



NOTICE OF AGENDA

PLANNING COMMISSION

[City of Forest Lake – Link to Meeting Livestream](#)

Forest Lake City Center – Council Chambers
Forest Lake, Minnesota

September 11, 2024 – 7:00 PM

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approve the Agenda
5. Consent Agenda Considerations (Action Items)*
 - a) Approve Planning Commission Meeting Minutes from June 12, 2024
 - b) Site Plan Review – Autumn Hills Apartments – Campbell Properties (706 12th St SW) – Resolution No. 09-11-24-01
 - c) Shadow Creek Estates (6150 202nd St N)
 - i. Final Plat
 - ii. PUD Final Plan/Site Plan Review
- *Planning Commission may remove any item from the consent agenda for specific consideration*
6. Regular Agenda (Action Items)
 - a) **Public Hearing:** Variance for Septic System – John Goes (7451 190th St N) – Resolution No. 09-11-24-02
 - b) **Public Hearing:** Variance for Porch Addition – Erin Wilson and Steven Krenz (919 North Shore Drive) – Resolution No. 09-11-24-03
7. Discussion
 - a) Local Affordable Housing Aid
 - b) Metropolitan Council Imagine 2050 Public Comment
8. Staff Updates – Verbal Update Only
 - a) Cannabis Based Businesses
 - b) Code Enforcement Update
9. Adjourn

*A quorum of the City Council is possible at this Planning Commission Meeting



Planning Commission

Regular Meeting

~ Minutes ~

1408 Lake Street South
Forest Lake, MN 55025
www.ci.forest-lake.mn.us

Wednesday, June 12, 2024

7:00 PM

City Center - Council Chamber

[City of Forest Lake - Livestream and Recorded Meetings](#)

1. Call to Order

The Meeting was called to order at 7:01 p.m.

2. Roll Call

Attendee Name	Title	Status	Arrived
Paul Girard	Commission Chair	Present	
Susan Young	Commission Vice-Chair	Present	
Kevin Miller	Planning Commissioner	Absent	
Don Stehler	Planning Commissioner	Present	
Jeff Larson	Planning Commissioner	Present	
Jesse Wagner	Planning Commissioner	Absent	
Tim Stender	Planning Commissioner	Present	

3. Pledge of Allegiance

4. Approve the Agenda

Commissioner Young stated there were two public hearings on the agenda but there was no provision to make a recommendation to City Council. She moved that agenda item 6 be revised to add 6.a.1., which is consideration of the Comprehensive Plan Amendment and Zoning Ordinance Map Amendment and 6.b.1., which is consideration of variances for signage.

Motion: Commissioner Young made a Motion to Approve the Agenda with revisions to add 6.a.1., consideration of the Comprehensive Plan amendment and zoning map amendment; and, 6.b.1., consideration of variances for signage.

Motion seconded by Commissioner Larson. Motion carried 5-0.

5. Consent Agenda Considerations (Action Items)*

a. Approve Planning Commission Meeting Minutes from May 8, 2024

Commissioner Girard stated that the Meeting Minutes from May 8, 2024 adjournment should be a 7-0 vote rather than an 8-0 vote.

Motion: Commissioner Girard made a Motion to Pull Consent Agenda Item 5.a.

Motion seconded by Commissioner Stehler. Motion carried 5-0.



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6. Regular Agenda (Action Items)

a. Public Hearing: Comprehensive Plan Amendment and Zoning Map Amendment – Donnelly (932 2nd Street NW)

City Planner Roberts presented images of 932 2nd Street NW and provided background information on the requests to change the Comprehensive Plan Amendment and the Zoning Ordinance Map Amendment from Rural Residential to allow for Commercial land use and zoning designations. He discussed the regulatory framework and the recommendations from City staff.

Commissioner Young asked if there needed to be two separate motions.

City Planner Roberts confirmed this information.

Chair Girard asked about the rules for outdoor storage for a property zoned B-3.

City Planner Roberts stated they plan to use the garage and the building for storage. He stated the property would serve more as an office and meeting location. If they wanted outdoor storage, they would need a site plan review and possible screening requirements and landscaping.

Doug Amundson, Precise Exteriors LLC, confirmed that materials would not be dropped off at the office, but would be dropped off at the job site.

Commissioner Stender asked how many staff would be operating out of this location.

Mr. Amundson answered that at full capacity there would be five staff members at this location.

Public Hearing was opened at 7:18 p.m.

No comments.

Public Hearing was closed at 7:19 p.m.

Motion: Commissioner Stehler made a Motion to Recommend Approval of the proposed Comprehensive Plan Amendment to change the land use designation for the property located at 932 2nd Street NW (PID 05.032.21.42.0003) from Rural Residential to Highway Commercial designation. Motion seconded by Commissioner Stender. Motion carried 5-0.

Motion: Commissioner Stehler made a Motion to Recommend Approval of the proposed Zoning Ordinance Map Amendment for property located at 932 2nd Street NW (PID 05-032-21-42-0003) from RR (Rural Residential) to B-3 (Limited Industrial Business). Motion seconded by Commissioner Larson. Motion carried 5-0.



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Chair Girard noted that this item will go before the City Council for final action.

b. Public Hearing: Variances for Signage – Forest Lake Ford (508 15th Street SW)

City Planner Roberts provided a background on the request for the variances for signage at Forest Lake Ford. The specific request was to allow a 47-foot-tall pylon sign with a setback up to 110 feet from the west property line of the site. He reviewed the Code requirements for signs located in Forest Lake and showed different examples of the billboard options.

Commissioner Young asked if the Planning Commission had granted variances on this project earlier.

City Planner Roberts responded that Forest Lake Ford had asked for variances on different setbacks and those variances were denied.

Commissioner Young stated that she felt a struggle with a number and asked for clarification on how this request meets item c.

City Planner Roberts answered that he struggled with that criterion the most.

Commissioner Young stated that the building has a large face toward the expressway and asked why it was not considered to put a lighted sign on the building.

City Planner Roberts responded that Forest Lake Ford applied for a sign permit for that wall and it is in the works. He stated that the sign on the freeway is driven by Ford in Detroit to align with contractual agreements.

Commissioner Young commented that other Ford companies do not have signs that are 47 feet high.

