning District fronting on West Broadway with a secondary road frontage on 1st Avenue NW west of 8th Street NW may have a second freestanding sign, with a surface area not to exceed 10 square feet and 4 feet in height. [I]f the maximum height for a freestanding sign shall be the lowest point of the roof or parapet of the principal building with which it is associated. [I]f the base of a monument sign shall be designed with compatible materials and color that architecturally match the principal structure with which it is associated. The width of the base shall not exceed the width of the sign face. [I]f the base of a monument sign shall be designed with compatible materials and color that architecturally match the principal structure with which it is associated. The width of the base shall not exceed the width of the sign face. [I]f the sign may be internally or externally illuminated shall meet the lighting requirements (linked below) [I]f the sign must not have more than 2 sides.	If not, what are the variables/restrictions?	DIRECTIONAL SIGN: A sign that serves primarily to direct traffic to the location of a place, area, or activity. The code only stipulates temporary directional signs. Subject to review.	
Awnings / ATM Sunscreens		Awnings / ATM Sunscreens Are branded awnings allowed?	[I] Wall sign commercial and industrial uses. The total aggregate square footage of all wall signs shall not exceed the sum of 15% of leased or owned building wall area on an improved public road frontage. No more than 2 wall signs shall be allowed on an improved public road frontage for an individual business. The maximum sign surface area for an individual wall sign may not exceed 200 square feet. [I] Individual letters/channel-raceway letters wall sign. [I] Outline cabinet wall sign. [I] Flat panel wall sign. [Logo as part of a wall sign. [Projecting wall sign. [Awning sign. Awning signs are permitted and calculated as a wall sign.	
What if any restrictions are there (illumination, color/materials, min. & max projection)?	AWNING/CANOPY SIGN: A sign constructed of flexible translucent or fabric-type material that incorporates a written message or logo on its exterior. See above. Refer to wall signs section.	Are ATM sunscreens allowed? Do they count against overall SF?	ATM sunscreens are not addressed by code; subject to review.	
Per Ken: The City would allow limited signage on the ATM - again to be determined as part of a site and design review for the property.		Other Governing Agencies Identify other governing agencies that could override code (ASTB, HRB, PUD, etc.) and list the known restrictions.	Ken did not mention a special review requirement for signs at this location. Please note: The city reserves the right to initiate additional reviews based on the scope of work.	
Permitting / Variance Process		Permitting / Variance Process What is the application process and timing for variance approval? What are the variance application fees?	Per Ken: The City might consider a variance for a sign or signs, but it would depend on many factors. The Planning Commission reviews and approves variances in Forest Lake. Link to sign permit application and instructions: http://mfn-forestlake.chicpdx.com/DocumentCenter/View/321/Sign-Permit-Application-9-222016id	
What is the likelihood of being granted a variance with this municipality?	20%	Architectural Lighting Is Architectural lighting allowed? Does it count against overall SF? List provisions.	A light source mounted on a building shall not exceed the height of the building, and no light sources shall be located on the roof unless the light enhances the architectural features of the building and is approved by the Zoning Administrator.	
Additional Comments		Additional Comments Please list any additional comments	Exempt signs. The following signs are exempt from the requirements of this subchapter: (1) Official public notices or signs required by local, state, or federal regulations. (2) Governmental signs, including but not limited to, traffic control and other regulatory purpose signs, street signs, informational signs, danger signs, local government park signs, local government building signs, and railroad crossings. (3) Home security signs, "no trespassing," and "no parking" signs, provided the total signage on a zoning lot shall not exceed 2 square feet in area, the signs shall not be placed or maintained in the public right-of-way, and shall not be illuminated. (4) Historical plaques by recognized historical agencies, provided the signs shall not be placed or maintained in the public right-of-way, shall not be illuminated, and shall not exceed 4 square feet in area. (5) Permanent or temporary interior signs not visible from the exterior of a structure. (6) Informational signs displayed solely for the convenience of the public, including signs identifying restrooms, waste receptacles, addresses, doorbells, mailboxes, or building entrances. (7) Permanent window signs occupying no more than 25% of the window area in commercial districts, mixed use commercial districts, industrial districts, and existing nonconforming commercial uses fronting on a minor connector roadway as shown in the adopted Comprehensive Plan.	
Code Link	https://codeeditor.amiportal.com/codes/forestlake/latest/forestlake_mno-0-0-0-31931	Lighting Regulations	https://codeeditor.amiportal.com/codes/forestlake/latest/forestlake_mno-0-0-0-31756	
This code checks provided with the assumption that you will get the landowner's property owner approval. The information herein is limited to what the city has told us, and we cannot be responsible if they do not inform us of the sign plan by-laws. We strongly encourage you to check your own best interest and apply for permits before manufacturing signs. Sign orders reported as presented in as of the "Completion Date." ETD is not responsible for changes in local sign code after the completion date, nor for the review process, interpretations, calculations or fees of local authorities. It is understood that approval will be obtained prior to manufacture, if required by authorities. The recipient of this code checks not endorse and should not be used in place of the definitions, guidelines and descriptions of the code. This code checks is good for the day on which it is printed only. Information contained herein is a guideline and should not be used as a permit approval. Signs should not be produced until the permit has been issued. Zoning approval is often subject to interpretation that said official makes of the ordinance for their jurisdiction; we cannot be held responsible for verbal answers and interpretation. This code checks completed without the knowledge of specific project details and the UdiL LLC does not assume any liability, we simply provide the code information based on the current code 2024.		Copyright 2023 Expedite The UdiL LLC 644.838.833		
BL				



DRC Page 3



EXTERIOR SCOPE OF WORK					
Sign ID	ELEVATION	Sign Type	Description	Sq. Ft.	ADDITIONAL APPROVAL (Y/N)
G01		P-50	D/F ILLUMINATED PYLON	49.6 SF	--
B01	EAST	LIF-WBO-24	WHITE WITH BLUE OCTAGON ILLUMINATED CHANNEL LETTERS	36.9 SF	--
B02	NORTH	LIF-WBO-24	WHITE WITH BLUE OCTAGON ILLUMINATED CHANNEL LETTERS	36.9 SF	--
B03	WEST	LIF-WBO-24	WHITE WITH BLUE OCTAGON ILLUMINATED CHANNEL LETTERS	36.9 SF	--
B04	SOUTH	LIF-WBO-24	WHITE WITH BLUE OCTAGON ILLUMINATED CHANNEL LETTERS	36.9 SF	--
A01		SUR-TTW-U-4-TP	ILLUMINATED THIN PROFILE ATM SURROUND	5.2 SF	--
S01		TC-P-ADA-V-RE	POLE MOUNTED ADA PARKING REGULATORY SIGN W/ VAN ACCESS SIGN	2.0 SF	--
S02		TC-P-ADA-RE	POLE MOUNTED ADA PARKING REGULATORY SIGN	1.5 SF	--
S03		TC-P-DNE	DO NOT ENTER REGULATORY	6.25 SF	--
S04		TC-P-DNE	DO NOT ENTER REGULATORY	6.25 SF	--
D01		D5-RE	DIRECTIONAL	5.7 SF	--
D02		D5-RE	DIRECTIONAL	5.7 SF	--
T01		4 X 8	COMING SOON TEMPORARY SIGN	32.0 SF	--

SQUARE FOOTAGE	
PROPOSED SQ.FT.:	--
ALLOWABLE SQ. FT.:	--
DIFFERENCE:	--
SQUARE FOOTAGE	
AA PROPOSED SQ.FT.:	--
ALLOWABLE SQ. FT.:	--
DIFFERENCE:	--

B01 | LIF-WBO-24-LED | White with Blue Octagon Illuminated Channel Letters | 36.9 SF



EAST ELEVATION

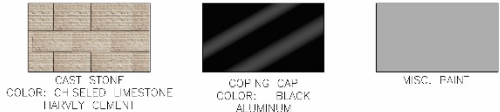
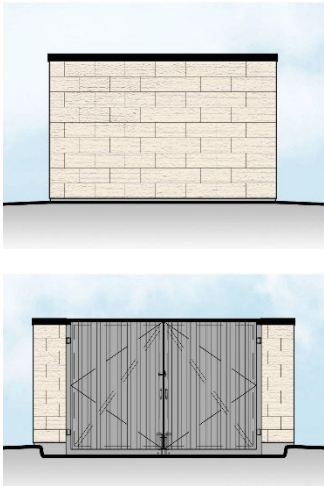
B03 | LIF-WBO-24-LED | White with Blue Octagon Illuminated Channel Letters | 36.9 SF



WEST ELEVATION

- | | | |
|--|---|---|
| 
STONE FRONT & CANOPY
COLOR: BLACK ANODIZED ALUM. | 
CLEAR GLASS | 
MISC. PAINT |
| 
BRICK
COLOR: PLATINUM INTERSTATE BRICKS | 
BRICK
COLOR: MIDNIGHT INTERSTATE BRICKS | 
GAS STONE
COLOR: CIRCLED LIMESTONE HARVEY CEMENT |
| 
ACM
COLOR: CLEAR ANODIZED ALUM. | 
COPING CAP
COLOR: BLACK ALUMINUM | 
COLUMN PAINT
COLOR: "CLOUD WHITE" SHERWIN WILLIAMS |

ELEVATIONS/MATERIALS



TRASH ENCLOSURE



B04	LIF-WBO-24-LED	White with Blue Octagon Illuminated Channel Letters	36.9 SF
A01	SUR-TTW-U-4-TP	Illuminated Thin Profile ATM Surround	5.2 SF



SOUTH ELEVATION

B02	LIF-WBO-24-LED	White with Blue Octagon Illuminated Channel Letters	36.9 SF
-----	----------------	---	---------



NORTH ELEVATION

EXISTING CONDITIONS

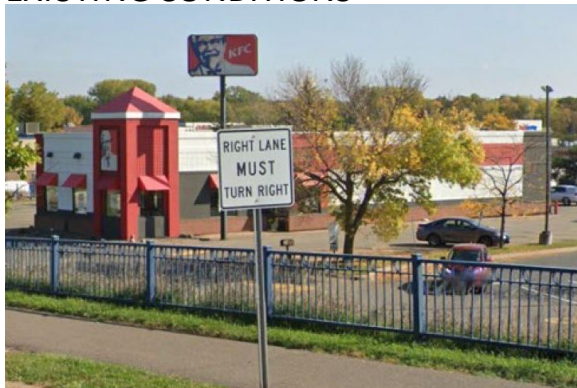


PHOTO 1



PHOTO 2

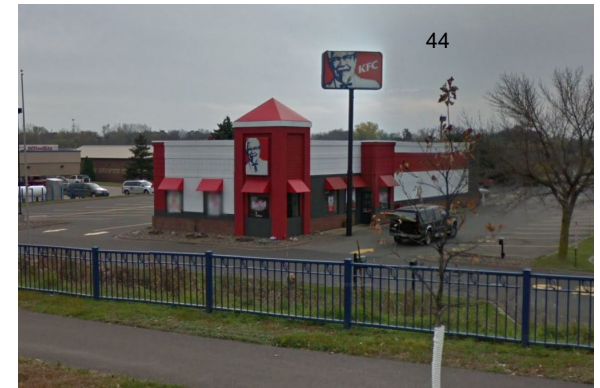


PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7

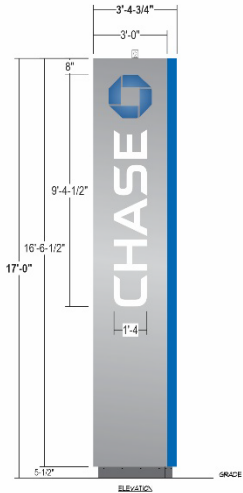


PHOTO 8



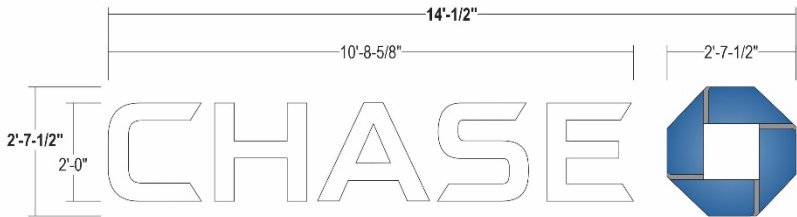
PHOTO 9

EXTERIOR SIGNAGE



D/F ILLUMINATED PYLON P-50
49.6 square feet

G01



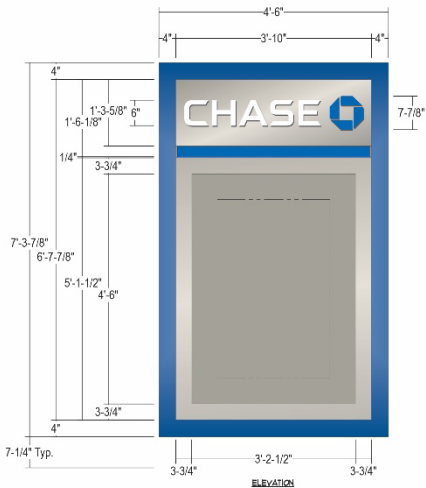
ILLUMINATED CHANNEL LETTERS LIF-WBO-24
36.9 square feet

B01

B02

B03

B04

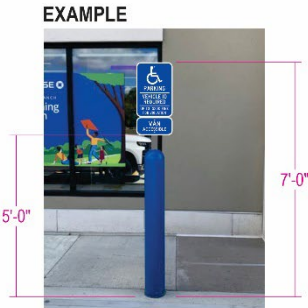


ATM UNIVERSAL SURROUND - THIN PROFILE SUR-TTW-U-4-TP
5.2 square feet

A01



REGULATORY SIGN - POLE MOUNT CUSTOM
2.0 square feet



S01

EXTERIOR SIGNAGE

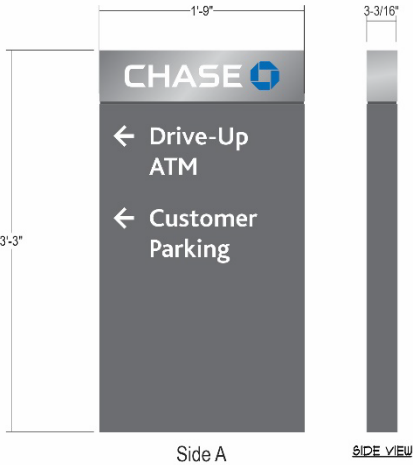
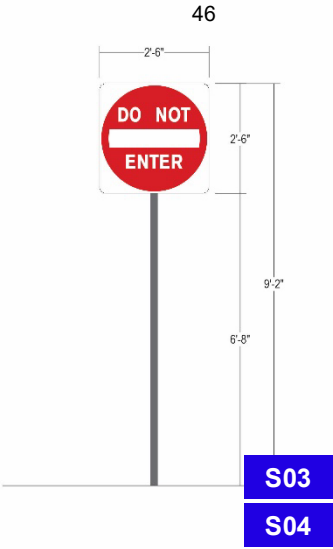


REGULATORY SIGN - POLE MOUNT CUSTOM
2.0 square feet

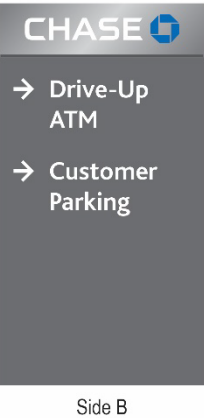
S02



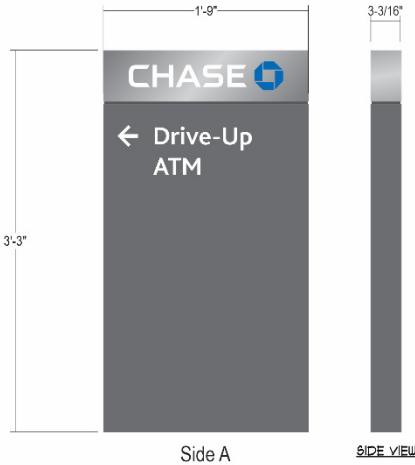
REGULATORY SIGN - POLE MOUNT TC-P-DNE
6.25 square feet