Chair Girard asked why the sign could not be installed in the area between the building and the triangle.

City Planner Roberts stated he thought that location might cut into the drive aisle at the building.

Chair Girard asked if Ford had a requirement that the sign be on a pylon or if it could be off to the side.

City Planner Roberts responded that would be a question for the applicant.

Commissioner Stehler asked if the pylon could be on the roof.

City Planner Roberts stated that rooftop signs were not allowed.



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Steve McDaniels, 37 Catbird Lane, St. Paul, and Brian Okubo, 17720 High Park Avenue, are the applicants. They voiced excitement to be opening Forest Lake Ford in Forest Lake. Mr. McDaniels stated they had never had a site line easement restriction before. Mr. McDaniels commented that the problem occurred with them, and they thought they could negotiate with the owners of the existing billboards to allow the proposed freestanding sign near I-35. They are required by Ford Motor Company to have the freestanding sign visible from I-35 and the auto dealers have strict requirements for the signage. Mr. McDaniels voiced excitement to be in Forest Lake.

Chair Girard welcomed the individuals to Forest Lake.

Mr. McDaniels stated he thought that the setback from the highway would be helpful.

Chair Girard clarified that Ford is requiring the 130-foot sign face area and the height.

Mr. McDaniels explained they wanted the 30-foot sign, but to get over the building at 47 feet tall, the 130-foot sign face was the option.

Mr. Okubo stated that the other option was a 41-foot tall sign.

Commissioner Young commented that a 41-foot sign would clear the billboard.

Commissioner Stender agreed and asked which location was preferred – north or south.

Mr. McDaniels stated that the 41-foot sign would be blocked by some of the buildings heading north.

Mr. Okubo commented that the head size for the 41-foot-tall sign was 120 feet.

Commissioner Young stated that the Planning Commission had told local businesses no for signage requests and had to modify their signs.

Mr. McDaniels commented that he thought the auto dealers across the highway had a 40-foot sign.

Commissioner Young asked if they could go back to Ford if the City would say no to a 47-foot sign with a 130-foot face and how they would respond.

Mr. McDaniels stated that Ford would ask if people could see the sign from the highway. He commented that these signs are a long process from the manufacturer. He stated that if the City would require the 41-foot option, they would try and make it work.



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Commissioner Stehler stated that the setback from I-35 was not the issue. He asked if they could do two signs from each direction to stay within the height limits.

City Planner Roberts responded that this would be an additional variance as they would receive another sign along the freeway because of their location.

Mr. McDaniel stated that Ford requires a pylon sign and the dealership rents it from them forever.

Commissioner Stehler commented that he would not support a sign that would be above the 30-foot height requirement.

Commissioner Stender voiced concerns about the billboard blocking a sign from a local business.

Mr. McDaniel stated they negotiated the visibility easement with the owners of the billboards but did not understand how it would be enforced.

Commissioner Young commented they would have unique visibility if they maximized the long wall. They have worked hard on the changeable billboard, which has a significant community presence.

Mr. McDaniel responded that they have never had billboard easements previously.

Commissioner Young expressed an understanding of the difficult situation.

Commissioner Stender asked for clarification of the 30-foot requirement.

Mr. McDaniel wondered if signs above 30 feet on the freeway were grandfathered in before a change in requirements.

City Planner Roberts responded that the truck place to the west of I-35 requested a height variance for a freestanding sign in 2021, but they are not on the freeway and are under more restrictive Code language. This variance request was denied by the Planning Commission and the City Council.

Public Hearing was opened at 8:03 p.m.

No comments.

Public Hearing was closed at 8:04 p.m.

Chair Girard asked when they were planning on opening.



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Mr. McDaniel responded that they were going to open on July 8, 2024.

Commissioner Young asked if the Planning Commission were to say yes to everything tonight and the City Council approved the request on June 24, would they be able to get a sign installed in a week.

City Planner Roberts responded that if the Planning Commission approved the variance, this meeting would be the last stop for their requests.

Motion: Commissioner Stender made a Motion approving site location with a setback variance for with a 41-foot by 120-foot free-standing monument sign for Forest Lake Ford.
Motion died for a lack of a second.

Chair Girard asked if they had all the signs they could have on the building.

City Planner Roberts affirmed this information.

Chair Girard asked if they could put one large sign on the north side and then a smaller pylon sign.

Commissioner Young asked if there was more of an appetite for variance for the signs on the building than the variance for the height of the sign. Commissioner Young commented that there is room to lease a spot for the sign to the north.

City Planner Roberts responded that it would become an off-site sign and would become a billboard.

Commissioner Stehler asked if a pylon sign had to be a certain distance from the building and suggested replacing the tree with a 30-foot pylon sign.

Commissioner Young commented that there might be a lot of rules, and other cities have many signs, but Forest Lake has tried to be reasonable to work with businesses while still looking nice.

Commissioner Larson asked why they could not put the lit Ford sign on the side of the building.

Mr. McDaniel requested clarification. He stated that they have signs on the west.

Commissioner Larson asked if you could put a Ford sign near where it says Forest Lake. He also asked if there was another sign there.

Mr. McDaniel responded that Ford is particular about their branding.



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Chair Girard asked how tall the building was.

Mr. McDaniel stated that it was 30 feet.

Chair Girard asked if the pylon could be in the triangle near the building.

Mr. McDaniel responded that they considered this option, but the drive aisle would be too small for fire trucks. It would not fit between the sideline easement and the building. He responded that many Ford buildings are older buildings, and this location is one of their first new builds in many years.

Commissioner Young stated there seemed to be more favor to approve a variance on the freeway-facing side of the building.

Mr. McDaniel responded that they could come back and propose a sign on the west-facing northern corner and a 30-foot sign as well.

City Planner Roberts stated that this would most likely not be resolved by the grand opening.

Chair Girard commented that there are no concerns with the proposed setback variance from I-35.

Commissioner Stehler stated that would be the best option unless they wanted the podium sign on the south side of the building.

Mr. McDaniel responded that was great direction.

Motion: Commissioner Young made a Motion to Table the request of Forest Lake Ford for variances for signage at 508 15th Street SW.

Motion seconded by Commissioner Stehler. Motion carried 5-0.

7. Staff Updates

City Planner Roberts stated that the next Planning Commission meeting was canceled. He noted three recently approved projects that were about to start construction.

Chair Girard asked about the progress of the Northern Environmental Center.

City Planner Roberts responded that Washington County is in the final plan review with MnDOT to put in Headwaters Parkway east of Highway 61 to serve the new facility. He has not received any



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feedback from MnDOT. They will not bring the revised site and landscaping plans to the City Council until the approval from MnDOT is confirmed.

Commissioner Young asked for the Planning Commission members to receive notifications of neighborhood meetings.

8. Adjourn

Motion: Commissioner Stender made a Motion to Adjourn the meeting at 8:31 p.m.

Motion seconded by Commissioner Stehler. Motion carried 5-0.

Date: September 11, 2024

To: Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: Site Plan Review for Parking Lot Repairs and Revisions – Autum Hills Apartments

Owner: Autum Hills Properties, LLLP

Applicant: Campbell Properties (Randy Gitlestad)

Location: 706 and 708 12th Street SW (PID 07-032-21-44-0002)

Zoning District: MF – Multiple-Family Residential

Land Use Plan Designation: High Density Residential

60-Day Deadline: October 6, 2024

Introduction/Background

The applicant, Randy Gitlestad, on behalf of Campbell Properties, has submitted an application for site plan approval for the property located at 706-708 12th Street SW. This site has two existing apartment buildings with a total of 48 units, two detached garage buildings that have space for 38 vehicles and 55 marked off-street parking spaces. The property owners are proposing to repair and reconfigure the existing parking lot on the property to improve the driving surface and to improve the storm water drainage. Please see the attached project narrative, maps and project plans for more information about this request.

Discussion

Site Plan/Design Review

The applicant and property owner have prepared plans for the repair and reconstruction of the existing parking lot at the apartment complex. As they noted in the project narrative, the existing parking lot is past its useful life. It has potholes, poor drainage and failing storm sewer system that all need repair and replacement. Section 153.128 (P) of the Zoning Code requires City review and approval of reconfigured or altered parking lot plans through the site plan approval process.

Parking – City Code Section 153.113 (B)(10)(a)3 establishes the number of required off-street parking spaces for multiple-family dwellings in the City. It reads:

3. *Multiple-family dwellings.* Two spaces per dwelling unit, 1 of which must be enclosed, plus an additional 1/2 parking space per every 5 dwelling units for visitors.

As noted above, there are currently 55 off-street parking spaces and 38 garage spaces on the property. It appears there may have been an additional garage building in the southwest corner of the property (where the existing concrete pavement is located) that could have accommodated another 20 vehicles. This means there is currently about 113 off-street parking spaces on the property if one includes the concrete pavement area. By current City code standards, the property should have a total of at least 101 off-street parking spaces. These would include 96 spaces for the 48 units and an additional 5 spaces for guest parking.

The proposed plans show 54 off-street parking spaces – a reduction of one space from the existing conditions. The primary reason for this change is because the proposed plans show four handicapped parking stalls with striped access aisles and pedestrian ramps. This change is a welcome improvement to the parking lot.

Section 153.135 of the City Code outlines the minimum parking space and aisle dimensions. This section of the City Code requires off street parking spaces to be 9 feet wide, 20 feet in length and the drive aisles in parking lots to be at least 24 feet wide. The plans for the repaired parking lot show all the drive aisles will be at least 24 feet wide and the proposed new parking stalls being 9 feet wide and 18 feet in length. These are the same dimensions of the current parking lot. Section 153.135 (B) of the code allows applicants to reduce parking stall length to 18 feet if sufficient room is provided beyond the parking stall for vehicle overhang. Since the 18-foot-long stalls will be for resident parking and many of the 18-foot-long parking stalls will be adjacent to an existing sidewalk on the site, there should room beyond those stalls for vehicles to overhang the sidewalk as to not block the drive aisles.

The City Code also requires parking lots to have at least a 10-foot setback from a public street right-of-way and a five-foot setback from the side property lines. The proposed project plans show the repaired parking lot in the same location as the existing parking lot so setbacks from the 12th Street SW and the side property lines will not change and are not a concern.

Except for the above noted 18-foot long parking stalls, the proposed site plan meets all City parking area design requirements including the following details: location bituminous parking area, curbing and stormwater management, screening and striping.

Staff do support City approval of the site plan for the parking repair and improvement project given the condition of the existing parking lot and the addition of 4 designated handicapped parking spaces.

Tree Removal – Section 153.298 of the City Code outlines the City standards for tree removals for new developments in the City. The applicant did not submit a tree survey or a tree replacement plan for the site as there are no large trees the proposed parking lot reconstruction would impact.

Landscaping – The applicant is not proposing to remove any trees or other landscaping materials with this project. There will be some turf restoration work the contractor will need to complete as part of the project.

Lighting Plan – The applicant is not proposing any changes to the exterior lighting on the site.

Signage – The applicant is not proposing any additional signage on site with the parking lot replacement project.

Access – The project plans show an existing driveway on to 12th Street SW that provides vehicle ingress and egress to the existing parking lot on this site. The applicant is not proposing to add any additional driveways or change the location of the existing driveway with the parking lot repair project. The City Engineer is recommending the City require the applicant replace the driveway approach on 12th Street SW and the adjacent sidewalk sections with this project as they are damaged and do not meet current City standards.

Staff and Partner Agency Comments

City Engineer Comments:

The City Engineer provided the City with a review memo dated August 22, 2024 with comments on this proposal. Most of his comments appear technical in nature and require the project engineer to make changes to the plans or to add notes to the project plans. Of note in his comments is the suggestion the City require the applicant/owner to replace their existing driveway apron on 12th street SW and any affected sidewalk panels as these are in terrible condition. City staff shared these comments with the applicant and the project engineer who has been revising the plans as necessary.

Public Works Director Comments:

Staff has incorporated Public Works Director Adams comments into the City Engineering Review Memo.

Fire Chief Comments:

Fire Chief Newman reviewed the proposed parking lot expansion plan and did not express any concerns with the proposal. He also added the following comment:

“We will have access to the property from the neighbors north parking lot for any routine calls. It will be important for the contractor to let the FD know when this project is scheduled so we can notify staff to use the north parking lot during construction. Should there be a structure fire during construction the FD may need to access the parking lot during that time.”