DIRECTIONAL SIGNS D5-RE
2.0 square feet



D01



DIRECTIONAL SIGNS D5-RE
2.0 square feet



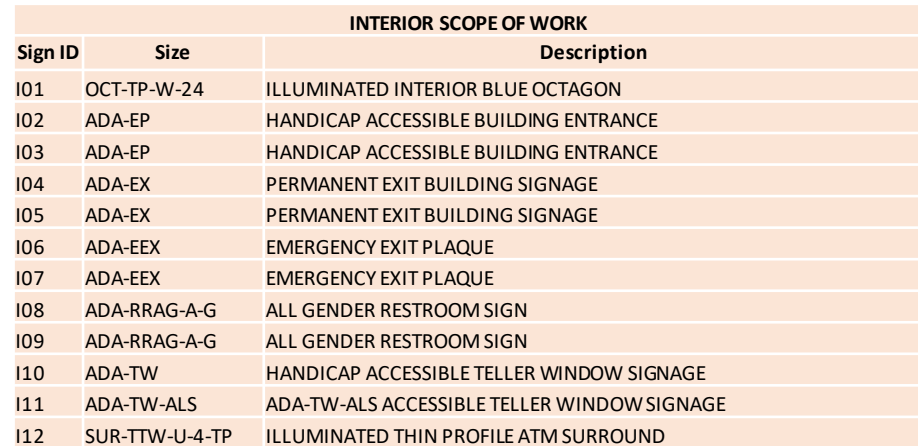
D02

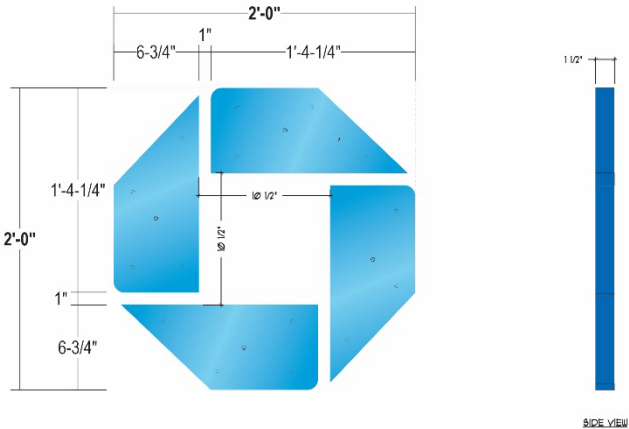
EXTERIOR SIGNAGE



4X8 D/F COMING SOON SIGN
32.0 square feet

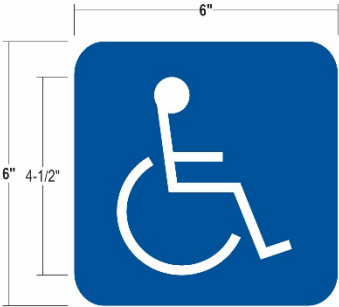
T01





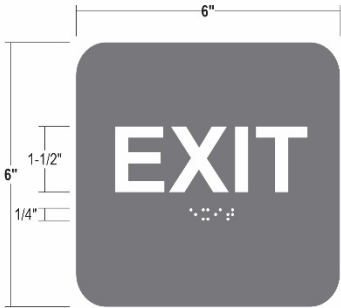
S/F ILLUMINATED OCTAGON OCT-TP-W-24

I01



ACCESSIBLE BUILDING ENTRANCE ADA-EP

I02
I03



PERMANENT EXIT DOOR SIGNAGE ADA-EX

I04
I05



PERMANENT ROOM ID SIGNAGE ADA-EEX

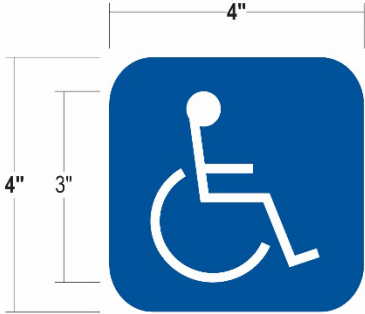
I06
I07



ALL GENDER RESTROOM SIGNAGE ADA-RRAG-A-G

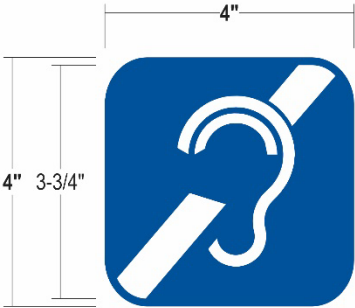
I08

I09



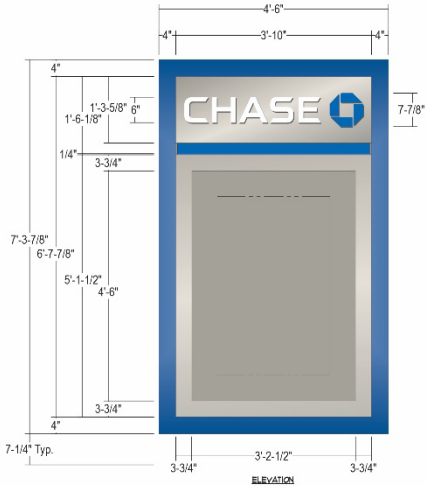
ACCESSIBLE TELLER WINDOW ADA-TW

I10



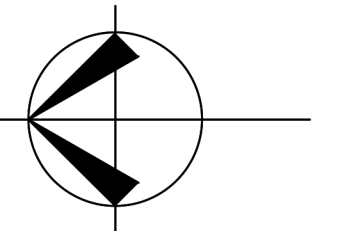
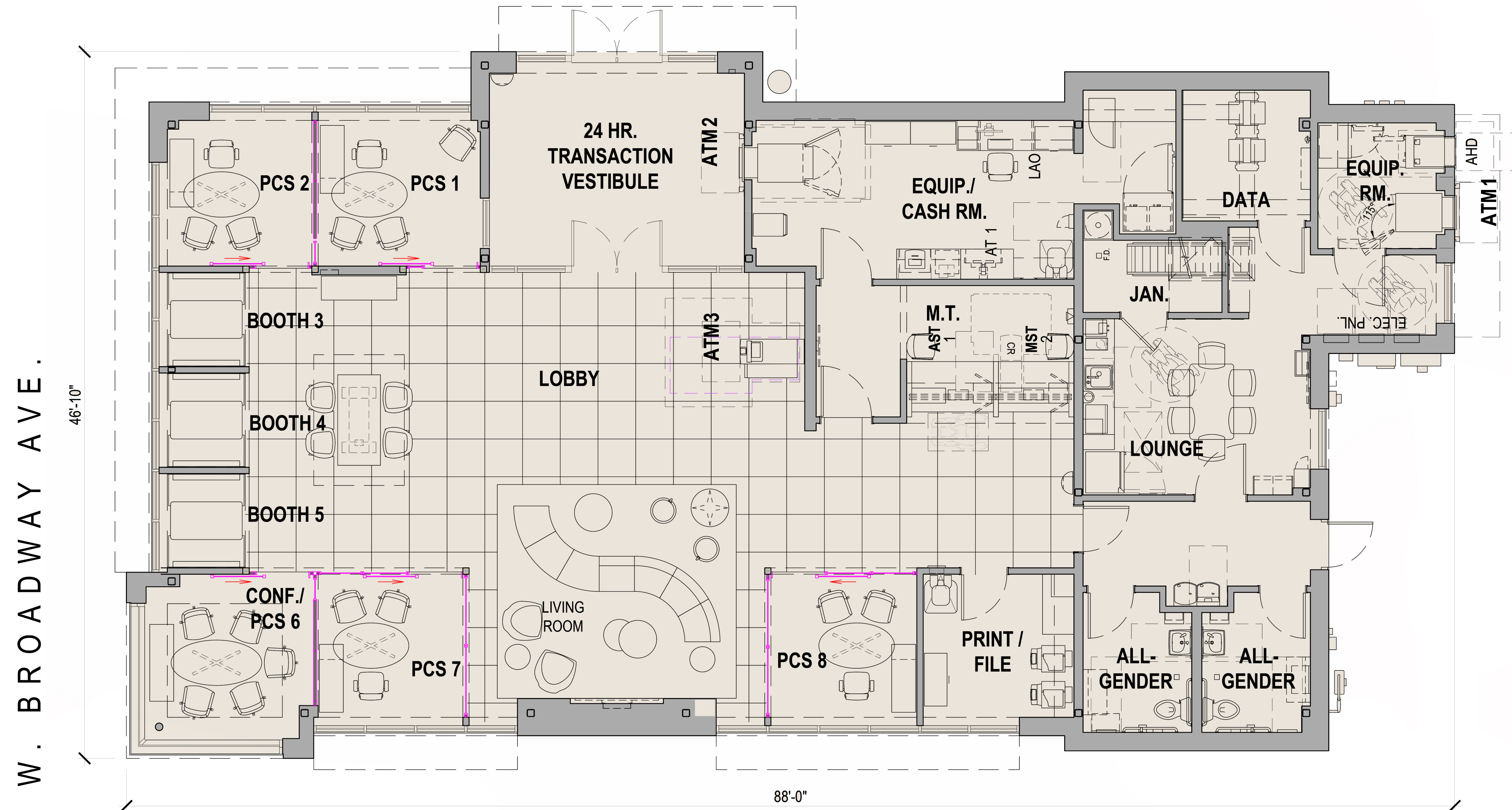
ACCESSIBLE TELLER WINDOW ADA-TW-ALS

I11



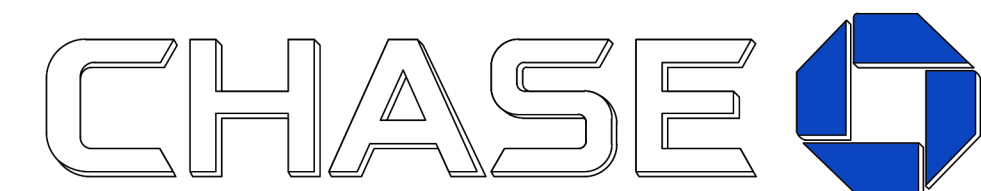
ATM UNIVERSAL SURROUND - THIN PROFILE SUR-TTW-U-4-TP
5.2 square feet

I12



SCALE: $\frac{1}{4}" = 1'-0"$

0 5' 10' 15'



FOREST LAKE
1232 W Broadway Ave
Forest Lake, MN 55025

ARCHITECTURAL FLOOR PLAN

12.28.2023

Architect/Designer
The Architects Partnership, Ltd.
200 South Michigan Avenue
Chicago, IL 60604
t: 312.583.9800
f: 312.583.9890
TAP Project Number: 24016



**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 05-08-24-01

**A RESOLUTION APPROVING SITE AND DESIGN PLANS FOR THE
REDEVELOPMENT OF THE FORMER KENTUCKY FRIED CHICKEN
RESTAURANT SITE LOCATED AT 1232 BROADWAY AVENUE WEST FOR
DEVELOPMENT OF A NEW RETAIL BANKING CENTER**

WHEREAS, Mr. Terron Wright, representing the Architects Partnership, LTD., (“Applicant”), and the owners of the property located at 1232 Broadway Avenue West, located in the City of Forest Lake, Washington, County, Minnesota with PID 07.032.21.14.0029, (“Property”); and

WHEREAS, the legal description of the part of the Property for the proposed redevelopment is detailed on **Exhibit A** attached hereto; and

WHEREAS, the Applicant submitted an application and project plans to the City of Forest Lake on April 5, 2024, for site plan review for the development of a new 3,432-square-foot retail banking building and associated parking on the Property; and

WHEREAS, the requested improvements to the site include the demolition of the existing restaurant building on the Property and the construction of a new 3,432 square-foot building intended to be used as a retail banking center, with associated parking, landscaping improvements and storm water facilities as shown in the project plans dated December 28, 2023 and February 20, 2024; and

WHEREAS, Staff recommended approval of the site plan review request as further articulated in the City Staff Report dated May 8, 2024, for the May 8, 2024, Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The proposed use and site plan are consistent with the City’s adopted 2040 Comprehensive Plan.
2. The proposed land use and the proposed site improvements will be consistent with the City’s adopted zoning ordinance provided the applicant revises the project plans to meet the requirements of the City Engineer and the Watershed District. The City will require all future site improvements to meet the standards of the zoning code.
3. The proposed improvements will not substantially alter the natural state of the property as it currently has a vacant restaurant building and associated parking. The proposed project will “clean-up” the property by removing a vacant building and replacing it with a new building and associated parking, it will reduce the amount of impervious surface area on the property and the applicants will be installing a storm water management system that meets current City and Watershed District standards.

4. The site plan is consistent with City requirements for building placement, architectural details, circulation, yard areas, lighting, and the like.
5. City staff does not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan with the existing and required screening, landscaping and conditions of approval.

WHEREAS, the Forest Lake Planning Commission (Planning Commission) considered the request at its May 8, 2024, meeting, and reviewed the staff report; and

WHEREAS, the Forest Lake Planning Commission has determined the City should conditionally approve the proposed Site Plan Review to permit the site improvements as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Site Plan Review for the Property as described herein with the following conditions:

1. The final plans shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1254.
2. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District must be satisfied before the use being established on site.
3. The requirements of the City Engineer (as noted in his review memo dated April 25, 2024), Public Works Director, and Fire Chief must be met before the construction and development of this project.
4. The applicant or owner shall receive all permits from the City, Washington County and the Comfort Lake-Forest Lake Watershed before starting any demolition, grading or construction activity.
5. The applicant or owner shall receive all approvals and permits from the City, the Comfort Lake-Forest Lake Watershed District, the Minnesota Department of Labor and Industry (DOLI), and any other State or any other regulatory agencies before starting any demolition, tree removal, grading or construction activity.
6. The applicant and/or landowner shall enter into a site improvement agreement for the project. The agreement shall include all required financials and charges including, but not limited to:
 - Letter of Credit for the cost of the design and installation of the proposed and required improvements and landscaping.
 - Water System Trunk Area Charges (WTAC), Sanitary Sewer Trunk Area Charges (SSTAC), Stormwater Trunk Area Charges (STAC) (Collected by the City at the time of the Improvement Agreement).
 - Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sanitary Sewer Fee. (Collected by the City at the time of Building Permit issuance).

This agreement shall be completed and recorded at Washington County before the applicant or contractor starts any grading or construction activity on the site. The City shall not release the building permit until the Site Improvement Agreement is executed.

7. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the plan review process, shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
8. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Developer for all outstanding invoices related to the project.
9. The City shall not release the building permit until the Site Improvement Agreement is fully executed and recorded.
10. Prior to the City issuing a building permit for the construction of the new bank building, the applicant or developer shall revise the final project plans to show all existing, proposed and required drainage and utility easements.
11. All required documents shall be recorded at Washington County at the applicant's expense.
12. The applicant and/or property owner shall secure written permission from the property owners of the adjacent property to east for all project-related site work including demolition and landscaping that will be occurring on the adjoining property. The applicant must secure this permission before the contractor starts any demolition, grading or construction activity.
13. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
14. All construction activity and material storage shall be contained on site. There shall be no construction staging or material storage on Broadway Avenue West or on 12th Street SW.
15. The building materials for the trash enclosure and gate shall be quality materials consistent with the style and colors of the principal structure. The gates of the enclosure shall be constructed with solid materials such as cedar planks or other solid wood. The applicant or contractor shall submit details of the enclosure in conjunction with the building permit application submittal and City staff shall review and approve these plans before the City issues a building permit.
16. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. A certificate of survey and a revised, detailed grading and drainage plan with the building permit application for City approval.
 - b. Plans for the trash enclosure gates showing the gates with solid materials such as cedar planks.
 - c. The exterior lighting meeting the City's standards for exterior lighting in the B-2 zoning district including not exceeding 0.4-foot candles at any property line.
 - d. The height of all the freestanding lighting poles shall not exceed 25 feet.
 - e. The light fixtures shall be downlit and/or shielded to prevent glare.

- f. Revised landscaping and tree planting plans showing there will be at least 26 overstory trees with a trunk diameter of 2.5 inches installed with the project after the contractor has completed all site and landscape work.
 - g. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - h. The use of native plantings in the landscape areas that are tolerant to harsh conditions.
 - i. All other changes to the proposed landscape plans as required by the City.
 - j. The concrete sidewalk along the east side of the building and adjacent to the parking lot shall meet American with Disabilities (ADA) standards. The sidewalk shall be wide enough to ensure vehicles parking adjacent to it do not overhang the sidewalk in a manner that could obstruct pedestrians from using the sidewalk.
17. If the project requires retaining walls greater than four feet in height, said walls shall be designed by an engineer and the City shall review and approve the retaining walls through the building permitting process before installation.
 18. The project engineer shall provide the City Engineer with as-built plans for his review and approval of the new and removed connections to the public utilities.
 19. All signs require City approval of a sign permit issued by the City before the contractor installs the signs.
 20. The maximum allowed height for the pylon sign will be 22 feet.
 21. The applicant will need to submit a detail to the City for approval showing the pylon sign will meet the 10-foot setback requirement from Broadway Avenue. The proposed location of the sign and the proposed landscaping in this part of the site requires review and approval by City staff.
 22. The applicant or contractor shall hold a preconstruction meeting before starting any demolition, construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
 23. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.
 24. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
 25. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

This resolution is adopted by the Planning Commission of the City of Forest Lake on the 8th day of May 2024.

Paul Girard, Planning Commission Chair

Attest:

Jolleen Chaika, Forest Lake City Clerk

RESOLUTION NO. 05-08-24-01**EXHIBIT A****Legal Description of Subject Property for Development****PROPERTY DESCRIPTION**

Lot 3, Block 1, Harland Sanders Commercial, except the North 6.00 feet of said Lot 3.

PID: 07.032.21.14.0029

ADDRESS: 1232 Broadway Avenue West, FOREST LAKE MINNESOTA



Date: May 8, 2024
To: City of Forest Lake Planning Commission
From: Ken Roberts, City Planner
Re: **Gaiovnik Estates – Preliminary and Final Plat Approval**
Applicant: Chris Gaiovnik
Owners: Chris Gaiovnik and Jessica Dimich
Location: 7902 North Shore Trail (PID 10-032-21-13-0030)
Zoning District: SF – Single Family Residential
Land Use Plan Designation: Low Density Residential
60-Day Deadline: May 30, 2024

Introduction/Background

The applicant has submitted applications and plans to the City to combine the Preliminary Plat and Final Plat approval process for a four-lot detached single-family home subdivision called Gaiovnik Estates. The site of the proposed subdivision is the property located at 7902 North Shore Trail. Please see the attached maps and plans for more information about this proposal.

Discussion

Land Use

The proposed development will consist of two lots for detached single-family homes and two small outlots for correcting property lines and legal descriptions of adjacent properties. This proposed land use is consistent with the SF (single-family residential) zoning district.

Consistency with Comprehensive Plan

The proposed use of land with two single-family homes on large lots is consistent with the Low Density Residential Future Land Use designation and established goals of the 2040 Comprehensive Plan. The Low Density Residential land use category identifies areas for single family, detached residential development at a density of 1.5 to 4 units per acre.

The City has included this area of Forest Lake in the 2030 MUSA staging area as public sanitary sewer is available to serve the property.

The subject property contains an approximate gross acreage of 8.10 acres, of which about 5.15 are wetlands, leaving a net acreage of 2.95 acres of developable land. With a proposed unit count of two housing units, the net density of this development is 0.68 units per acre.

The density range within the future land use category Low Density Residential in the 2040 Comprehensive Plan is 1.5 to 4.0 units per acre. The proposed development is 0.68 units per acre, which falls below this range. However, due to the presence of wetlands, the need for dedicated right-of-way for North Shore Trail (0.81 acres) and two outlots (0.04 acres) to correct property boundaries, the site appears to have maxed out the number of homes that can fit on the property.

For much of Forest Lake, the need for storm water ponds and storm water management systems, the protection of wetlands and other topographical constraints in the City, it will be challenging for many developments to meet the expected range of density listed in the 2040 Comprehensive Plan. On the aggregate, the City expects new development in the next few years to be within the required overall density range as required by Forest Lake's designation as an Emerging Suburban Edge community.

Preliminary Plat

Public Street Improvements

The proposed subdivision shows two lots for single-family homes along the north side of North Shore Trail. Proposed Lot 2 will include the existing house located at 7902 North Shore Trail and much of the site to the north and west of the existing house. Proposed Lot 1 includes a building site for a new house just west of the existing house and driveway on the property. The applicant is not proposing to construct any new public streets with this development so no public street improvements are proposed or requested with this subdivision.

Public Sewer and Water Improvements

The property is not served by public water but is served by public sanitary sewer. There is an existing sanitary sewer line that runs north from North Shore Trail on the property for about 390 feet. This existing sewer line serves the existing house (on proposed Lot 2) and will provide sanitary sewer service to the house on proposed Lot 1. The City should require the applicant to show a 20-foot-wide drainage and utility easement (10 feet on each side) of the existing sanitary sewer line as it will provide service to both properties.

Each lot will have a private well for their water.

Development Standards

The table below shows the standards required in the SF zoning district, with standards proposed by the applicant for the lots.

Standard	Required Standards	Proposed
Lot Area (Net)	25,000 square feet	25,019 and 66,345 square feet
Lot Width	100 feet	146.75 – 230+- feet
Setback – Front	30 feet	50 and 51 feet
Setback – Side	10 feet	22.7 and 50 feet
Setback – Rear	30 feet	100 feet plus
Setback – Wetland Buffer	50 feet	50 feet

In summary, the two proposed lots intended for houses should meet the City standards for lots size and setbacks.

Parkland Dedication

The City Code requires developers to make land dedication at the time of subdivision for the purpose of establishing parks, trails or open spaces. The developer may fulfill this requirement with the dedication of the required parkland to the City or with a payment of cash in lieu to the City.

The City Code requires this development to dedicate 10% of net developable land for park purposes. The net developable area in this subdivision is 2.95 acres, which creates a dedication requirement of 0.295 acres of parkland. The 2040 Comprehensive Plan does not call for public parkland in the area of this property. Thus, the proposed development does not include any parkland.

Staff recommends the City accept a cash donation in lieu of land from the developer to meet the City's park dedication requirements. The City has two methods for determining the fee for parkland dedication for subdivisions.

One method is as follows:

2024 Estimated Property Value: \$603,100

Net (Buildable) Acres: 2.95 acres

\$603,100 divided by 2.95 = \$204,441 an acre

10 percent of 2.95 acres = 0.295 acres

0.295 acres times \$204,441 an acre = \$6031.00 total park dedication fee.

The second method is for the City to charge a flat fee per unit or lot in the subdivision. The City's 2024 Fee Schedule lists a fee of \$2,500 per residential unit as the park dedication fee. For the two residential lots in this subdivision, using this method, the total park dedication fee would be \$5,000.00. Based on the size of the two proposed properties and the expected impact on the City park system by the residents of the subdivision, City staff are recommending the City collect a park dedication fee of \$5,000 for this plat. The City will require the applicant to pay this fee to the City before releasing the final plat for recording at Washington County.

North Shore Trail Street Right-of-Way

There currently is not a dedicated public street right-of-way for all of North Shore Trail from the west property line of the subject property to the east where the existing street turns to the east. To help resolve this potential issue, the applicant is proposing to dedicate much of the southwest corner of the property as public street right-of-way for North Shore Trail (0.81 acres in area) as part of the plat. This proposed right-of-way area will encompass the surface area and boulevards of the existing streets.

The 2040 Comprehensive Plan has identified North Shore Trail as a major collector street and the proposed right-of-way dedication will help ensure there is adequate space for the existing road surface and drainage ditches.

Trails

The developer is not proposing any trail construction with the plat. The 2040 Comprehensive Plan has not identified any future trails or sidewalks along North Shore Trail. Therefore, staff is not recommending the City obtain a pedestrian easement on either side of North Shore Trail for a trail.