Comfort Lake-Forest Lake Watershed Comments:

Comfort Lake-Forest Lake watershed staff was provided an opportunity to review the project plans. The Watershed District has given the project a conditional approval subject to the applicant finalizing the project plans and meeting other Watershed District conditions. This project must receive proper approval and permitting from the Watershed District before the City will issue any permits for this project.

Site Plan Considerations for Approval

City Code Section 153.038(E)(6) provides the following criteria for the Planning Commission to consider when evaluating whether to approve a site plan review request. Staff assessment is provided in *italics*.

- a) Consistency with the City Comprehensive Plan;

The proposed use and site plan are consistent with the City's adopted 2040 Comprehensive Plan.

- b) Compliance with the Zoning Ordinance;

The proposed site plan for the parking lot repair and reconfiguration will be consistent with the City's adopted zoning ordinance with the exceptions noted in this report.

- c) The preservation of the site in its natural state to the extent practicable by minimizing tree loss, soil removal, and grading;

The proposed site plan for the parking lot repair and reconfiguration will preserve the natural features on the site as almost all the proposed site work will be in the existing parking lot while preserving the ponding area to the west. The applicant will not be removing any trees with the proposed improvements.

- d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulations; and

The proposed parking lot repair and reconfiguration will be consistent with City requirements for traffic circulation, yard areas, lighting, and the like with the changes as recommended by City staff.

- e) The protection of adjacent and neighboring properties.

City staff does not expect neighboring properties to be adversely impacted by the proposed parking lot improvements and they should be adequately protected by the proposed site plan.

Findings & Staff Recommendation

The proposed plans to repair and reconfigure the existing parking lot are consistent with the City's adopted 2040 Comprehensive Plan and the proposed site plan and improvements will be generally consistent with the multiple family zoning designation and the City's standards for off-street parking. The proposed plan will be consistent with the City requirements for traffic circulation, parking, yard areas and the like with the changes as recommended by City staff.

As proposed, the parking lot repair and reconfiguration plan will not detract from existing development in the area, will be compatible with present and planned uses, and will not have an adverse impact on the environment, surrounding properties or public facilities. In summary, staff finds that, with proper conditions, the applicant's proposed plans to improve the existing parking lot will conform to the plans, policies, and standards set forth by the City.

Staff Recommendation

City staff recommends the Planning Commission **move to approve Resolution 9-11-24-01**. This Resolution is for the approval of the site and design plans for the proposed parking lot repair and improvements for the property located at 706-708 12th Street SW (PID 07-032-21-44-0002). **This approval shall be subject to the following conditions as proposed by staff:**

1. The final plans, including but not limited to site, grading, utility, landscaping, signs, driveway and parking lot improvements, shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1272.
2. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District must be satisfied before the completion of all the proposed improvements and the use being reestablished on site.
3. The requirements of the City Engineer (as noted in his review memo dated August 22, 2024), Public Works Director, and Fire Chief must be incorporated into the final project plans and shall be met before the construction of this project.
4. The applicant or owner shall receive all permits from the City and the Comfort Lake-Forest Lake Watershed before starting any demolition, grading or construction activity.
5. The applicant and/or landowner shall apply for and receive a right-of-way permit from the City for the project. The permit is for the project work that will be in the public right-of-way including sidewalk and driveway apron replacement and shall include all required financials and charges including, but not limited to:
 - Letter of Credit or cash escrow for the estimated cost of the installation of the proposed and required improvements in the public right-of-way.

This permit shall be completed and approved by the City before the applicant or contractor starts any grading or construction activity on the site.

6. All required City financial guarantees shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
7. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
8. All required documents shall be recorded at Washington County at the applicant's expense.
9. All construction activity and material storage shall be contained on site. There shall be no construction staging or material storage on 12th Street SW or on any City streets.
10. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. Designate and sign the handicapped-accessible parking spaces according to Code requirements.
 - b. All other changes to the proposed plans as required by the City.
 - c. The concrete sidewalks and pedestrian ramps adjacent to the parking lot shall meet American with Disabilities (ADA) standards.
 - d. The replacement of all affected public sidewalks sections and the driveway apron onto 12th Street SW.
11. The applicant or contractor shall hold a preconstruction meeting before starting any demolition, construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
12. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.

13. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
14. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Project Narrative
2. Location Map
3. Aerial Photo
4. Project Plans (8 pages)
5. Site Plan Approval Resolution 09-11-24-01

Wyoming

5368 266th Street

PO Box 730

Wyoming MN 55092

651.464.3130

Wyoming@Widseth.com

Widseth.com

Autumn Hills Apartments – Proposed Parking Lot Replacement Project – Project Narrative

Background

Autumn Hills Apartments is an existing apartment complex with two buildings of equal size. Parking for the residences are a mix of on-grade off-street parking and garages. The property address is 706 & 708 12th St SW.

Project Description

The existing parking lot for the Autumn Hills Apartment Complex is past it's useful life, resulting in significant cracking and pot-holes. Poor drainage and a failing storm sewer system prevents the site from draining after rainfall events. The photos below show examples of these issues.



The proposed scope of work is generally as follows:

- Remove Existing Parking lot Bituminous Surface
- Remove Existing Storm Sewer System (Approx. 3 Structures, 475 lin ft pipe)
- Remove select sections of existing sidewalk in disrepair
- Minor grading and shaping of existing aggregate base surface. Potentially some new aggregate needed.
- Construction of approx. 650 lin ft concrete valley gutter for better site drainage.
- Construction of new sidewalk and ADA ramp sections

- Pave new bituminous surface
- Install random rip rap “channels” to provide energy dissipation and erosion prevention for proposed parking lot drainage.
- New parking lot striping

Note: As the project area is limited to the replacement of the existing bituminous parking lot, minor sidewalk and ADA improvements, striping, and drainage/grading to the existing pond, no proposed lighting or landscaping work is proposed for this project.

Widseth has been contracted by Campbell Properties (property owner representative) to prepare construction plan drawings for the civil site work of the parking lot replacement. The construction plan drawings are included in the site plan review application for review.