Sheds

There are currently three small sheds located on the southwest corner of the property at the intersection of North Shore Trail and North Shore Circle North. These sheds are on the part of the property the proposed plat shows as new public street right-of-way for North Shore Trail. The proposed preliminary plat has a note indicating the sheds are going to be relocated. City staff recommends the City require the applicant/owner remove the sheds from their current location before the City releases the final plat for recording. In addition, if the owner wants to locate the sheds elsewhere on his property, staff recommend the placement of the sheds be subject to City approval.

Wetlands

The developer had a wetland delineation completed for the property in 2020. This delineation found wetlands on the 8.10-acre property with a total acreage of about 5.15 acres. A Technical Evaluation Panel (TEP) held a meeting on October 29, 2020 on the property with representatives from various governmental agencies. This panel reviewed the wetlands and the delineation for the wetland on the property. They found the boundaries of the delineated wetlands to be accurate.

The applicant's surveyor has shown all the wetland areas on the proposed preliminary plat along with the proposed setbacks for building for each wetland. Both proposed building lots show the wetland boundary and how structures and driveways may fit on each lot without affecting the wetlands.

The staff of the Comfort Lake-Forest Lake Watershed District and the Washington Conservation District have reviewed the proposed plat. They noted that the construction of the new home will require a sediment and erosion control permit and that the new house on the new west lot does not appear to have any additional wetland impacts.

Stormwater Ponding

The applicant's plans show grading and drainage patterns on each of the two lots intended for the houses. The project plans do not show the construction of any storm water ponds within the plat.

Tree Preservation and Landscaping Plans

The applicant did not submit a tree preservation or a landscaping plan with the proposed plat materials. Section 153.232(A) of the City Code requires there to be at least four trees for each single-family home lot. There appears to be more than enough trees on each of the two proposed lots to meet this requirement so there is no need for additional tree or landscaping plans for this subdivision.

Signage

The applicant is not proposing any signage for this subdivision.

Engineering Comments

The City Engineer provided review comments of the preliminary plat to the City during a staff meeting. His primary comment to the City was to have the surveyor add a 20-foot-wide drainage and utility easement to the final plat for the existing sanitary sewer line that is on the property.

The following is a summary of standard comments and conditions the City has most for most residential subdivisions in Forest Lake that are applicable to the site:

- The City will require standard drainage and utility easements along all property lines (10-feet wide along front and rear property lines and 5-feet wide along each side property line). The City also will require drainage and utility easements over stormwater management facilities, the wetlands and wetland buffers. This will include a 20-foot-wide drainage and utility easement for the existing sanitary sewer line and easements for all drainage ways and ditches.
- There is no public water to serve this property. The developer is proposing to serve each of the lots with private wells.
- The Minnesota Department of Health will review and permit each private well.
- Since the developer is not proposing mass grading, each individual lot owner or builder will be responsible for completing the required grading on their lot. The City should require a grading plan along with a sediment and erosion control plan for each lot at the time of building permit application for review and approval by City staff.
- Lot 1 will require a driveway culvert within the street right-of-way. The City should review and approve the placement and design of this culvert at the time of building permit application.
- The development site is located within the Comfort Lake-Forest Lake Watershed District. This agency typically requires an applicant to get a permit from them for the proposed site work subject to stormwater, sediment and erosion control and other applicable requirements.
- The developer will be responsible for coordinating and financing the extension of private utilities (electric, gas, communications) to serve each of the lots in the proposed development. All private utilities shall be installed within designated utility easements.

Watershed District Comments

City staff shared the proposed preliminary plat with the Comfort Lake-Forest Lake Watershed District. The Watershed District noted the applicant will be required to get a permit from the agency for the proposed home construction subject to stormwater, sediment and erosion control and other applicable requirements. The applicant will need to submit the materials and information to the Watershed District for the project and receive a Watershed District permit before the start of any construction.

Neighborhood Meeting

The applicant and the City had an informational neighborhood meeting about this proposed subdivision on April 24, 2024 at the City Center. The meeting was attended by six residents, the applicant and City staff. The applicant and City staff described the proposed subdivision, answered questions and provided information about the number and types of lots and driveways for the houses.

Residents asked questions about the wetlands in the area, storm water drainage and they noted traffic safety concerns with the speed of vehicles on North Shore Trail.

Fire Department Review

Fire Chief Newman has reviewed the proposed preliminary plat and had no comments.

Outlots

The proposed plat shows two outlots along the south side of North Shore Trail adjacent to two existing properties. The surveyor has included these two outlots on the plat as it was determined there was a discrepancy in the legal descriptions of several properties in the area. The two proposed outlots include areas within the boundaries of the preliminary plat that were identified and marked with Judicial Landmarks (JLM).

A JLM may be placed as part of a Torrens Action or in an Action to Determine Adverse Claims to abstract property, most often called a Quiet Title lawsuit. Minn. Stat. § 559.25 allows the placement of Judicial Landmarks to permanently mark property boundaries. This can be a great help to landowners and their surveyor to permanently correct a problem property description.

In this case, ownership of each of the outlots will go from the applicant to the owner of the adjoining properties to ensure their properties have accurate property boundaries and access to North Shore Trail.

Preliminary Plat Review Criteria

The zoning code provides a list of criteria that the City Council may use to deny a subdivision application:

The City Council may deny the subdivision if it makes any 1 or more of the following findings:

- (1) The proposed subdivision is in conflict with adopted applicable general or specific provisions of the Comprehensive Plan, Zoning Code, Surface Water Management Plan, Engineering Standards, Airport Zoning Regulation, official map of the city, or this chapter;**
- (2) The physical characteristics of the site, including but not limited to topography, vegetation, percolation rate, soil conditions, susceptibility to erosion and siltation, susceptibility to flooding, water storage, drainage and retention, are such that the site is not suitable for the type of development, design, or use contemplated;**
- (3) The site is not physically suitable for the proposed density;**
- (4) The design of the subdivision or the proposed improvements are likely to cause substantial environmental damage;**
- (5) The design of the subdivision or the type of improvements are likely to cause serious public health problems;**
- (6) The design of the subdivision or the type of improvements will conflict with easements of record or with easements established by judgment of a court;**
- (7) The proposed subdivision, its site, or its design, adversely affects the flood-carrying capacity of the floodway, increases flood stages and velocities, or increases flood hazards within the flood way fringe or within other areas of the city;**
- (8) The applicant has failed to provide all documents required by the city in order to adequately evaluate the application.**

Staff response: Staff has reviewed the application for preliminary plat approval and finds the application for a preliminary plat does not meet any of the criteria for denial.

Findings of Fact

The Preliminary Plat application is consistent with the Comprehensive Plan, is compliant with the zoning code, is compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities.

Final Plat Review Criteria

The zoning code provides a list of criteria that the City Council may use to deny a subdivision (final plat) application:

The City Council may deny the subdivision if it makes any 1 or more of the following findings:

(1) The proposed subdivision is in conflict with adopted applicable general or specific provisions of the Comprehensive Plan, Zoning Code, Surface Water Management Plan, engineering standards, Airport Zoning Regulation, official map, or this chapter;

(2) The final plat does not meet or satisfy all of the conditions or requirements upon which the preliminary plat approval was expressly conditioned, either through performance or the execution of appropriate agreements assuring such performance.

(3) The design of the subdivision does not conform to minimum city standards; and

(4) The applicant has failed to provide all documents required by the city in order to adequately evaluate the application.

Staff response: Staff has reviewed the application for final plat approval and finds the application for a final plat does not meet any of the criteria for denial.

Findings of Fact

The Final Plat application is consistent with the Comprehensive Plan, is compliant with the zoning code, is compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities.

Staff Recommendation

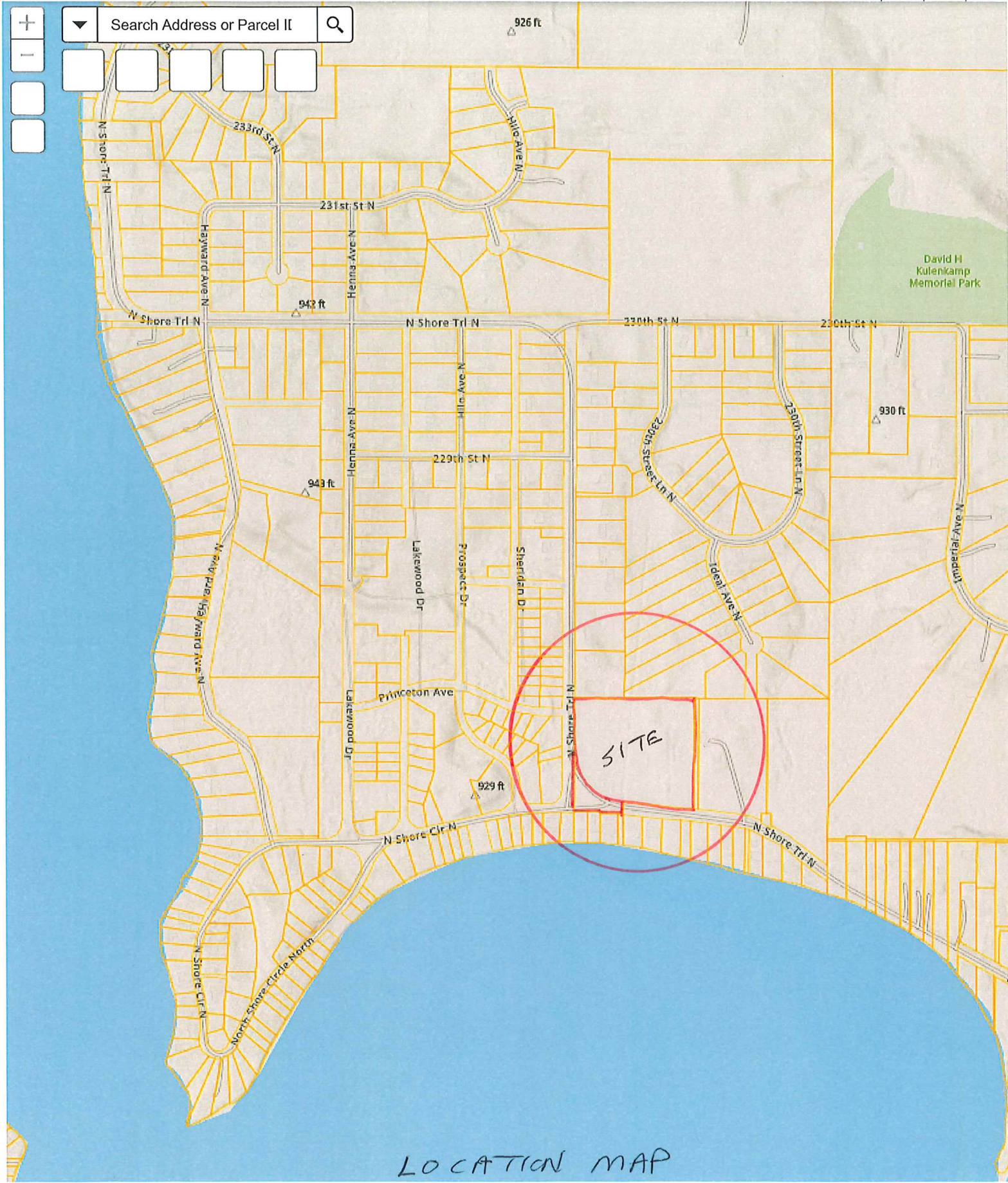
Staff recommends the Planning Commission open the public hearing, take public comments, close the hearing, and discuss the proposed preliminary and final plats. After all discussion has occurred, staff recommends the Planning Commission **move to recommend the City Council approval of the Gaiovnik Estates Preliminary Plat and Final Plat for the property located at 7902 North Shore Trail, (PID: 10.032.21.13.0030), subject to the following conditions:**

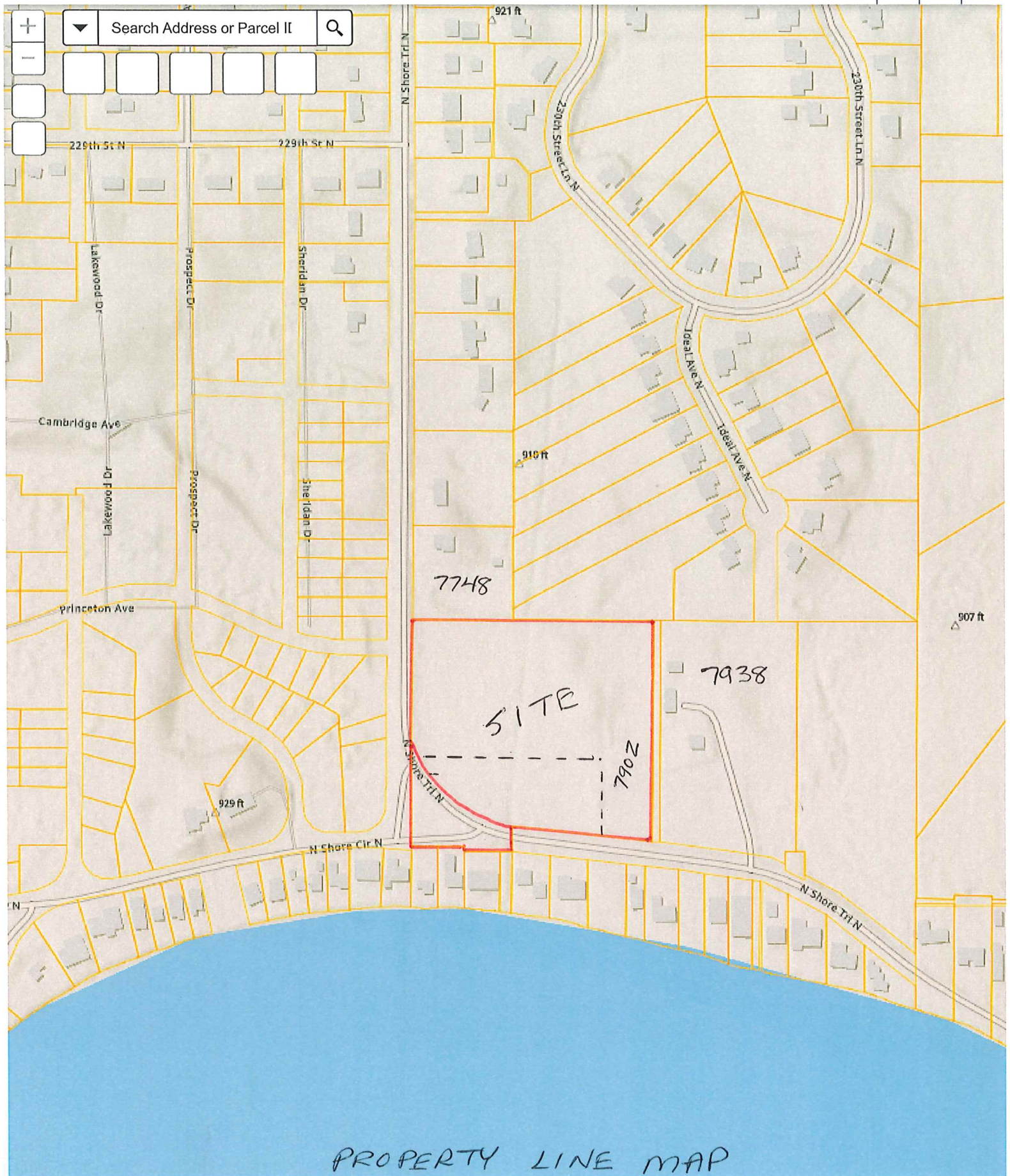
1. The applicant shall address or mitigate the concerns and the conditions of approval before the start of construction activities and before the City will issue a building permit.
2. The final plat shall clearly show the dedication of the street right-of-way for North Shore Trail.
3. The final plat shall show a 20-foot-wide drainage and utility easement along the existing sanitary sewer line that is on proposed Lot 2 (10-feet on either side of the line). (This is the sewer line that provides sanitary sewer service to each of the proposed lots).

4. The final plat shall include standard width City drainage and utility easements along all property lines and over all areas that contain wetlands, wetland buffers and drainage and stormwater facilities.
5. The applicant or owner shall complete all required agreements and shall obtain all required permits from the Comfort Lake-Forest Lake Watershed District before starting any grading or any construction activities.
6. The applicant or owner shall submit all required City-required financial guarantees to the City before starting any grading or construction activities.
7. The applicant or owner shall submit the required parkland dedication fee of \$5000.00 to the City before the City will release the final plat for recording at Washington County.
8. The City will issue building permits for each lot in conformance with the building type (WO, SOG) identified for the lot in the approved grading plan.
9. The City will require the builder for each lot to submit a grading, erosion and sediment control plan to the City and Watershed District for review and approval at the time of building permit application.
10. The owner or builder shall submit a plan to the City for each lot that shows the location of a building pad, the driveway, a driveway turn-around and a well with each building permit application. The contractor or builder of the house on Lot 1 shall place the driveway for the house as far east as possible.
11. The City shall review and approve the placement and design of all driveway culverts at the time of building permit application.
12. The City requires the applicant/owner to remove the sheds from their current location on the southwest corner of the property before the City releases the final plat for recording. If the owner wants to locate the sheds elsewhere on his property, the placement of the sheds shall be subject to City approval.
13. The applicant shall construct and install all improvements in accordance with the approved plans.
14. The Minnesota Department of Health will review and permit each private well.
15. The applicant/owner shall be responsible for coordinating and financing the extension of private utilities (electric, gas, communications) to serve each of the lots in the proposed development. All private utilities shall be installed within designated utility easements.

Attachments:

1. Location Map
2. Property Line Map
3. Aerial Photo
4. Proposed Preliminary Plat dated April 1, 2024










PROPERTY LINE MAP

300ft

-92.930 45.278 Degrees

Legend

-  City Limits
-  Parcels (1/1/2024)
-  Lot Lines
- ForestLake_2022.sid
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3







0 132 Feet

7902 North Shore Trail
**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

Legend

-  City Limits
-  Parcels (1/1/2024)
-  Lot Lines
- ForestLake_2022.sid
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3



7902 North Shore Trail



Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

0 132 Feet

PRELIMINARY PLAT

GAIOVNIK ESTATES

APPLICANT / PROPERTY OWNER:
CHRISTOPHER GAIOVNIK AND JESSICA GAIOVNIK
7902 NORTH SHORE TRAIL
PH: 651-503-5096

LEGAL DESCRIPTION:

Per Doc. No. 4249034

The Land is described as follows:

That part of Government Lot 2, Section 10, Township 32 North, Range 21 West, Washington County, Minnesota, described as follows:

Commencing at the North quarter corner of said Section 10; thence South, along the North-South quarter line of said Section 10, a distance of 1,917.3 feet; thence Easterly, deflecting 90 degrees 09 minutes to the left, 259 feet to the point of beginning of the parcel to be described; thence Westerly retracing the last described course, 259 feet to said North-South quarter line; thence South, along said North-South quarter line 598.00 feet; thence East at right angles, 259 feet, to its intersection with a line drawn parallel with and distant 259 feet East of the North-South quarter line of Section 10; thence North, along said parallel line to the point of beginning.

EXCEPT

That part of Government Lot 2, Section 10, Township 32, Range 21, Washington County, Minnesota, described as follows:

Commencing at the North Quarter corner of said Section 10; thence South 00 degrees 38 minutes 14 seconds West, assumed bearing along the north-south quarter line of said Section 10, a distance of 2499.36 feet to a set Judicial Landmark and the point of beginning of the parcel to be described; thence South 89 degrees 52 minutes 18 seconds East, 68.11 feet to a set Judicial Landmark; thence South 00 degrees 27 minutes 14 seconds West, 140.00 feet to a set Judicial Landmark; thence continuing South 00 degrees 27 minutes 14 seconds West, 13 feet, more or less, to the shoreline of Forest Lake; thence westerly along said shoreline to said north-south quarter line; thence North 00 degrees 38 minutes 14 seconds East, 8 feet, more or less, to a set Judicial Landmark; thence continuing North 00 degrees 38 minutes 14 seconds East, 140.00 feet to the point of beginning.

AND ALSO EXCEPT

That part of Government Lot 2, Section 10, Township 32, Range 21, Washington County, Minnesota, described as follows:

Commencing at the North Quarter corner of said Section 10; thence South 00 degrees 38 minutes 14 seconds West, assumed bearing along the north-south quarter line of said Section 10, a distance of 2499.36 feet; thence South 89 degrees 52 minutes 18 seconds East, 68.11 feet to a set Judicial Landmark and the point of beginning of the parcel to be described; thence continuing South 89 degrees 52 minutes 18 seconds East 67.50 feet to a set Judicial Landmark; thence South 00 degrees 27 minutes 14 seconds West, 135.04 feet to a set Judicial Landmark; thence continuing South 00 degrees 27 minutes 14 seconds West, 21 feet, more or less, to the shoreline of Forest Lake, thence westerly along said shoreline to a line which bears South 00 degrees 27 minutes 14 seconds West from the point of beginning; thence North 00 degrees 27 minutes 14 seconds East, 13 feet, more or less, to a set Judicial Landmark; thence continuing North 00 degrees 27 minutes 14 seconds East, 140.00 feet to the point of beginning.

Together with a 30-foot easement to Forest Lake from County Highway No. 2, the East line of which easement is described as follows:

Beginning at a point on the Southerly line of County Highway No. 2, which point is 2515.3 feet South and 259 feet East of the North quarter corner of said Section 10; thence South, parallel with the North-South quarter line of said Section 10, to the shore line of Forest Lake and there terminating. The above easement to be non-exclusive and to be used in conjunction with others having the right to use the same, Washington County, Minnesota.

And

That part of Government Lot 2, Section 10, Township 32 North, Range 21 West, Washington County, Minnesota, described as follows:

Commencing at the North quarter corner of said Section 10; thence South (South 0 degrees 00 minutes) along the quarter section line a distance of 2515.3 feet; thence East (North 90 degrees 00 minutes East) along the Southerly line of the county road a distance of 259 feet; thence South 82 degrees 32 minutes East along said Southerly road line a distance of 595.7 feet; thence North (0 degrees 00 minutes), crossing said county road, a distance of 66.56 feet; thence continuing North a distance of 596 feet; thence West (North 90 degrees 00 minutes West) a distance of 200 feet to the point of beginning; thence continuing West (North 90 degrees 00 minutes West) a distance of 390 feet, more or less, to a point distant 259 feet East (North 90 degrees 00 minutes East) of said quarter section line; thence South (0 degrees 00 minutes), parallel with said quarter section line, a distance of 513.2 feet, more or less, to the Northerly line of said county road; thence Southeasterly along said Northerly line to a point which lies South (0 degrees 00 minutes) of the point of beginning; thence North (0 degrees 00 minutes) a distance of 569.79 feet to the point of beginning;

EXCEPT the East 21 feet of the above described tract, Washington County, Minnesota.

Abstract Property

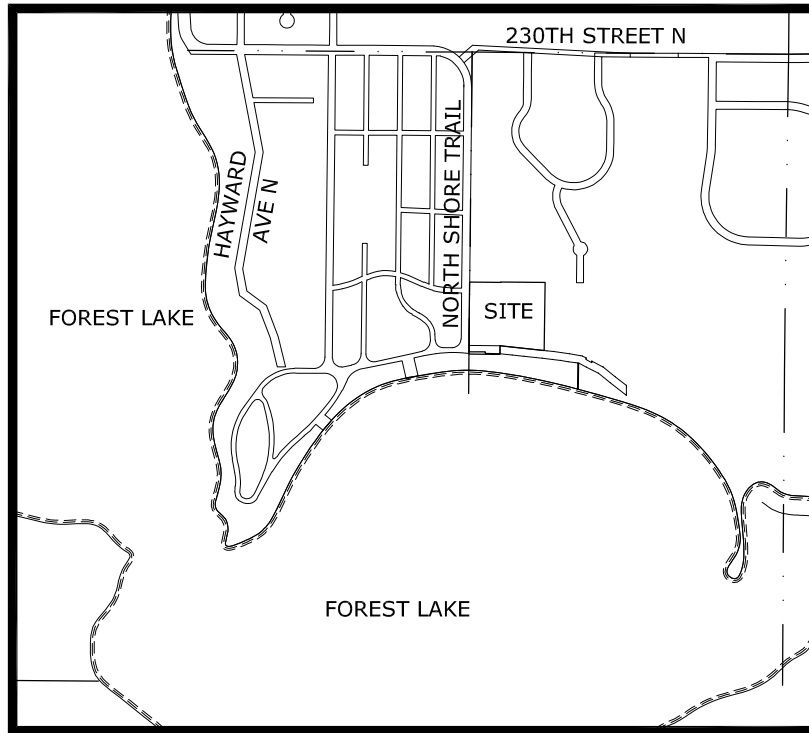
VICINITY MAP

PART OF SEC. 10, TWP. 32, RNG. 21

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

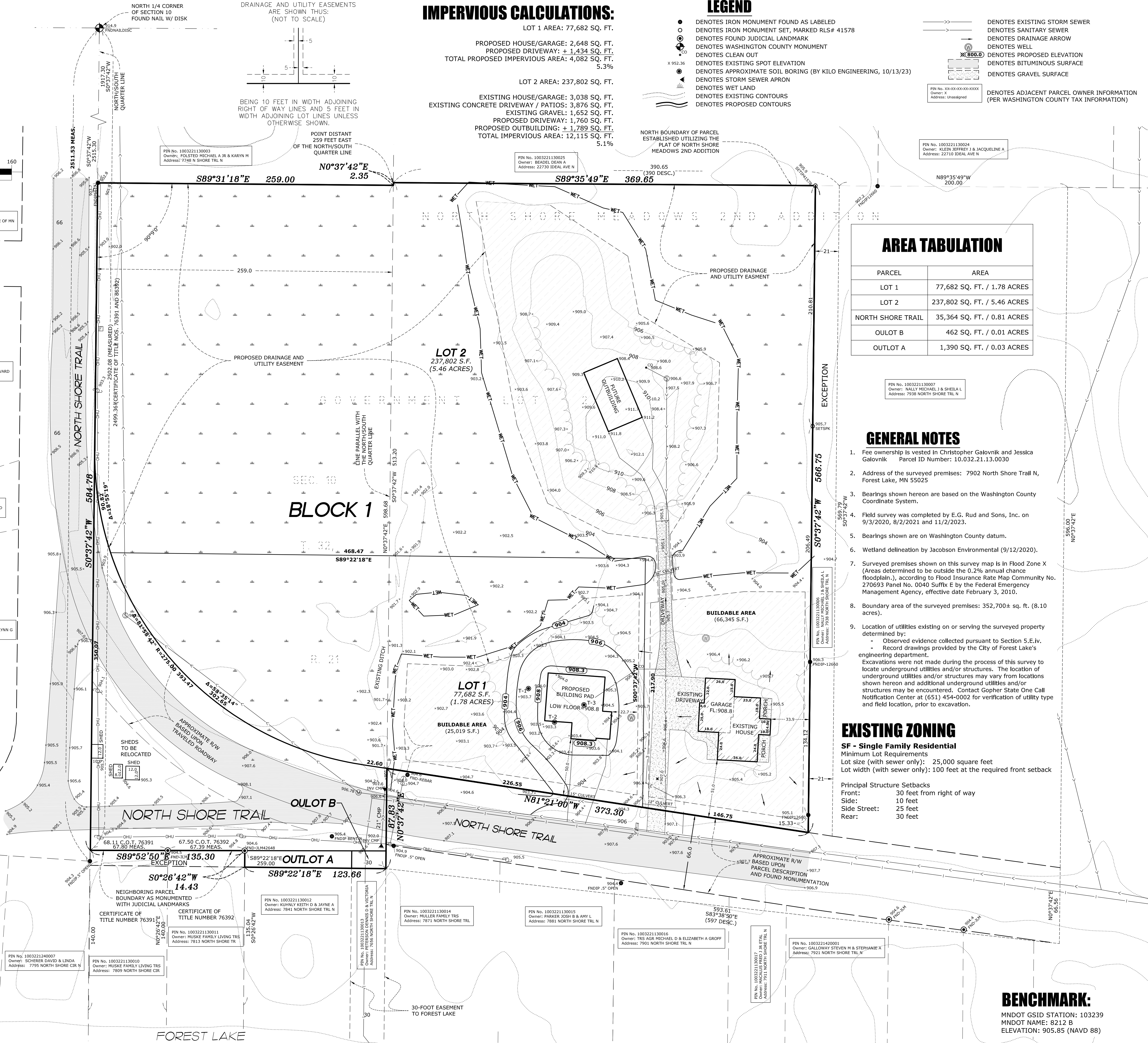
JASON E. RUD
Date: 4/1/2024 License No. 41578

DRAWN BY:	BPN	JOB NO:	201025BT	DATE:	3/21/2024
CHECK BY:	JER	FIELD CREW:	RW/MR		
1	3/26/2024	CITY COMMENTS	BPN		
2	4/1/2024	AREA TABULATION	BPN		
3					
4					



WASHINGTON COUNTY, MINNESOTA
(NO SCALE)

E.G. RUD & SONS, INC.
EST. 1977
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701





Date: May 8, 2024

To: City of Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: **Revised Site Plan Approval – Washington County Northern Environmental Center (WCNEC)**

Applicant: Washington County

Location: 6065 Headwaters Parkway (East Side of Highway 61 at Headwaters Parkway)

Zoning District: I – Industrial

Land Use Plan Designation: Public/Institutional

60-Day Deadline: June 6, 2024

Introduction

Burns and McDonell, representing Washington County, has submitted an application to the City of Forest Lake for City approval of revised site plans for the Washington County Northern Environmental Center. They are making this request as Washington County is now proposing to construct Headwaters Parkway, east of Highway 61 to provide public street access to their facility. The City is requiring the County to submit this application as the City did not approve final street construction and related plans for Headwaters Parkway in 2023 with the initial requests for this facility.

Please see attached the applicant's project statement, maps and plans for more information about this request.

Background

On August 9, 2023, the Planning Commission reviewed the proposed preliminary and final plats, the conditional use permit and the site and project plans for the Northern Environmental Center as proposed by Washington County. The Planning Commission recommend City Council approval of the proposed plats, subject to conditions and they approved the conditional use permit and the project plans for the facility.

On August 28, 2023, the City Council approved the preliminary and final plats for the Washington County Northern Environmental Center. This final plat created the new property lines and street right-of-way for the extension of Headwaters Parkway the County is proposing to construct.

General Project Description (from the applicant):

The **Washington County Northern Environmental Center (WCNEC)** will offer the same services as the current County facility in Woodbury (Southern Environmental Center), with opportunities to expand and grow to meet the ever-changing needs of the population. The facility will accept household hazardous

waste, electronics waste for recycling and full-service recycling consisting of single stream materials (i.e., paper, cans and bottles, and cardboard, plastics). The full-service model will also collect specialty recycling such as scrap metal, plastic bags, campaign signs, medical sharps, and microwave ovens. This full-service facility will also have the ability to offer small business hazardous waste collections with a full-service Very Small Quantity Generator (VSQG) collection program. The full-service model will include a Free-Product Room and a servable meeting room that would serve as a base to hold tours for community groups and provide educational programming.

This greenfield site development and building construction project will provide critical recycling services for residents in the north metro. The new facility will provide residents with a safe way to dispose of HHW (household hazardous waste) and Electronics along with providing bulk recycling services for materials such as scrap metals, cardboard, and plastics.

Full-Service drive lane collection of allowable hazardous materials and electronics will be provided. It also will allow non-hazardous materials (i.e., cardboard and scrap metals) can be dropped off via drive up, self-service bulk recycling bin collection. The site also will provide self-serve Yard Waste collection and Organic Waste collection services.

The building will have a Free Product Room to help avoid costly incineration and other disposal costs by offering usable products, such as paints, household cleaners, and automotive supplies, to residents for free.

The new facility will support the County's Public Health Emergency Preparedness program. Supplies and equipment for public health emergencies will be stored at the WCNEC as well as the option for a mobile deployment trailer. The WCNEC would be used for staging, receiving, or shipping supplies and equipment and could be a staff rally point in the event of a public health emergency.

Additionally, the WCNEC facility will have a regular schedule of secure paper shredding events where residents can bring personal documents for destruction and recycling. The WCNEC facility supports the county's Community Environmental Resource Team. This team will utilize the meeting room in the WCNEC for training or education programs on recycling and waste management.

Regulatory Framework and Discussion

Public Street Improvements

The County and City have agreed that the proposed entrance driveway along Highway 61 will be a public street as it will serve the site of the Northern Environmental Center and the City-owned property to the north. This street right-of-way is shown as Headwaters Parkway on the proposed project plans. Washington County will be constructing the extension of Headwaters Parkway from the existing intersection at Highway 61 to the north property line of their site.

The proposed site access onto Highway 61 at Headwaters Parkway requires review and approval from the Minnesota Department of Transportation (MnDOT) as Highway 61 is a State Highway. The County and their consultants are working with MnDOT to finalize all the project plans and design details the State will require for this project. The City approval of the revised site and project plans should be contingent upon the State of Minnesota approving the project plans.

Trails and Sidewalks

The applicant is not proposing any public sidewalk construction with Headwaters Parkway and the Northern Environmental Center. The County is proposing to construct a ten-foot-wide bituminous trail along the west side of Headwaters Parkway from the intersection at Highway 61 to the north property line of the project site. The final design of Headwaters Parkway and the trail will be subject to the approval of the City Engineer.

Wetlands

The County had a wetland delineation completed for the property in 2021. This delineation found three wetlands on the property with a total acreage of about 7.3 acres. The project's design team showed all the wetlands on the proposed preliminary plat and project plans along with the proposed buffer areas and setbacks for each wetland. The applicant will need to provide the Watershed District and the City verification that the proposed plans for Headwaters Parkway will meet the buffer requirement.

Design Review

Landscaping – City Code Sections 153.135 and 153.136 outline the minimum landscaping requirements for multi-family, commercial and industrial projects in Forest Lake. An assessment of required vs. proposed plantings is below:

Planting requirements	Site Perimeter = 4,541 linear feet	
	Required	Proposed
Overstory Trees	151	64
Understory trees/shrubs	454	81

The City's usual landscaping requirements are based on a measurement of the perimeter of the parcel. The Linear feet of the site's perimeter is measured and then divided by 30 and 10 to arrive at the required number of overstory trees and understory trees/shrubs respectively. The City typically uses these standards for new construction or for major site improvements to an existing property.

The applicant is proposing to plant a variety of shade trees, evergreen trees, ornamental trees, shrubs and ornamental grasses around the proposed buildings, parking lots and drive aisles. The overall project plans also show the other parts of the site the grading and construction will disturb will be reseeded or have sod installed.

With the large size of the parcel and the wetlands on the property, the 28.8-acre site does not lend itself to having the applicant install the typical or required number of trees and shrubs. Much of the perimeter of the site will remain undisturbed by this facility. It appears to City staff the proposed size and types of landscaping materials will complement and enhance the property.

The updated overall landscape plan included with this request shows the planting of 13 trees along the south side of Headwaters Parkway just east of Highway 61. The proposed trees include 7 Norway Spruce and 6 Serviceberry trees. The intent of the proposed tree planting in this area is to provide adequate screening that is at least 90 percent opaque all year to screen the houses to the south from the new street and parking areas.

City staff reviewed the proposed tree planting and found that it probably does not meet the 90 percent opaque screening requirement. Staff recommends the City require the applicant revise the planting plans by removing the 3 proposed eastern-most Serviceberry trees and replacing them with 4-5 Austrian Pines or Norway Spruce trees to help ensure there will be adequate screening that is at least 90 percent opaque all year to screen the houses to the south from the new street.

Lighting Plan – Lighting standards for commercial and industrial properties are established in City Code Section 153.130. The applicant submitted a street lighting plan with their requests. This plan shows the County installing five Domus style 19.5 foot-tall streetlights by Connexus Energy along the west side of the Headwaters Parkway. The City Engineer has approved this street lighting plan.

Signage – The applicant is proposing to install one entry monument sign to be located near the intersection of Headwaters Parkway and the driveway into the facility. This sign will require a building permit and a sign permit from the City before the contractor installs it.

The County will be responsible for installing all required street and directional signage with the construction of Headwaters Parkway.

Site Plan Considerations for Approval

City Code Sections 153.038(E)(6) and (F)(2) provide the following criteria for the Planning Commission and City Council to consider when evaluating whether to approve major changes to an approved a site plan. Staff assessment is provided in *italics*.

- a) Consistency with the City Comprehensive Plan;

The proposed use and site plan changes are consistent with the City's adopted 2040 Comprehensive Plan.

- b) Compliance with the Zoning Ordinance;

The proposed changes to the approved plans for the Northern Environmental Center including the street improvements for Headwaters Parkway will be consistent with the City's adopted zoning ordinance.

- c) The preservation of the site in its natural state to the extent practicable by minimizing tree loss, soil removal, and grading;

Site development will not substantially detract from existing development in the area. The proposed improvements will alter the natural state of a portion of the property. The proposed facility and street improvements will be preserving the existing wetlands and most of the significant trees on the property. The applicants will be required to install a storm water management system that meets current City and Watershed District standards.

- d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulations; and

The proposed changes to the approved site plan for the Washington County Northern Environmental Center will be consistent with the City requirements for traffic circulation, yard areas, landscaping, screening, lighting, and the like with the changes as recommended by City staff.

- e) The protection of adjacent and neighboring properties.

City staff do not expect neighboring properties to be adversely impacted by the proposed changes to the approved site plan for the Northern Environmental Center. The nearby property owners should be adequately protected by the proposed hours of operation, the design of Headwaters Parkway and the requirements for screening and landscaping.

Staff Analysis

City Engineer's Comments:

The City Engineer provided the City with a review memo dated April 22, 2024 about this proposal. Most of his comments appear technical in nature and should not significantly change the project plans. City staff has shared these comments with the applicant and the project engineer. The City will require the applicant to revise the project plans, construct the project and install all site improvements subject to the review and approval of the City Engineer.

Fire Chief Comments:

Fire Chief Newman did not have comments about this proposal.

Rice Creek Watershed Review:

This property is in the Rice Creek Watershed District. The applicant submitted an application and plans to the Watershed District earlier this year for their approval. The Watershed District will need to approve the final project plans and issue a permit before the contractor starts the construction of Headwaters Parkway.

Findings

Staff has reviewed the application for the revised site plan approval for the Northern Environmental Center. The proposed revised site plan meets the City design requirements which details the following: location of the bituminous parking area, curbing and stormwater management, screening, striping, lighting, and landscaping. Additionally, with proper conditions, the proposed project conforms to standards set forth for the granting approval of the revised Site Plan.