0 263 Feet

**BOLTON
& MENK**

Real People. Real Solutions.

Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

© Bolton & Menk, Inc - Web GIS 8/7/2024 12:48 PM



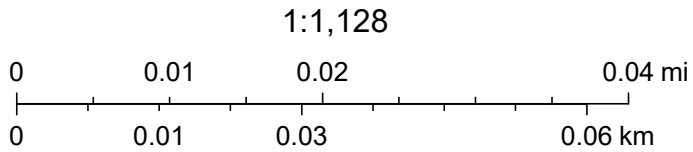
Forest Lake
AS GOOD AS IT SOUNDS

Autumn Hills Apartments - Location Map



8/7/2024, 12:57:03 PM

-  Parcels
- Contours2011
-  Index
-  Intermediate



AUTUMN HILLS APARTMENTS - PARKING LOT REPLACEMENT PROJECT

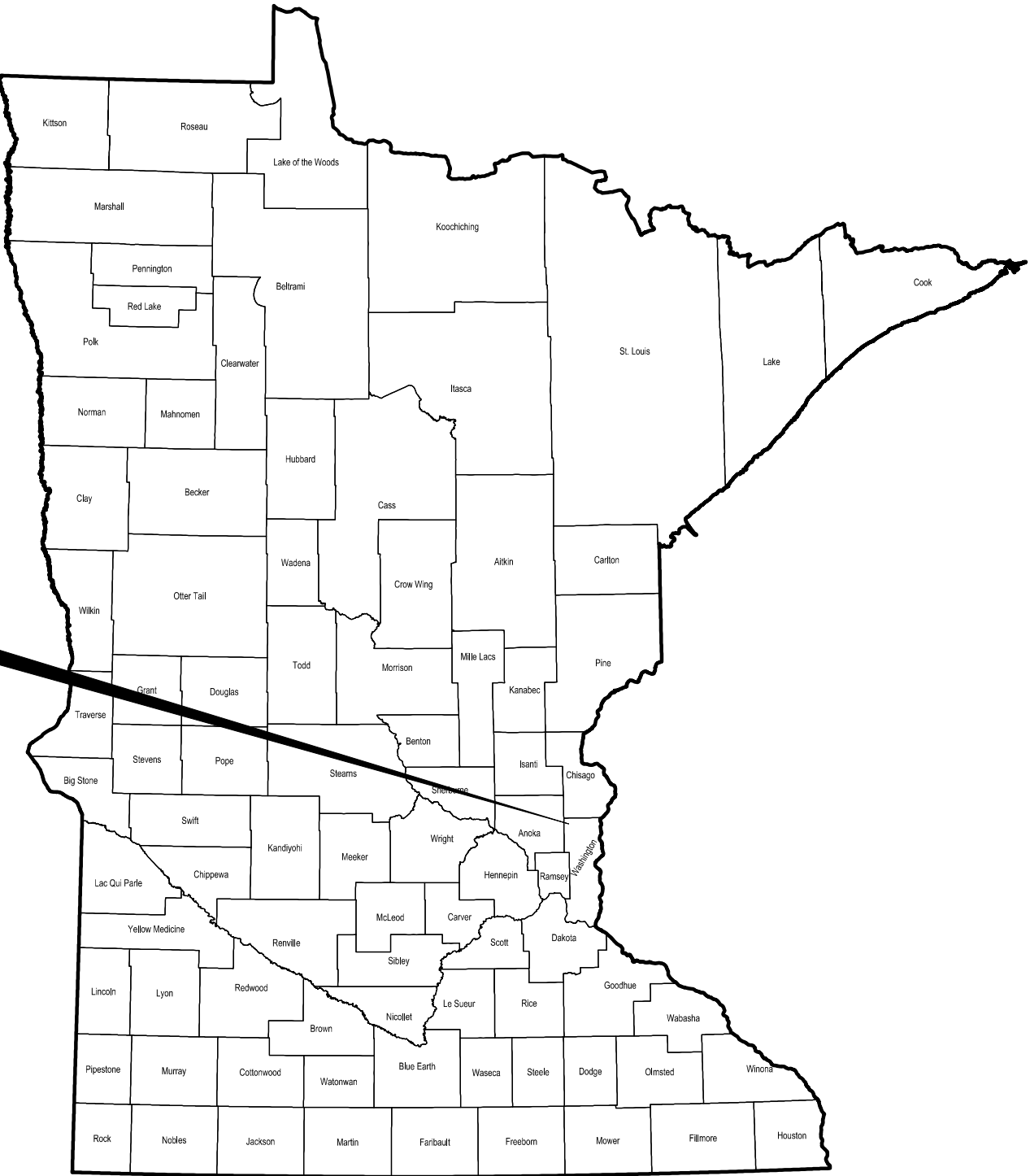
FOREST LAKE, MN



DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C2.0	CIVIL LEGEND
C3.0-C3.1	CIVIL DETAILS
C4.0	EXISTING CONDITIONS & REMOVAL PLAN
C5.0	SITE PLAN
C6.0	GRADING AND DRAINAGE PLAN
C7.0	TURF ESTABLISHMENT AND EROSION CONTROL PLAN

GOVERNING SPECIFICATIONS	
THE CURRENT VERSION OF THE CITY OF FOREST LAKE SPECIFICATIONS SHALL APPLY. FOR ALL OTHER PLAN CONTENT NOT ADDRESSED IN THESE SPECIFICATIONS: THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND 2020 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.	