Recommendation

City staff recommends the Planning Commission recommend to the City Council **approval of the revised site and project plans for Washington County Northern Environmental Center (dated March 15, 2024 and April 8, 2024) for the property located at 6065 Headwaters Parkway, subject to the following conditions:**

1. The final plans shall conform to those reviewed and conditionally approved as part of this City Case Number PZ 23-1211.
2. Prior to the release of the Certificate of Occupancy by the City for the facility, Washington County shall obtain final approval for the proposed extension of Headwaters Parkway from

- MnDOT, a City Development Agreement amendment shall be made and the County shall have installed all public improvements included with the extension of Headwaters Parkway.
3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
 4. The requirements of the City Engineer (as noted in his project review memo dated April 22, 2024), Public Works Director, and Fire Chief must be met before or during the construction of the extension of Headwaters Parkway.
 5. The final design of Headwaters Parkway and the trail will be subject to the approval of the City Engineer.
 6. All building, site, grading, street, sidewalk, landscaping, driveway and parking lot improvements shall be constructed in accordance with the plans approved by the City with the 2023 Site Plan Review and this revised Site Plan Review
 7. Washington County shall be responsible for all costs related to the design, construction, installation and inspection of all elements for the extension of Headwaters Parkway, including but not limited to, street and turn-lane construction, grading and drainage improvements, landscaping, lighting, signage and modifications to the traffic signal system, as approved by the City and by the Minnesota Department of Transportation.
 8. The applicant or owner shall receive all permits and approvals from the City, the Minnesota Department of Transportation, and the Rice Creek Watershed before starting any grading or construction activity for the extension of Headwaters Parkway.
 9. The City Attorney shall prepare an amendment for the development agreement for the project that shall be fully executed by the City and the Applicant including all required financials and charges. This agreement shall be completed and recorded at Washington County before the applicant or contractor starts any grading or construction activity for the extension of Headwaters Parkway.
 10. All required City financial guarantees shall be submitted and approved by the City before the contractor starts any grading or construction activity for the extension of Headwaters Parkway.
 11. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
 12. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on Forest Boulevard (Highway 61).
 13. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. The height of any the freestanding lighting or street poles shall not exceed 25 feet.
 - b. All light fixtures shall be downlit and/or shielded to prevent glare.
 - c. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - d. Changes to the proposed landscape plan as may be required by the City.
 - e. A revised landscaping/screening plan for the south end of the site (south of Headwaters Parkway) that removes the 3 proposed eastern-most Serviceberry trees and replaces them with 4-5 Austrian Pines or Norway Spruce trees. This change is to help ensure there will be adequate screening that is at least 90 percent opaque all year to screen the houses to the south from the new street and the Northern Environmental Center.
 - f. That the proposed plans will meet the minimum wetland buffer requirements.

13. The applicant or contractor shall hold a preconstruction meeting before starting any construction or grading activity for the extension of Headwaters Parkway. The applicant or owner shall invite representatives from the City, MnDOT, the Watershed District and the private utility companies as noted on the project plans to this meeting.
14. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.
15. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Applicant's Project Statement dated March 15, 2024
2. Location Map
3. Property Line Map
4. Aerial Photo
5. Approved Final Plat
6. Project Plans (15 Pages)



March 15, 2024

City of Forest Lake
1408 Lake Street South
Forest Lake, MN 55025

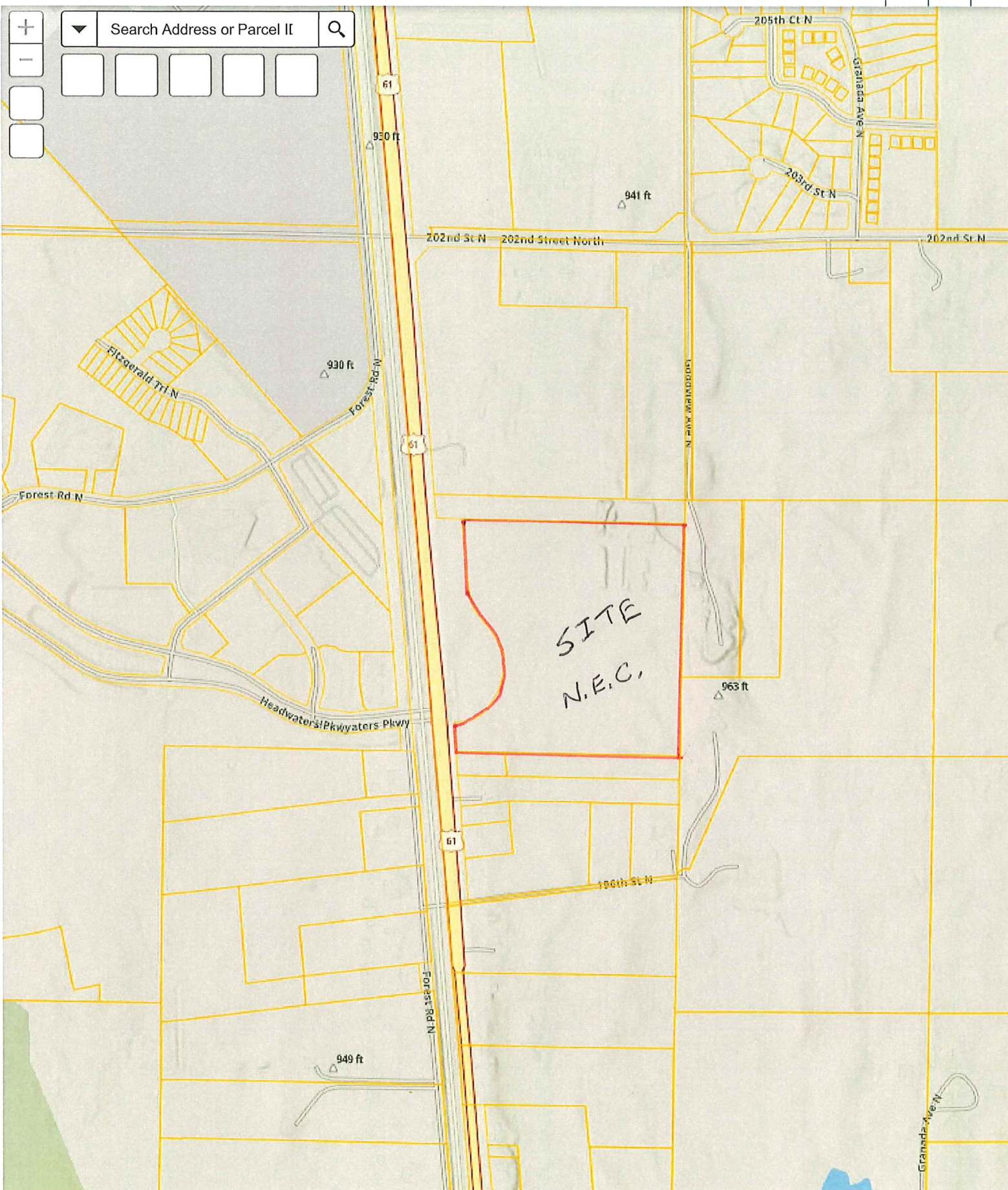
Re: SP S23-012 on TH 61 Site Plan Application

General Project Description

This project includes the addition of a fourth roadway leg at the existing intersection of Headwaters Pkwy and TH 61. The new leg will be on the east side of the intersection and will serve as an access road for the future Washington County Northern Environmental Center. South of the intersection, a 630 foot right turn lane will be added to NB TH 61 south of the proposed access road. North of the intersection, the existing lane configurations will be reconfigured with shoulder widening and new pavement markings.

This project will service Washington County's new Northern Environmental Center (NEC), which is being constructed on the east side of TH-61, just north of Headwaters Pkwy. The NEC will service the local community's environmental needs including household hazardous waste and yard waste. The intersection and roadway improvements will accommodate peak hour traffic demands to access the NEC facility and provide a multi-use path for the community.

The project's geometric design takes into account the turning movements of trucks driving to and from the future Washington County Northern Environmental Center. Traffic counts were collected on March 15, 2023 to determine future traffic requirements including number of lanes and signal layout. The proposed entrance/exit for the access road is classified as a commercial entrance, according to the city of Forest Lake's 2022 Public Works and Engineering Standards. The design speed for the access road is 25 mph and the design vehicle is a WB-62.





-92.965 45.238 Degrees

PROPERTY LINE MAP

I want to...

Tools



2022 Co...

0 150 300ft

WASHINGTON COUNTY NORTHERN ENVIRONMENTAL CENTER

KNOW ALL PERSONS BY THESE PRESENTS: that City of Forest Lake, a Minnesota municipal corporation, owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

The North Half of the Northeast Quarter of Section 29, Township 32, Range 21, except therefrom those parts taken for highway and railroad right-of way.

AND

That part of the South half of the Southeast Quarter (S 1/2 of SE 1/4) Section Twenty (20), Township Thirty-two (32) North, Range Twenty-one (21) West, Washington County, Minnesota, lying south of the north 660 feet, lying west of the east 300 feet and lying easterly of the easterly right-of-way line of Forest Boulevard North (a.k.a. Highway No. 61).

AND: that Washington County, a Minnesota body corporate and politic, owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the North 660 feet of the South Half of the Southeast Quarter of Section 20, Township 32 North, Range 21 West, Washington County, Minnesota, lying West of the East 300 feet, lying Easterly of the Easterly right-of-way line of Forest Boulevard North (a/k/a U.S. Highway 61) and lying South of the South line of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 71 (a/k/a County Road 50); excepting therefrom the North 342.64 feet of the West 658.73 feet of the East 958.73 feet of said South Half of the Southeast Quarter.

Have caused the same to be surveyed and platted as **WASHINGTON COUNTY NORTHERN ENVIRONMENTAL CENTER** and does hereby donate and dedicate to the public for public use the public ways, as shown on this plat, and also dedicate the easements as created by this plat for drainage and utility purposes only.

In witness whereof said City of Forest Lake, a Minnesota municipal corporation, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

CITY OF FOREST LAKE

By _____

Its _____

STATE OF _____
COUNTY OF _____
The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by _____, Its _____ of City of Forest Lake, a Minnesota municipal corporation, on behalf of the corporation.

(Signature) (Name Printed)

Notary Public, _____ County, _____

My Commission Expires _____

In witness whereof said Washington County, a Minnesota body corporate and politic, has caused these presents to be signed by its proper officer this _____ day of _____, 20_____.

WASHINGTON COUNTY

By _____

Its _____

STATE OF _____
COUNTY OF _____
The foregoing instrument was acknowledged before me on this _____ day of _____, 20_____, by _____, Its _____ of Washington County, a Minnesota body corporate and politic, on behalf of the corporation.

(Signature) (Name Printed)

Notary Public, _____ County, _____

My Commission Expires _____

I hereby certify that I have surveyed and platted or directly supervised the survey and platting of the property described on this plat as **WASHINGTON COUNTY NORTHERN ENVIRONMENTAL CENTER**; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year; that all water boundaries and wet lands as defined in MS Section 505.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this _____, day of _____, 20_____

Chris Ambourn, Licensed Land Surveyor
Minnesota License No. 43055

STATE OF MINNESOTA
COUNTY OF _____
The foregoing Surveyor's Certificate was acknowledged before me on this _____ day of _____, 20_____, by Chris Ambourn, Licensed Land Surveyor, Minnesota License No. 43055.

(Signature) (Name Printed)

Notary Public, _____ County, Minnesota

My Commission Expires _____

CITY OF FOREST LAKE, MINNESOTA
This plat was approved by the City Council of the City of Forest Lake, Minnesota on this _____ day of _____, 20_____, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

By _____ By _____
Mayor City Administrator

WASHINGTON COUNTY SURVEYOR
Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved on this _____ day of _____, 20_____.

By _____ By _____
Washington County Surveyor

WASHINGTON COUNTY AUDITOR/TREASURER
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20_____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer has been entered on this _____ day of _____, 20_____.

By _____ By _____
Washington County Auditor/Treasurer Deputy

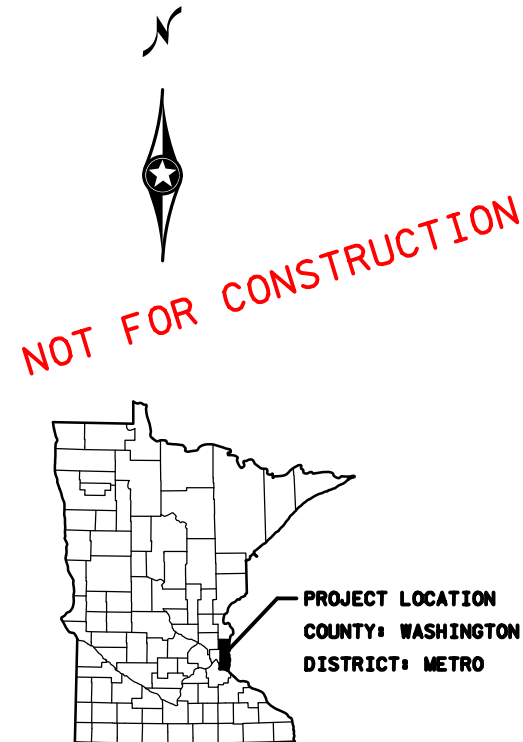
WASHINGTON COUNTY RECORDER
Document Number _____
I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this _____ day of _____, 20_____, at _____ o'clock _____M., and was duly recorded in Washington County Records.

By _____ By _____
Washington County Recorder Deputy

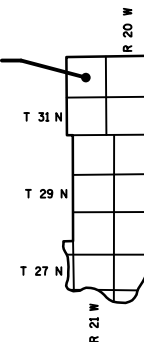


COUNTY PROJ. NO. S23-012

S.P. 8206-60 LOCATED ON TH 61 (FOREST BLVD N) FROM 720 FT SOUTH OF HEADWATERS PKWY TO 660 FT NORTH OF HEADWATERS PKWY



PROJECT LOCATION
SECTION: 29
TOWNSHIP: 32 N
RANGE: 21 W



WASHINGTON COUNTY

TRAIL DESIGN DESIGNATION:
DESIGN SPEED (MPH):25.....
BASED ON .4.5.. FT HEIGHT OF EYE
AND .0.0 FT HEIGHT OF OBJECT
DESIGN SPEED NOT ACHIEVED AT: N/A

DESIGN DESIGNATION TH 61 HEADWATERS PKWY
S.P. 8206-60

GROSS LENGTH.....	1382.98 FT. = 0.262 MILES	857.30 FT. = 0.162 MILES
BRIDGES-LENGTH.....	N/A	N/A
EXCEPTIONS LENGTH.....	N/A	N/A
NET LENGTH.....	1382.98 FT. = 0.262 MILES	857.30 FT. = 0.162 MILES
REF. POINT.....	157+00.796 TO 158+00.103	10+00.00

ADT (CURRENT YEAR) 2023	19,000	0
ADT (FUTURE YEAR) 2040	27,000	110
D (DIRECTIONAL DISTRIBUTION)	50%	50%
HEAVY COMMERCIAL	2.5%	4.6%
ESALS	1,279,219	35,732
DESIGN SPEED	55 MPH	25 MPH
BASED ON SIGHT DISTANCE	STOPPING	STOPPING
HEIGHT OF EYE / HEIGHT OF OBJECT	3.5-FT / 2.5-FT	3.5-FT / 2.5-FT
FUNCTIONAL CLASS	MINOR CONNECTOR	COMMERCIAL ENTRANCE
NO. OF TRAFFIC LANES	2 (12-FT)	2 (12.5-FT)
NO. OF PARKING LANES	0	0
SHOULDER WIDTH	4-FT	N/A
TON DESIGN	9	10
DESIGN SPEED NOT ACHIEVED AT	N/A	N/A
GOVERNING STANDARDS & SPECS.	MNDOT	CITY OF FOREST LAKE

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/UESI/CI 38-22, ENTITLED "STANDARD GUIDELINES FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES".

4

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN TH 61 IMPROVEMENTS. THE CITY OF FOREST LAKE, MN 2023 STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN THE NEW HEADWATERS PARKWAY IMPROVEMENTS.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST EDITION OF THE FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL LAYOUT
3	STATEMENT OF ESTIMATED QUANTITIES
4	SOILS & CONSTRUCTION NOTES & STANDARD PLATES
5	EARTHWORK TABULATION & SUMMARY
6	TABULATIONS
7	INPLACE UTILITY PLAN & TABULATIONS
8 - 9	TYPICAL SECTIONS
10 - 22	STANDARD PLANS
23 - 34	CONSTRUCTION STAGING & TRAFFIC CONTROL PLAN
35	ALIGNMENT PLAN & TABULATIONS
36	INPLACE TOPOGRAPHY
37 - 39	REMOVAL PLAN
40	CONSTRUCTION PLAN
41 - 42	CONSTRUCTION PLAN DETAILS
43	CONSTRUCTION PROFILES
44	DRAINAGE PLAN
45 - 47	DRAINAGE TABULATIONS & PROFILES
48	ENVIRONMENTAL MANAGEMENT PLAN
49 - 50	STORM WATER POLLUTION PREVENTION PLAN & NOTES
51	TEMPORARY EROSION CONTROL PLAN
52	TURF ESTABLISHMENT PLAN
53	LANDSCAPING PLAN
54 - 59	PAVEMENT MARKING PLAN
60 - 77	TRAFFIC CONTROL SIGNAL SYSTEM PLAN
78	AS BUILT INTERSECTION LAYOUT
79 - 88	SIGNING PLAN
89	CROSS SECTION LAYOUT
90 - 100	CROSS SECTIONS

THIS PLAN CONTAINS 100 SHEETS.

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: MARK TUCH, PE
LICENSE NO.: 62016

DIGITAL SIGNATURE

APPROVED: FOREST LAKE,
CITY ENGINEER

DIGITAL SIGNATURE

APPROVED: WASHINGTON COUNTY,
COUNTY ENGINEER

DIGITAL SIGNATURE

RECOMMENDED FOR APPROVAL:
DISTRICT TRANSPORTATION ENGINEER

DIGITAL SIGNATURE

S.P. 8206-60 (T.H. 61 = 001)

SHEET 1 OF 100 SHEETS

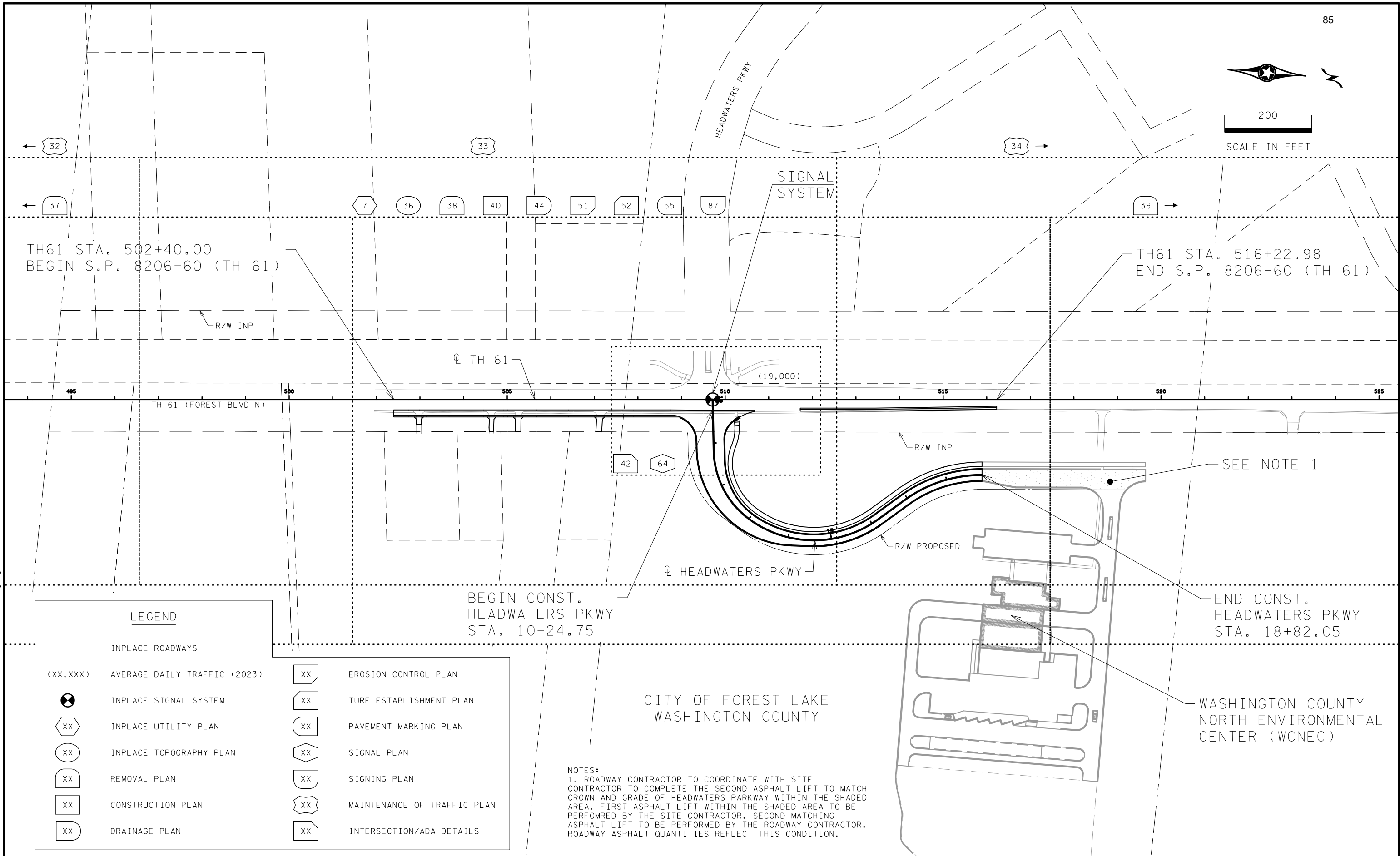
PLOTTED/REVISED: 15-MAR-2024

PLOT NAME: 139156_tsh

FILENAME: MnDOT\39156_HHW\NorthFac\Cadd\Sheets\Roads\General\39156_tsh.dgn

PLOTTED/REVISED: 15-MAR-2024

I/PLOT NAME: 139156.gi
FILENAME: M:\DOT\139156_JHH\NorthFac\Cadd\Streets\Roads\General\139156.gi.dgn



BY	DATE	REVISIONS



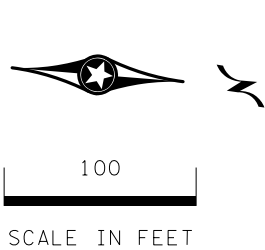
GENERAL LAYOUT

S.A.P. NO.	DRAWN BY:	CKD BY:	DATE: 3-15-24
CERTIFIED BY	LIC. NO.	DATE:	
STATE PROJ.NO. 8206-60 (T.H. 61) SHEET NO. 2 OF 100 SHEETS			

PLOTTED/REVISED: 15-MAR-2024

IPLOT NAME: 139156_top_1np
FILENAME: M:\DOT\139156_JHW\NorthFac\Cadd\Streets\Roads\General\139156_top_1np.dgn

NOTE: FOR INPLACE UTILITIES AND DRAINAGE,
SEE INPLACE UTILITIES PLAN SHEET.



86



BY	DATE	REVISIONS

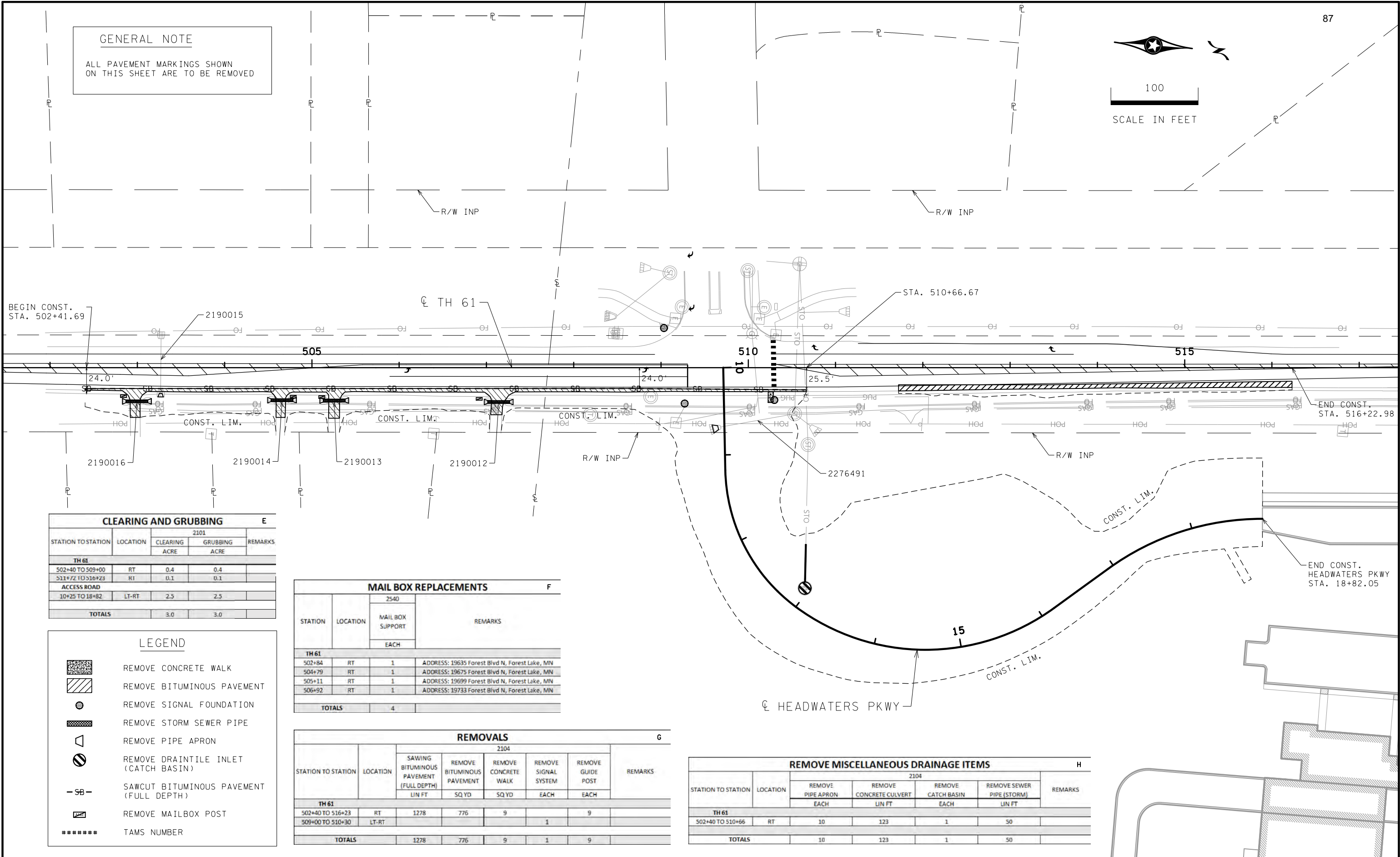


INPLACE TOPOGRAPHY PLAN

S.A.P. NO.	DRAWN BY:	CKD BY:	DATE: 3-15-24
CERTIFIED BY _____	LIC. NO. _____	DATE: _____	
STATE PROJ.NO. 8206-60 (T.H. 61) SHEET NO. 36 OF 100 SHEETS			

PLOTTED/REVISED: 15-MAR-2024

IPLOT NAME: 139156_rem-02
FILENAME: MnDOT\39156_JHWNorthFocCadd\Streets\Roads\Removal\39156_rem-02.dgn



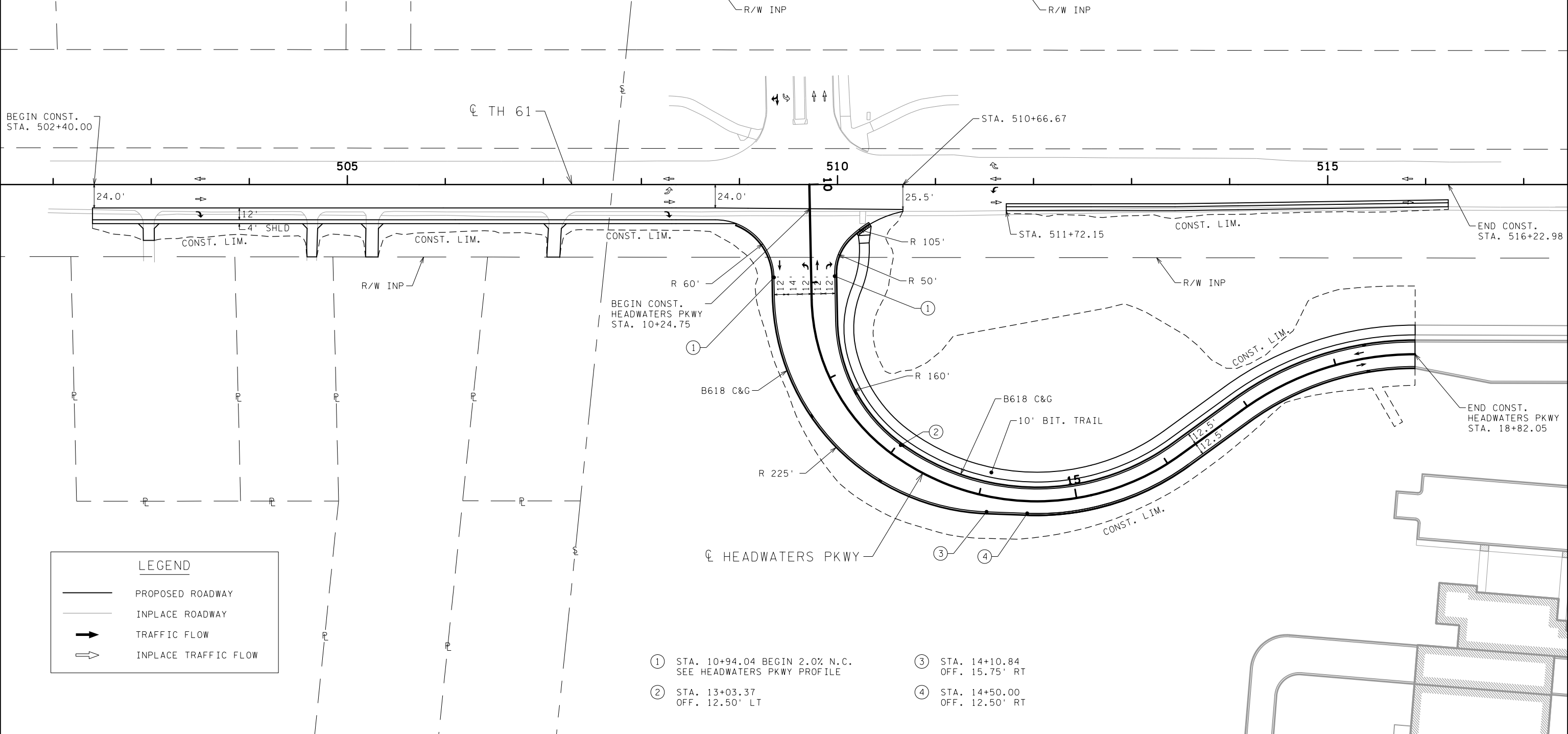
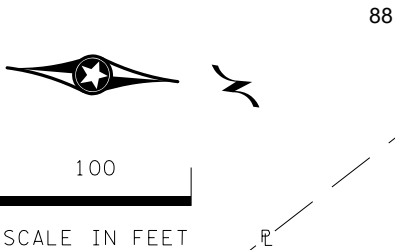
BY	DATE	REVISIONS	<div>BURNS MCDONNELL</div>	REMOVAL PLAN	S.A.P. NO.	DRAWN BY:	CKD BY:	DATE: 3-15-24
					CERTIFIED BY _____	LIC. NO. _____	DATE: _____	
					STATE PROJ.NO. 8206-60 (T.H. 61) SHEET NO. 38 OF 100 SHEETS			

PLOTTED/REVISED: 15-MAR-2024

IPLOT NAME: 139156.op
FILENAME: M:\DOT\139156_JHW\NorthFac\Cadd\Streets\Roads\Roadway\139156_op.dgn

WALKS, CURB & GUTTER, AND DRIVEWAYS											I
STATION TO STATION	LOCATION	2108	2521		2531						REMARKS
		GEOTEXTILE FABRIC TYPE 5	3" BITUMINOUS WALK	6" CONCRETE WALK	CONCRETE CURB AND GUTTER DESIGN B618	CONCRETE CURB AND GUTTER DESIGN R418	8" CONCRETE DRIVEWAY PAVEMENT	CONCRETE CURB AND GUTTER	TRUNCATED DOMES		
									RADIAL		
		SQ YD	SQ FT	SQ FT	LIN FT	LIN FT	SQ YD	LIN FT	SQ FT	RADIUS	
TH 61											
502+92 TO 503+03	RT						24				ADDRESS: 19635 Forest Blvd N, Forest Lake, MN
504+59 TO 504+70	RT						43				ADDRESS: 19675 Forest Blvd N, Forest Lake, MN
505+19 TO 505+32	RT						51				ADDRESS: 19699 Forest Blvd N, Forest Lake, MN
507+05 TO 507+18	RT						53				ADDRESS: 19733 Forest Blvd N, Forest Lake, MN
HEADWATERS PKWY											
10+39 TO 18+82	RT				904						
10+40 TO 18+82	LT				817						
10+42 TO 18+82	LT	889	7815	185					17	32	103
TOTALS		889	7815	185	1721	0	171		17	32	

BITUMINOUS AND AGGREGATE SUMMARY								J
STATION TO STATION	LOCATION	2108	2331	2221	2360		REMARKS	
		GEOTEXTILE	JOINT ADHESIVE	AGGREGATE	TYPE SP 12.5	TYPE SP 12.5		
		FABRIC		BASE (CV)	WEARING COURSE	NON-WEARING COURSE		
		TYPE 5		CLASS 5	MIXTURE (3,C)	MIXTURE (3,B)		
		SQ YD	LIN FT	TON	TON	TON		
TH 61								
502+40 TO 509+00	RT	1168	827	396	318			
511+72 TO 516+23	RT	351	451	128	96			
HEADWATERS PKWY								
10+25 TO 18+82	LT-RT	3765		2905	717	410		
BEYOND 18+82	LT-RT				131		SECOND LIFT FOR WCNEC (SEE GENERAL LAYOUT SHEET)	
TOTALS		5284	1278	3429	1262	410		



- ①

STA. 10+94.04 BEGIN 2.0% N.C.
SEE HEADWATERS PKWY PROFILE
- ②

STA. 13+03.37
OFF. 12.50' LT
- ③

STA. 14+10.84
OFF. 15.75' RT
- ④

STA. 14+50.00
OFF. 12.50' RT

BY	DATE	REVISIONS	BURNS MCDONNELL	CONSTRUCTION PLAN	S.A.P. NO.	DRAWN BY:	CKD BY:	DATE: 3-15-24
					CERTIFIED BY _____	LIC. NO. _____	DATE: _____	
					STATE PROJ.NO. 8206-60 (T.H. 61) SHEET NO. 40 OF 100 SHEETS			

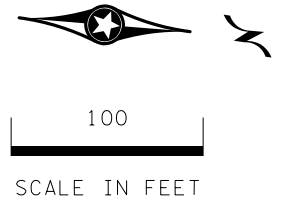
PLOTTED/REVISED: 5-APR-2024
 I/PLOT NAME: 139156-dr-02
 FILENAME: M:\DOT\139156_H\NorthFac\Cadd\Streets\Roads\Drainage\139156_dr-02.dgn

GENERAL NOTES

ALL HIGH AND LOW POINTS ARE GIVEN ON THE
 ROADWAY PROFILE GRADE.

 SEE TYPICAL SECTIONS AND CROSS SECTIONS FOR
 PROPOSED DITCH INFORMATION AND LOCATIONS. SEE
 ROAD PROFILES FOR SPECIAL DITCH GRADES.

 SUBSURFACE DRAINS ARE DRAWN SCHEMATICALLY FOR
 CLARITY. SEE MNDOT STANDARD PLANS AND TYPICAL
 SECTIONS FOR INSTALLATION INFORMATION. SEE
 SUBSURFACE DRAINAGE TABULATION FOR STRUCTURE
 CONNECTIONS AND QUANTITIES.



89

CL TH 61

505

510

515

LEGEND

- (XX) STRUCTURE NUMBER
- [Symbol] PROPOSED DRAINAGE INLET
- [Symbol] POND OUTLET SKIMMER
- [Symbol] DRAINTILE INLET
- [Symbol] PROPOSED APRON
- [Symbol] RIPRAP CLASS II
- [Symbol] EXISTING APRON
- [Symbol] AREA OF ENVIRONMENTAL SENSITIVITY (WET DITCH WETLAND)
- [Symbol] DIRECTION OF FLOW
- [Symbol] PROPOSED STORM SEWER
- [Symbol] EXISTING STORM SEWER
- [Symbol] EXISTING CULVERT
- [Symbol] PROPOSED DITCH
- [Symbol] DRAIN TILE (50 FT EACH WAY OF SAG CATCH BASIN)

DRAIN TILE

POND C

CONST. LIM.

DRAIN TILE

CL HEADWATERS PKWY

POND A

BY	DATE	REVISIONS



DRAINAGE PLAN

S.A.P. NO.	DRAWN BY:	CKD BY:	DATE: X-XX-24
CERTIFIED BY _____	LIC. NO. _____	DATE: _____	
STATE PROJ.NO. 8206-60 (T.H. 61) SHEET NO. 48 OF 108 SHEETS			

PLOT NAME: 139156_1a
 FILENAME: MNDOT\139156_HHWNorthFcCadd_Sheets\Roads\Erosion Control\139156_1a.dgn



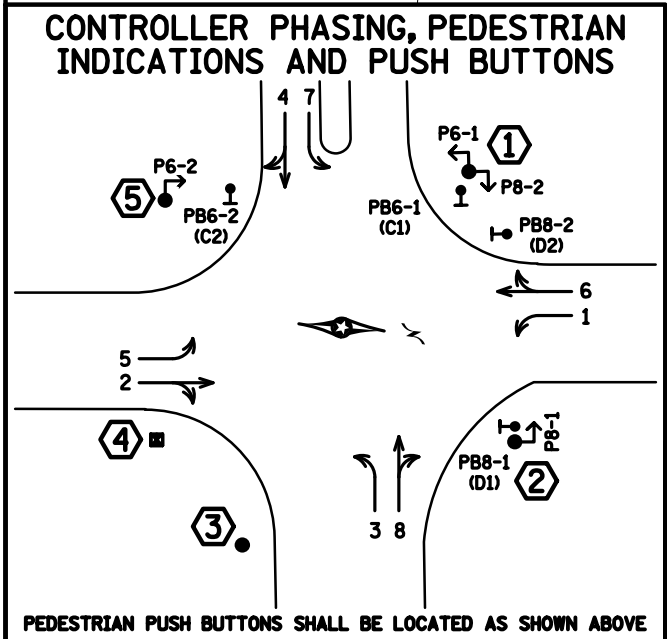
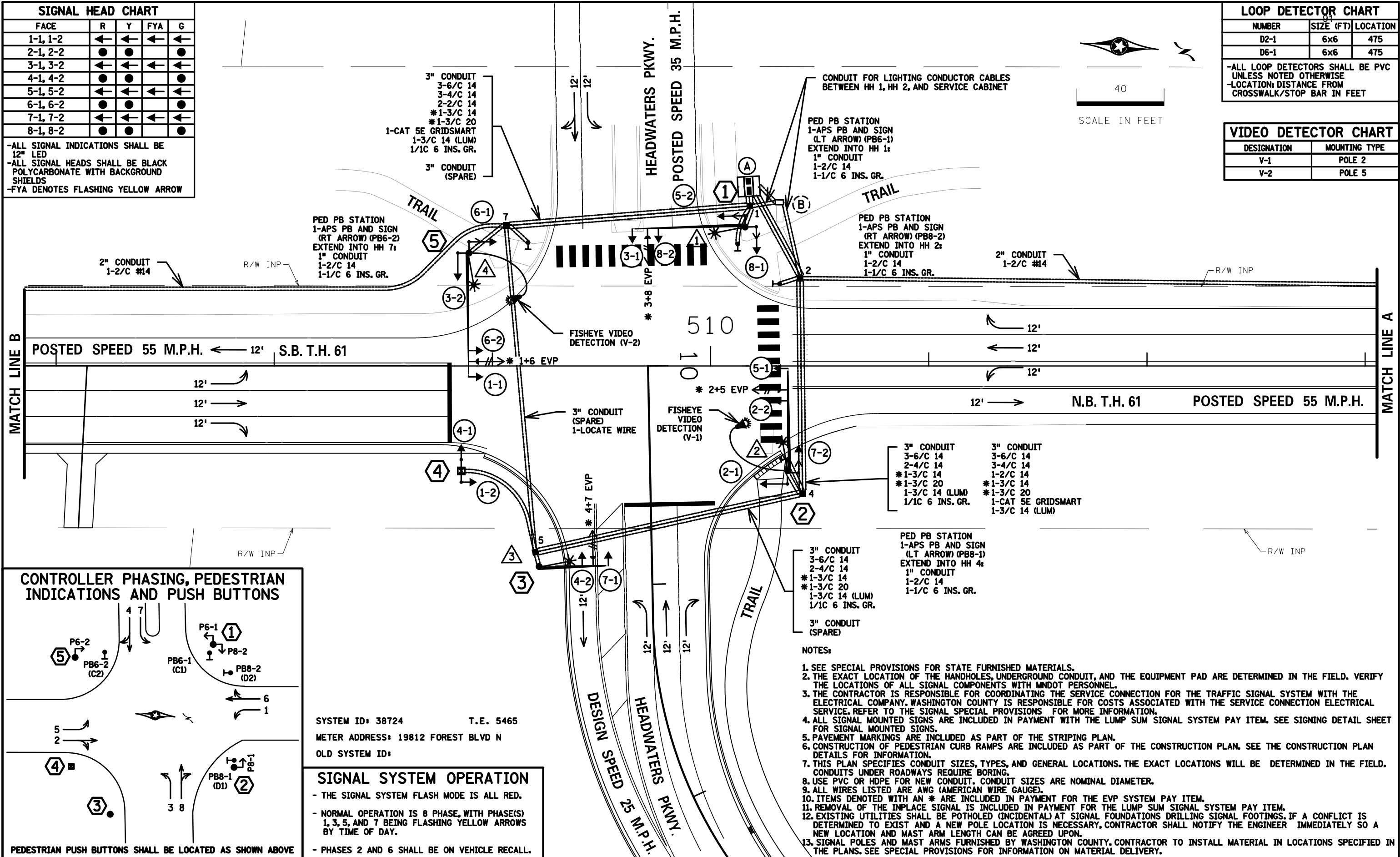
PLOTTED/REVISED: 15-MAR-2024