PROJECT LOCATION
AUTUMN HILLS APPTS.
CITY OF FOREST LAKE, MN



CLFLWD SUBMITTAL - REVISED 7/24/2024

WIDSETH

ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

MINNESOTA PROFESSIONAL ENGINEERING BOARD
REGISTERED PROFESSIONAL ENGINEER
DATE: 7/10/2024 LIC. NO. 57780

FRANK E. BRODSEN

DATE: 7/10/2024 LIC. NO. 57780

DATE: JUNE 2024

SCALE: AS SHOWN

DRAWN BY: FEB

CHECKED BY: FEB

JOB NUMBER: 2024-10899

PARKING LOT REPLACEMENT PROJECT

AUTUMN HILLS APARTMENTS

FOREST LAKE, MN

TITLE SHEET

SHEET NO. C1.0

SHEET 1 OF 8

J:\Autumn Hills Apartments LLLP-49377\2024-10838\CADD\Civil\CS-2024-10838.dwg Plotted by:Frank Brodson 7/24/2024 11:06:18 AM © 2024 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

SURVEY MONUMENTS

	BENCH MARK
	FOUND CIM
	FOUND CPNT.
	FOUND JLM
	FOUND LATH
	FOUND PIPE
	FOUND READING
	STAKED CIM
	STAKED CPNT.
	STAKED JLM
	STAKED PIPE

EXISTING TOPO SYMBOLS

	AC UNIT
	FENCE POST
	FLAG POLE
	GUARD POST
	GUY ANCHOR
	GUY POLE
	HANDICAP SYMBOL
	MAILBOX
	SHRUB
	SIGN DOUBLE POST
	SIGN SINGLE POST
	SIGN FIRE NUMBER
	TREE CONIFER
	TREE DECIDUOUS
	TREE STUMP
	TV DISH
	WETLAND SYMBOL
	YARD LIGHT

EXISTING UTILITY MUNICIPAL SYMBOLS

	APRON
	LIFT STATION
	SANITARY CLEANOUT
	SANITARY MANHOLE
	STORM CATCH BASIN
	STORM INLET

EXISTING UTILITY MUNICIPAL SYMBOLS (cont.)

	STORM MANHOLE
	WATER CURB STOP
	WATER HANDHOLE
	WATER HYDRANT
	WATER MANHOLE
	WATER METER
	WATER VALVE
	WATER WELL
UTILITY	UTILITY SIZE & TYPE

EXISTING UTILITY PRIVATE SYMBOLS

	ELEC GROUND LIGHT
	ELEC HANDHOLE
	ELEC LIGHT POLE
	ELEC MANHOLE
	ELEC METER
	ELEC PEDESTAL
	ELEC POLE
	ELEC SIGNAL
	ELEC TRANSFORMER BOX
	GAS METER
	GAS VALVE
	LP TANK
	TELE HANDHOLE
	TELE MANHOLE
	TELE PEDESTAL
	TELE POLE
	TV HANDHOLE
	TV PEDESTAL

SOIL BORING SYMBOLS

	LASER-INDUCED FLUORESCENCE BORING
	LYSIMETER
	MONITOR WELL
	PERC TEST
	PIEZOMETER
	RECOVERY WELL
	SOIL BORING
	SOIL VAPOR POINT
	VAPOR SURVEY POINT

PROPOSED UTILITY MUNICIPAL SYMBOLS

	APRON PROPOSED
	SANITARY CLEANOUT PROPOSED
	SANITARY LIFT STATION PROPOSED
	SANITARY LIFT STATION VALVE MANHOLE PROPOSED
	SANITARY MANHOLE PROPOSED
	SANITARY PLUG PROPOSED
	STORM CATCH BASIN PROPOSED
	STORM MANHOLE PROPOSED
	WATER 11 1/4° BEND PROPOSED
	WATER 22 1/2° BEND PROPOSED
	WATER 45° BEND PROPOSED
	WATER 90° BEND PROPOSED
	WATER CAP PROPOSED
	WATER CROSS PROPOSED
	WATER CURB STOP PROPOSED
	WATER HYDRANT PROPOSED
	WATER REDUCER PROPOSED
	WATER SLEEVE PROPOSED
	WATER TEE PROPOSED
	WATER VALVE PROPOSED

PROPOSED UTILITY PRIVATE SYMBOLS

	ELEC LIGHT POLE PROPOSED
--	--------------------------

EROSION CONTROL SYMBOLS

	SURFACE DRAINAGE ARROW
	STORM DRAIN INLET PROTECTION

TRAFFIC CONTROL DEVICES & SYMBOLS

	TRAFFIC CONTROL SIGN (1 POST)
	TRAFFIC CONTROL SIGN (2 POST)
	TYPE III BARRICADE
	DRUM CHANNELIZER
	FLASHING ARROW OR MESSAGE BOARD

EXISTING TOPOGRAPHIC LINES

	CENTER LINE
	EDGE OF WOODS
	FENCE BARB WIRE
	FENCE CHAIN LINK
	FENCE WOOD
	FORCEMAIN
	OVERHEAD CABLE TV
	OVERHEAD ELECTRIC
	OVERHEAD TELE
	RAILROAD
	RETAINING WALL
	SANITARY SEWER
	SANITARY SEWER SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	UNDERGROUND CABLE TV
	UNDERGROUND ELECTRIC
	UNDERGROUND FIBER OPTIC
	UNDERGROUND GAS
	UNDERGROUND TELE
	WATERMAIN
	WATERMAIN SERVICE
	WETLAND EDGE

R/W, LOT & EASEMENTS LINES

	BUILDING SETBACK LINE
	LOT LINE PROPOSED
	EASEMENT LINE
	EASEMENT LINE PROPOSED
	LOT LINE
	MNDOT CONTROLLED ACCESS LINE
	RIGHT OF WAY EXISTING
	RIGHT OF WAY PROPOSED

PROPOSED CONSTRUCTION LINES

	FENCE CHAIN LINK PROPOSED
	FENCE WOOD PROPOSED
	FENCE BARB WIRE PROPOSED
	FORCEMAIN PROPOSED
	SANITARY SEWER PROPOSED
	SANITARY SERVICE PROPOSED
	STORM SEWER PROPOSED
	STORM SEWER DRAIN TILE PROPOSED
	WATERMAIN PROPOSED
	WATERMAIN SERVICE PROPOSED

EROSION CONTROL LINES

	BALE CHECK
	BIO ROLL
	SILT FENCE
	SILT FENCE TYPE HEAVY DUTY
	SILT FENCE TYPE MACHINE SLICED
	SILT FENCE TYPE PREASSEMBLED
	FLOTATION SILT CURTAIN