IPLOT NAME: 139156.sgn
FILENAME: M:\DOT\139156_HHWNorthFacCadd\Streets\Roads\Signal\139156.sgn.dgn

SIGNAL HEAD CHART				
FACE	R	Y	FYA	G
1-1, 1-2	←	←	←	←
2-1, 2-2	●	●	●	●
3-1, 3-2	←	←	←	←
4-1, 4-2	●	●	●	●
5-1, 5-2	←	←	←	←
6-1, 6-2	●	●	●	●
7-1, 7-2	←	←	←	←
8-1, 8-2	●	●	●	●
-ALL SIGNAL INDICATIONS SHALL BE 12" LED				
-ALL SIGNAL HEADS SHALL BE BLACK POLYCARBONATE WITH BACKGROUND SHIELDS				
-FYA DENOTES FLASHING YELLOW ARROW				

LOOP DETECTOR CHART		
NUMBER	SIZE (FT)	LOCATION
D2-1	6x6	475
D6-1	6x6	475
-ALL LOOP DETECTORS SHALL BE PVC UNLESS NOTED OTHERWISE		
-LOCATION: DISTANCE FROM CROSSWALK/STOP BAR IN FEET		

VIDEO DETECTOR CHART	
DESIGNATION	MOUNTING TYPE
V-1	POLE 2
V-2	POLE 5



SYSTEM ID: 38724 T.E. 5465
METER ADDRESS: 19812 FOREST BLVD N
OLD SYSTEM ID:

SIGNAL SYSTEM OPERATION

- THE SIGNAL SYSTEM FLASH MODE IS ALL RED.
- NORMAL OPERATION IS 8 PHASE, WITH PHASE(S) 1, 3, 5, AND 7 BEING FLASHING YELLOW ARROWS BY TIME OF DAY.
- PHASES 2 AND 6 SHALL BE ON VEHICLE RECALL.

BY	DATE	REVISIONS

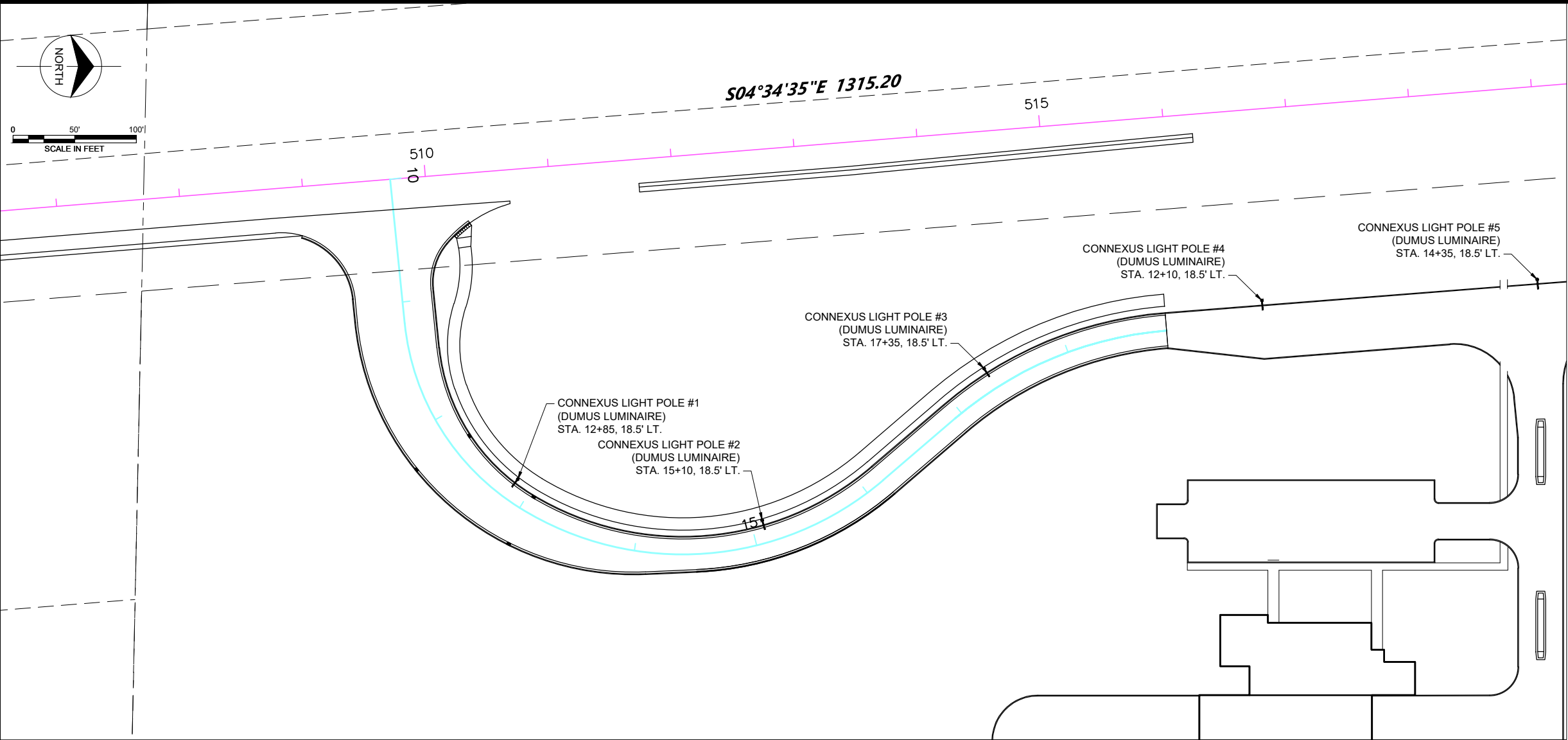



INTERSECTION LAYOUT
TRAFFIC CONTROL SIGNAL SYSTEM
T.H. 61 (FOREST BLVD) AT HEADWATERS PKWY.
IN FOREST LAKE, WASHINGTON CO.

S.A.P. NO.	DRAWN BY: EMW	CKD BY: JPH	DATE: 3-15-24
CERTIFIED BY	LIC. NO.	DATE:	
STATE PROJ. NO. 8206-60 (T.H. 61) SHEET NO. 75 OF 100 SHEETS			

ATTACHMENT 6

NOTES
1. LOCATIONS OF LIGHT POLES ARE APPROXIMATE.
FINAL LOCATIONS WILL BE DETERMINED BY
CONNEXUS. FINAL LOCATIONS WILL BE SUBMITTED TO
THE CITY OF FOREST LAKE FOR APPROVAL.





DOMUS

The unique European-styled Domus luminaire with a shepherd's hook decorative pole combines form and function to provide superior architectural, optical, electrical, and mechanical performance.

The hermetically-sealed chamber protects optical system and produces lower light loss factor (LLF) than conventional optical systems, while maintaining the luminaire's photometric performance. The housing is made of cast aluminum and is finished with a black, polyester powder paint to ensure maximum durability.

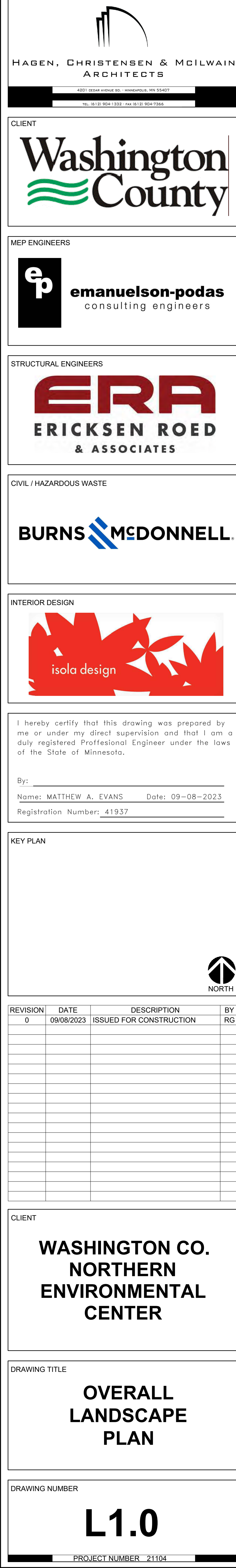
Height: 19.5"	Width: 27.5"	Weight: 46 lbs.	Color: Black	Watt: 60 LED
Max EPA: 1.61 sq. ft.	Made of: Cast Aluminum	IES Lighting Classification: Type 3		

LIGHT POLE DETAIL AND INFORMATION

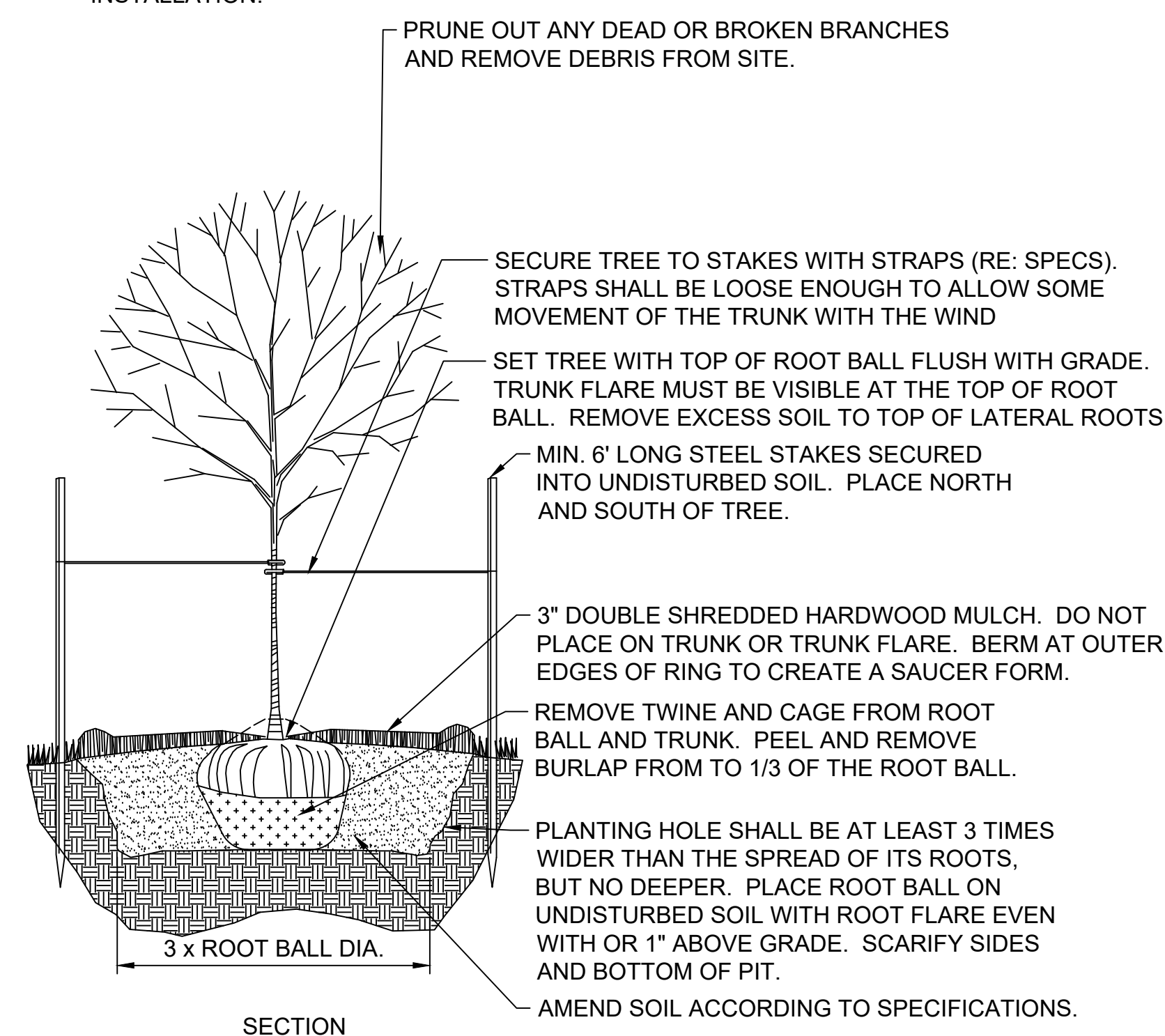


LIGHTING PLAN
SP23-012 TH 61
INTERSECTION WCNEC
WASHINGTON COUNTY
MARCH 2024

ATTACHMENT 7

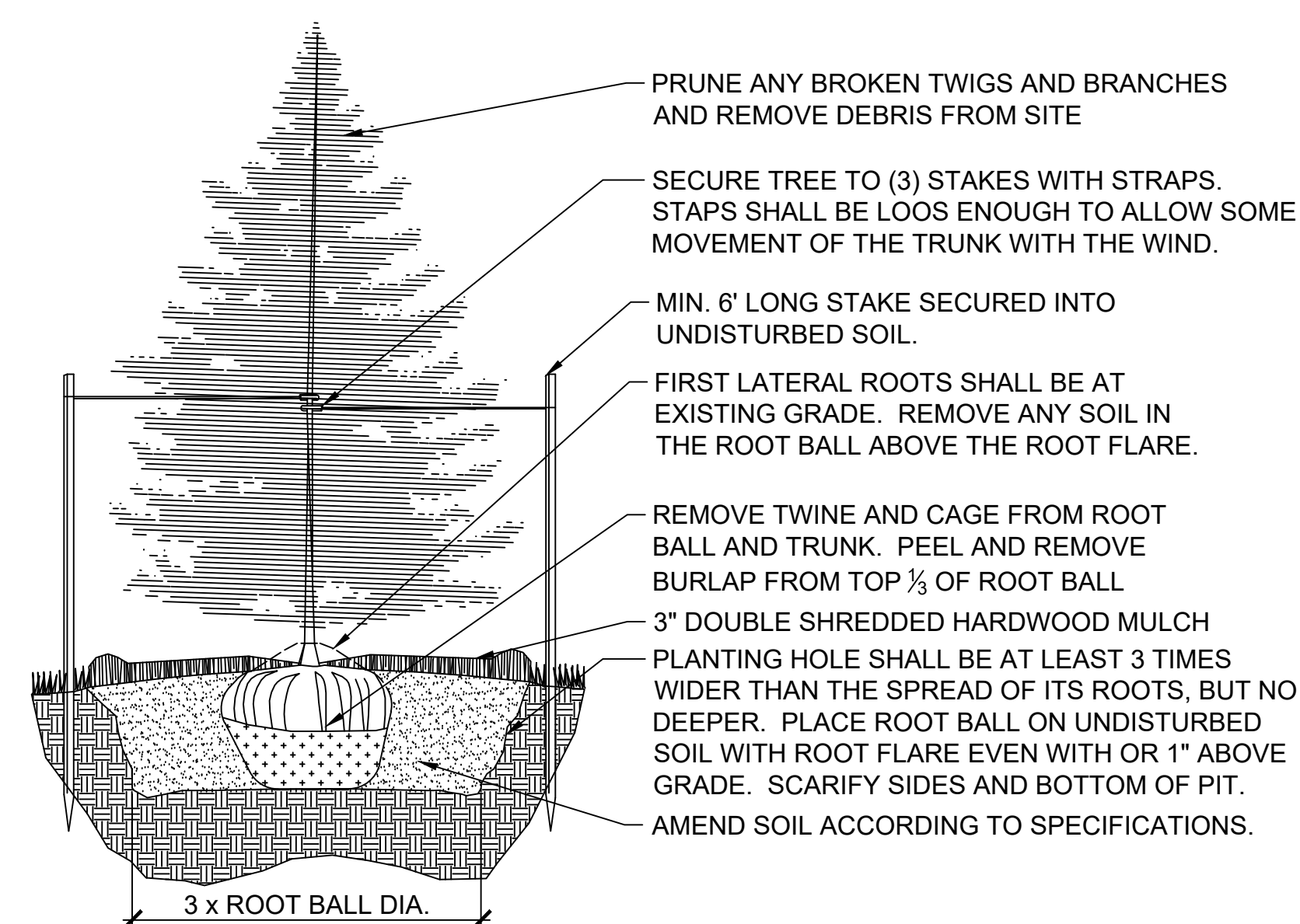


1. TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
2. TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



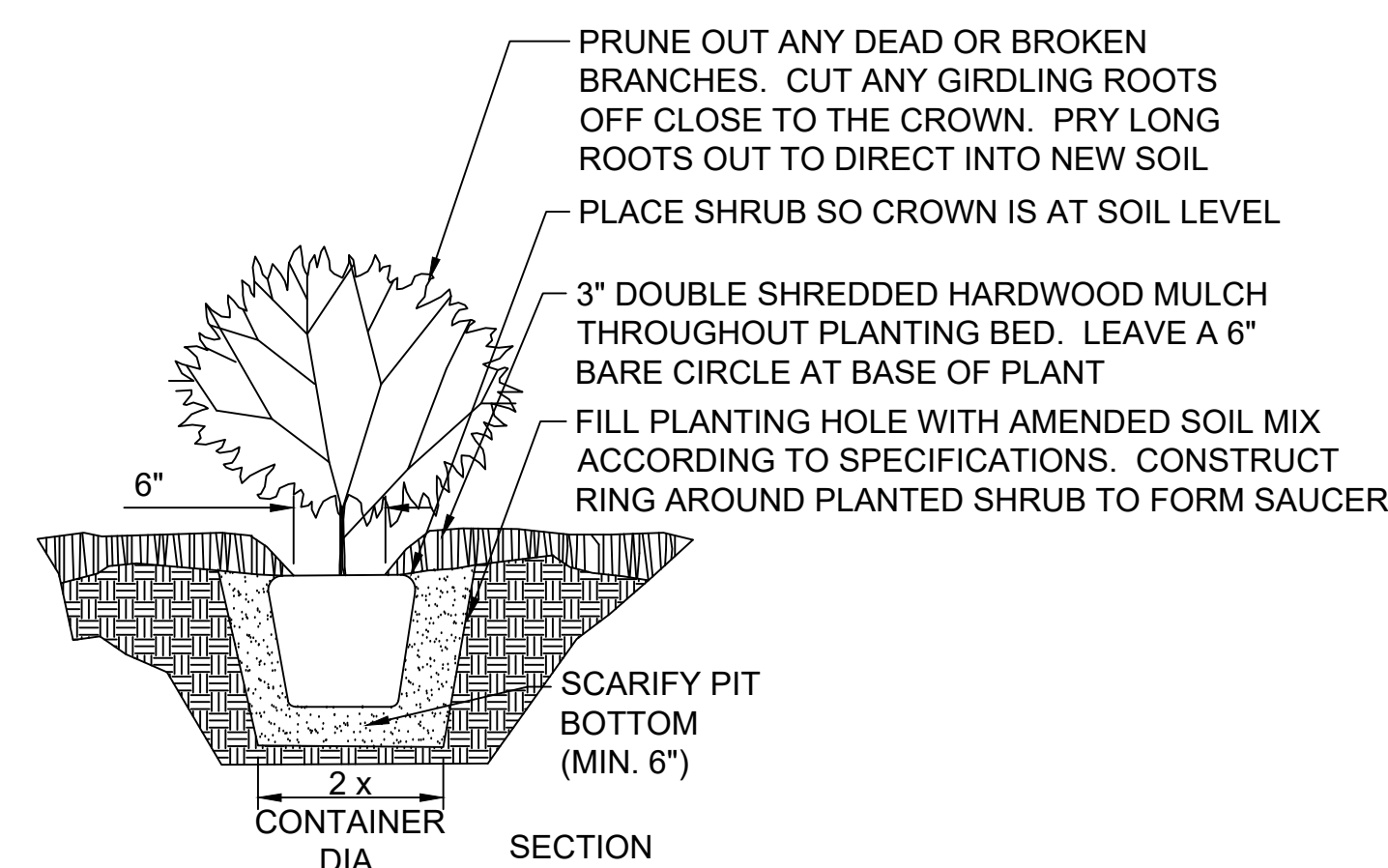
DECIDUOUS TREE PLANTING

DETAIL
N.T.S.



EVERGREEN TREE PLANTING

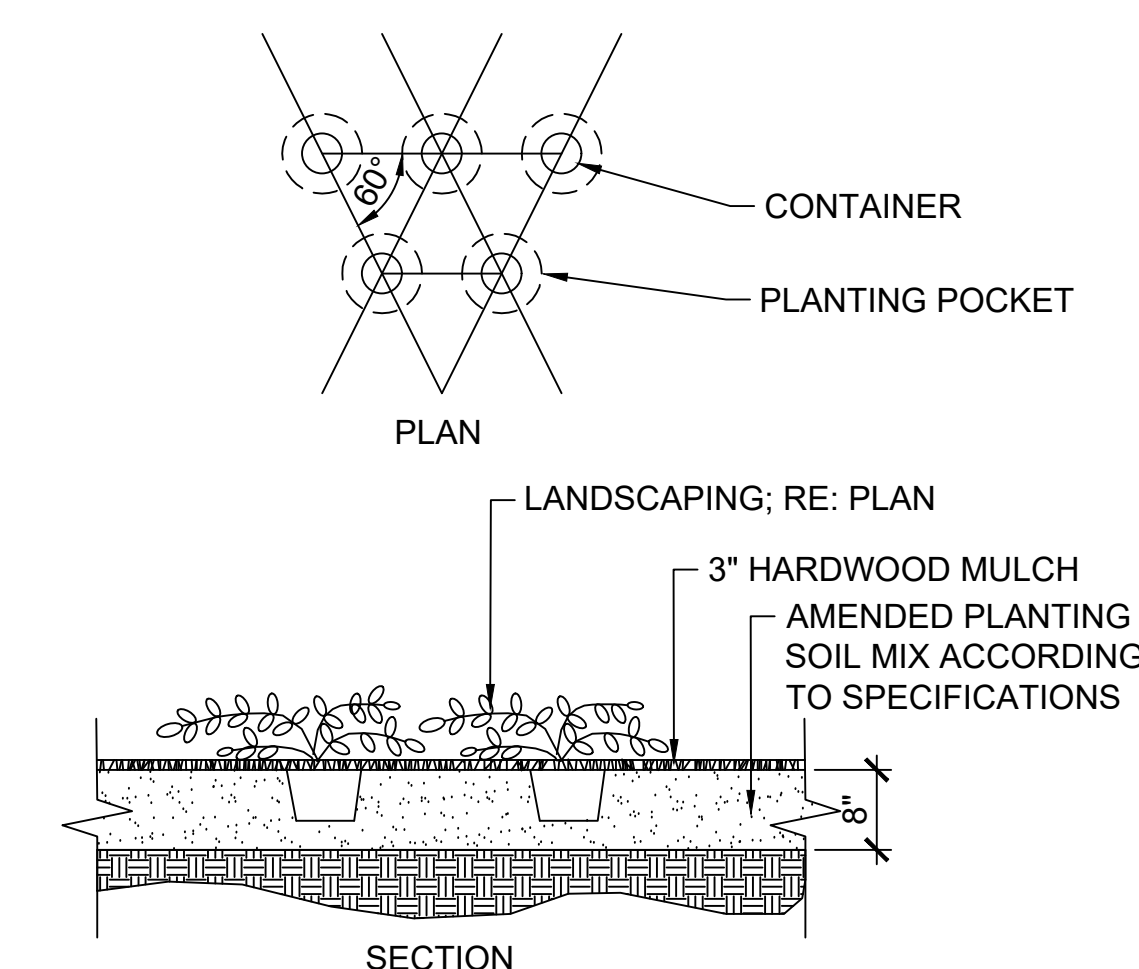
DETAIL
N.T.S.



1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS

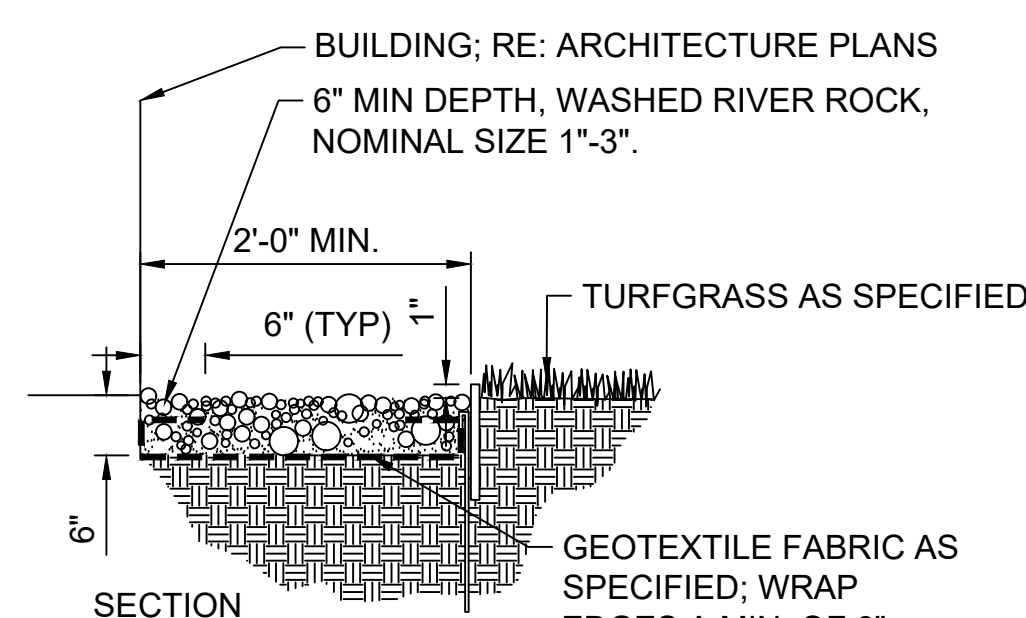
SHRUB PLANTING

DETAIL
N.T.S.



CONTAINER PLANTING

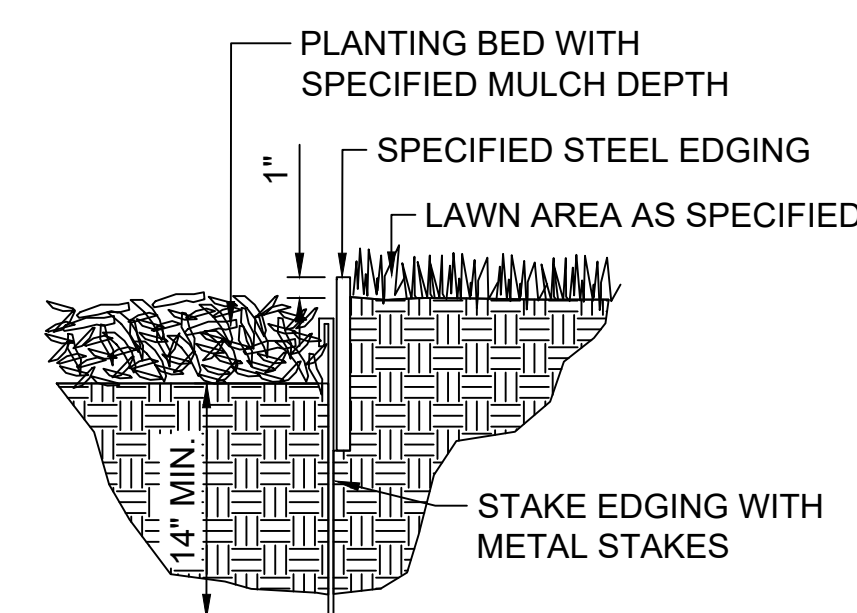
DETAIL
N.T.S.



1. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE
3. ALL JOINTS SHALL BE SECURELY STAKED
4. CONTRACTOR SHALL CUT TOP EDGES AS NEEDED TO BE PARALLEL WITH GRADE.

MOW EDGE DETAIL

DETAIL
N.T.S.



1. SET ALL EDGING 1" ABOVE FINISH GRADE (TURF) SURFACE AS SHOWN.
2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE.
3. ALL JOINTS SHALL BE SECURELY STAKED.
4. FINISH SHALL BE POWDER COAT; COLOR: BLACK. CONTRACTOR SHALL SUBMIT COLOR SAMPLE TO OWNERS REPRESENTATIVE PRIOR TO PURCHASE.
5. CONTRACTOR SHALL LOCATE AND MARK ALL PLANT BED LOCATIONS PRIOR TO INSTALLATION OF STEEL FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.

STEEL EDGE DETAIL

DETAIL
N.T.S.

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

By:

Name: MATTHEW A. EVANS

Date: 09-08-2023

Registration Number: 41937

KEY PLAN

[illegible]

CLIENT

**WASHINGTON CO.
NORTHERN
ENVIRONMENTAL
CENTER**

DRAWING TITLE

LANDSCAPE DETAILS

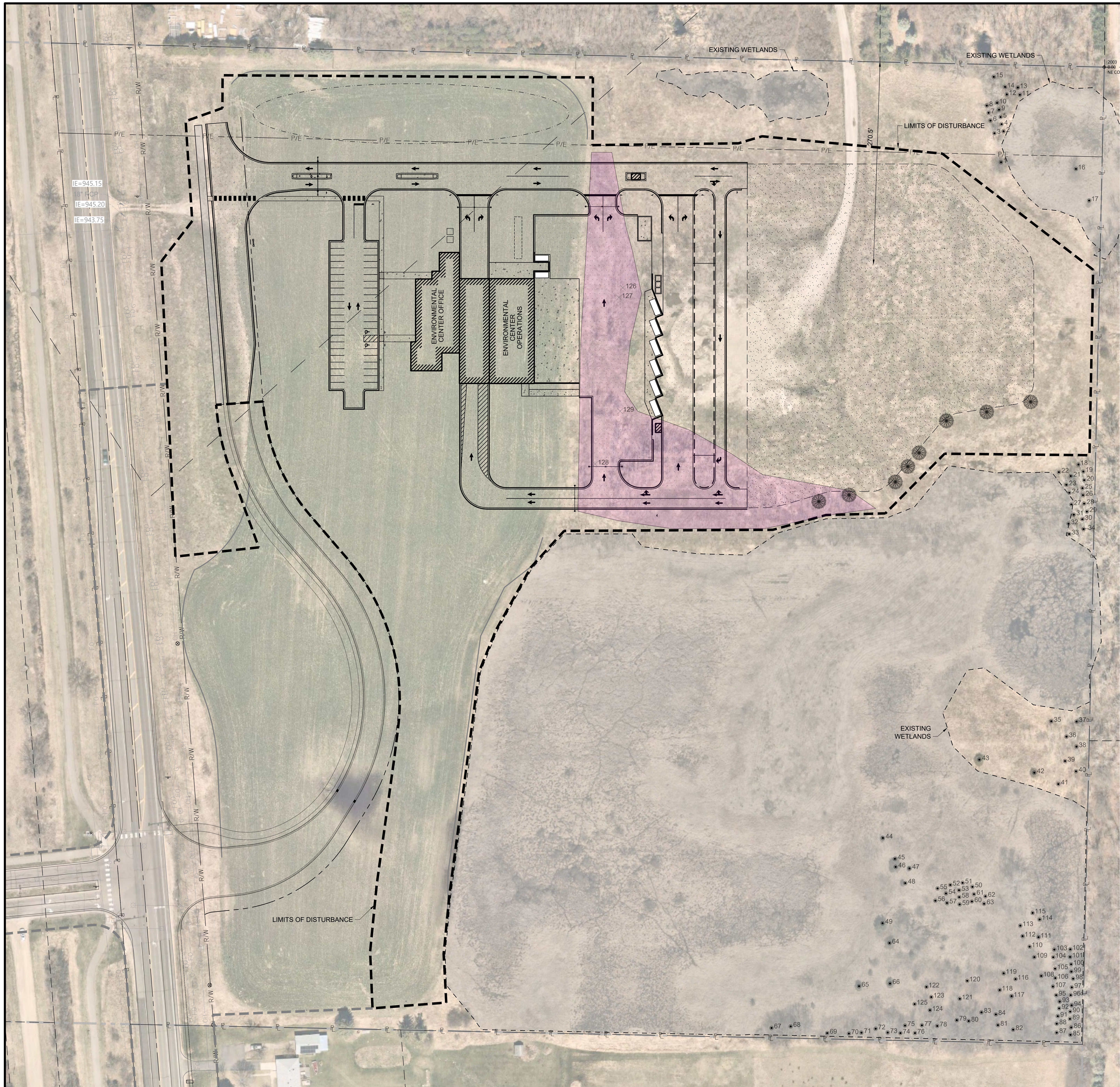
DRAWING NUMBER

L1.2

PROJECT NUMBER 21104

ATTACHMENT 8

Z:\CLIENTS\WASHINGTON\CONCO\39159_HHWNORTH\ACSTUDIES\SITE_INVEST\TREE SURVEY DWG 5.4.2023\0 SITEPLAN RCH - TREE SURVEY DWG 5.10.2023 10.53 AM RCH\AAWW



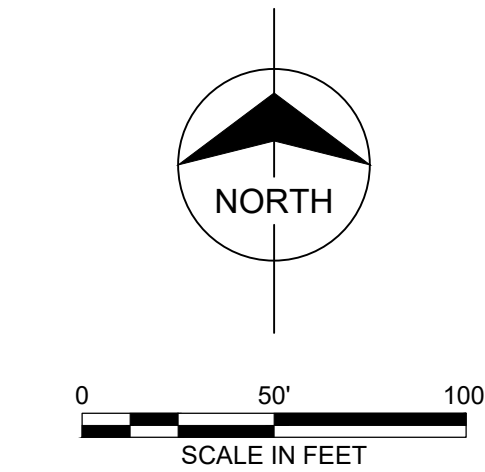
GENERAL NOTES:

- SEE SHEETS C.01 TO C.03 FOR CIVIL NOTES, LEGEND AND ABBREVIATIONS.

LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- GRAVEL
- HEAVY COVERAGE OF SAPLINGS
- SIGNIFICANT TREE
- SIGNIFICANT TREE TO BE REMOVED
- DECIDUOUS TREE; RE 1/L1.2

WASHINGTON COUNTY HHW TREE SURVEY				
TREE TAG NO.	CALIPER (IN)	HEIGHT (FT)	SPECIES	SCIENTIFIC NAME
1	16	-	GREEN ASH	FRAXINUS PENNSYLVANICA
2	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
3	13	-	QUAKING ASPEN	POPULUS TREMULOIDES
4	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
5	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
6	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
7	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
8	11	-	QUAKING ASPEN	POPULUS TREMULOIDES
9	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
10	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
11	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
12	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
13	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
14	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
15	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
16	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
17	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
18	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
19	12	-	QUAKING ASPEN	POPULUS TREMULOIDES
20	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
21	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
22	12	-	QUAKING ASPEN	POPULUS TREMULOIDES
23	19	-	QUAKING ASPEN	POPULUS TREMULOIDES
24	19	-	QUAKING ASPEN	POPULUS TREMULOIDES
25	12	-	QUAKING ASPEN	POPULUS TREMULOIDES
26	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
27	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
28	11	-	QUAKING ASPEN	POPULUS TREMULOIDES
29	13	-	QUAKING ASPEN	POPULUS TREMULOIDES
30	16	-	QUAKING ASPEN	POPULUS TREMULOIDES
31	21	-	QUAKING ASPEN	POPULUS TREMULOIDES
32	19	-	QUAKING ASPEN	POPULUS TREMULOIDES
33	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
34	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
35	7	-	QUAKING ASPEN	POPULUS TREMULOIDES
36	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
37	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
38	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
39	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
40	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
41	12	-	QUAKING ASPEN	POPULUS TREMULOIDES
42	-	14	JACK PINE	PINUS BANKSIANA
43	-	20	JACK PINE	PINUS BANKSIANA
44	-	13	JACK PINE	PINUS BANKSIANA
45	-	22	JACK PINE	PINUS BANKSIANA
46	-	21	JACK PINE	PINUS BANKSIANA
47	-	12	JACK PINE	PINUS BANKSIANA
48	-	16	JACK PINE	PINUS BANKSIANA
49	-	40	JACK PINE	PINUS BANKSIANA
50	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
51	10	-	QUAKING ASPEN	POPULUS TREMULOIDES
52	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
53	7	-	QUAKING ASPEN	POPULUS TREMULOIDES
54	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
55	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
56	7	-	QUAKING ASPEN	POPULUS TREMULOIDES
57	6	-	QUAKING ASPEN	POPULUS TREMULOIDES
58	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
59	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
60	9	-	QUAKING ASPEN	POPULUS TREMULOIDES
61	8	-	QUAKING ASPEN	POPULUS TREMULOIDES
62	77	-	QUAKING ASPEN	POPULUS TREMULOIDES
63	77	-	QUAKING ASPEN	POPULUS TREMULOIDES
64	-	35	JACK PINE	PINUS BANKSIANA
65	-	35	JACK PINE	PINUS BANKSIANA



I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

By: Name: MATTHEW A. EVANS Date: 05-08-2023
Registration Number: 41937

KEY PLAN		
0	4/21/2023	ISSUED FOR BID
1	5/08/2023	ISSUED FOR BID- ADDENDUM 1

REVISION	DATE	DESCRIPTION	BY
0	4/21/2023	ISSUED FOR BID	ARG
1	5/08/2023	ISSUED FOR BID- ADDENDUM 1	ARG

CLIENT
**WASHINGTON CO.
NORTHERN
ENVIRONMENTAL
CENTER**

DRAWING TITLE
**WOODLAND PRESERVATION
PLAN**

DRAWING NUMBER
L0.2
PROJECT NUMBER: 139156