HATCH PATTERN AND SHADING LEGEND

	RANDOM RIPRAP
	SOD
	SEED
	HYDRAULIC STABILIZER
	EROSION CONTROL BLANKET
	TEMP. ROCK CONSTRUCTION ENTRANCE
	BUILDING WALL HATCH
	BITUMINOUS SURFACE
	CONCRETE SURFACE
	GRAVEL SURFACE
	EASEMENT PATTERN

DOCUMENTATION SYMBOLS

	SECTION ARROW - SECTION NUMBER TOP; PAGE OF SECTION BOTTOM
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CLFLWD SUBMITTAL - REVISED 7/24/2024

ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

WIDSETH

ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

DATE: JUNE 2024
SCALE: AS SHOWN
DRAWN BY: ASH
CHECKED BY: FEB
JOB NUMBER: 2024-10838

PARKING LOT REPLACEMENT PROJECT
AUTUMN HILLS APARTMENTS
FOREST LAKE, MN

CIVIL LEGEND

SHEET NO.
C2.0

SHEET 2 OF 8

DATE: JUNE 2024
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PARKING LOT REPLACEMENT PROJECT
AUTUMN HILLS APARTMENTS
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CIVIL LEGEND

SHEET NO.
C2.0

SHEET 2 OF 8

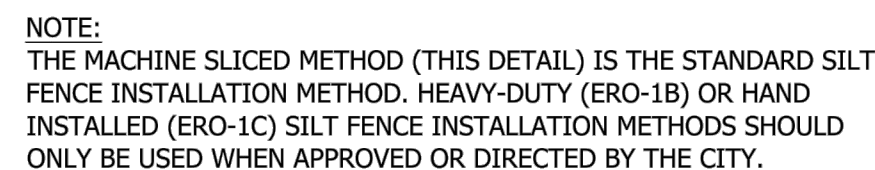
DATE: JUNE 2024
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PARKING LOT REPLACEMENT PROJECT
AUTUMN HILLS APARTMENTS
FOREST LAKE, MN

CIVIL LEGEND

SHEET NO.
C2.0

SHEET 2 OF 8



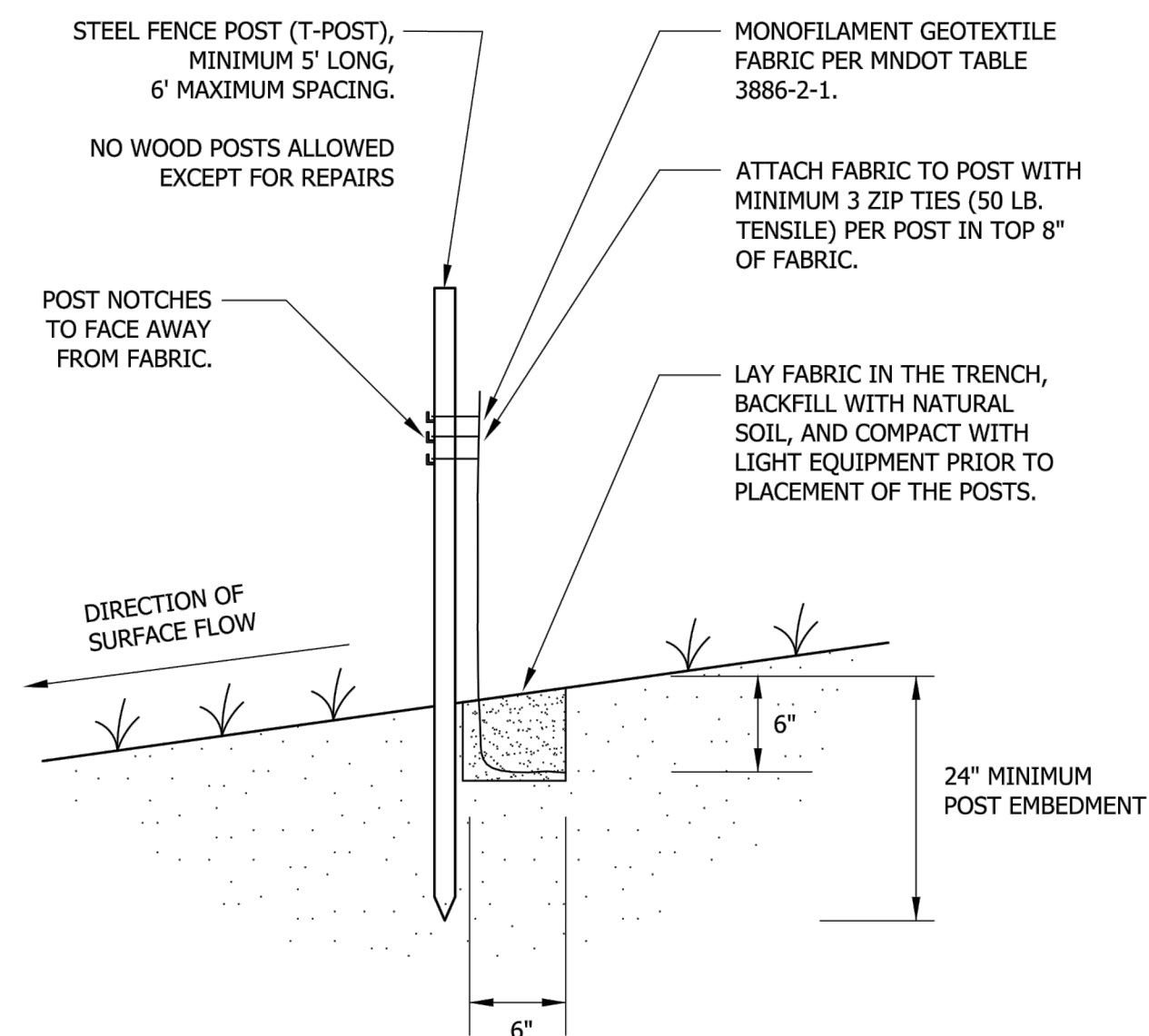
A COMPACTON: AFTER "SLICING" IN THE FABRIC AND *BEFORE* INSTALLATION OF STEEL POSTS, DRIVE INSTALLATION EQUIPMENT OVER THE "SLICE" WHILE FABRIC IS LAYING ON THE GROUND. *THEN* INSTALL STEEL POSTS AND PULL UP FABRIC TO ATTACH AT A UNIFORM HEIGHT.



STANDARD DETAILS
SILT FENCE
MACHINE SLICED
FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

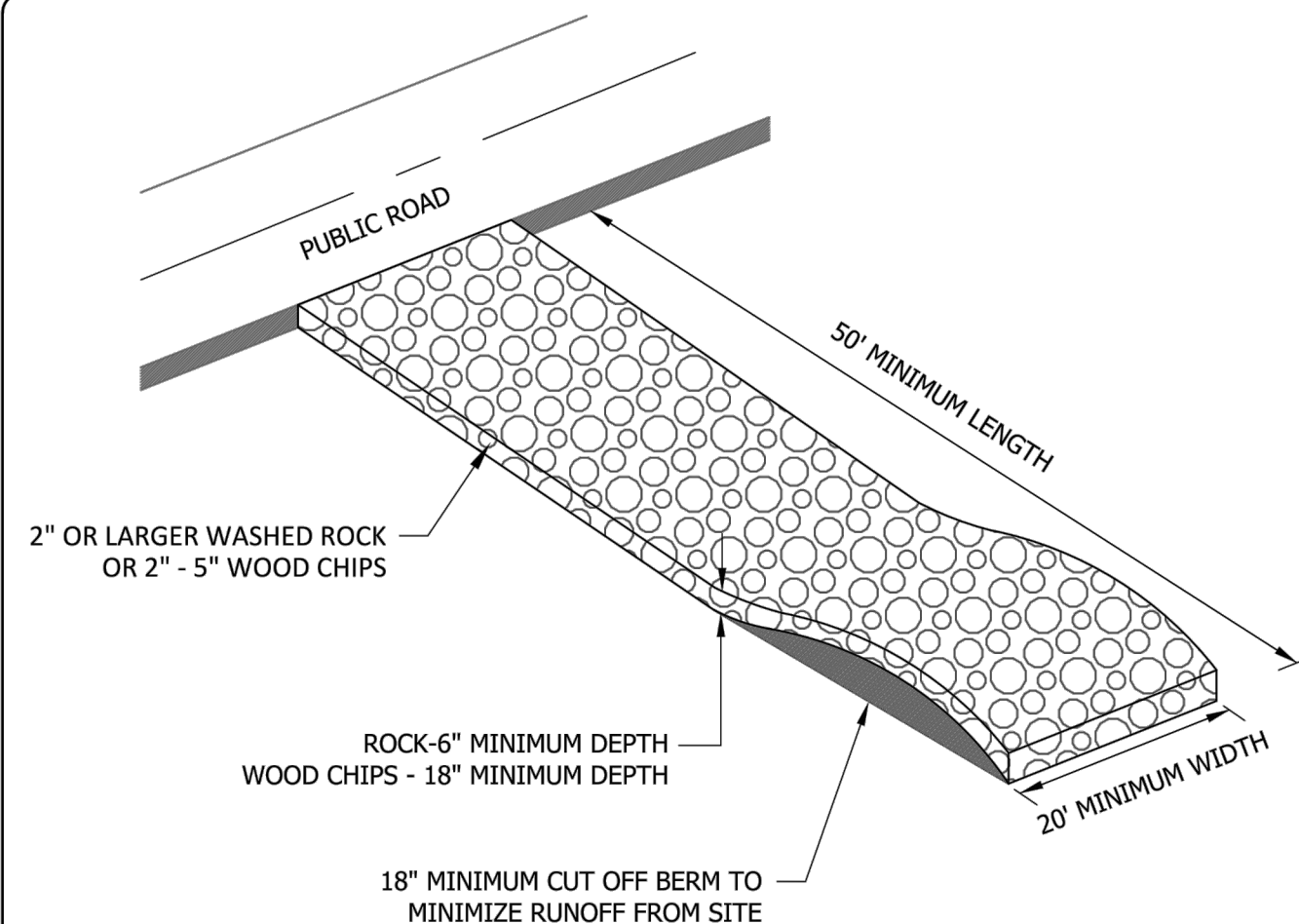
CITY PLATE NO.
ERO-1A



STANDARD DETAILS
SILT FENCE
HAND INSTALLED
FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

CITY PLATE NO.
ERO-1C



NOTES:

1. FILTER FABRIC SHALL BE PLACED UNDER ROCK OR MULCH TO STOP MUD MIGRATION THROUGH ROCK. FILTER FABRIC IS NOT REQUIRED UNDER WOOD CHIPS.
2. 80% OF WOOD CHIPS USED FOR CONSTRUCTION ENTRANCES MUST BE BETWEEN 2 INCHES AND 5 INCHES. NO CHIPPED-UP MANUFACTURED WOOD AND / OR CHEMICALLY TREATED WOOD IS ALLOWED.
3. ENTRANCE MUST BE MAINTAINED REGULARLY TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS. FUGITIVE ROCK OR WOOD CHIPS WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

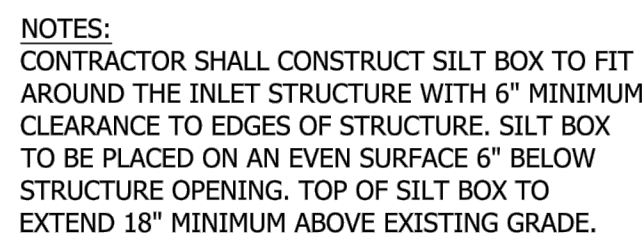


STANDARD DETAILS
CONSTRUCTION ENTRANCE
ROCK, WOOD CHIP

FOREST LAKE, MINNESOTA

LAST REVISION
MAR 2022

CITY PLATE NO
ERO-7

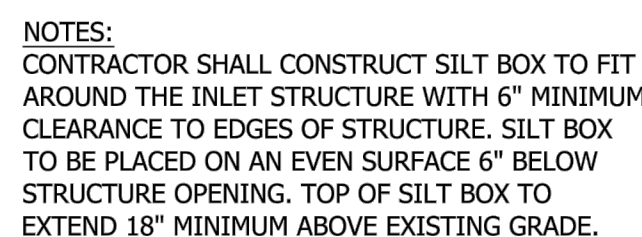


STANDARD DETAILS
INLET PROTECTION
SILT BOX FOR BEEHIVE CASTING

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2007

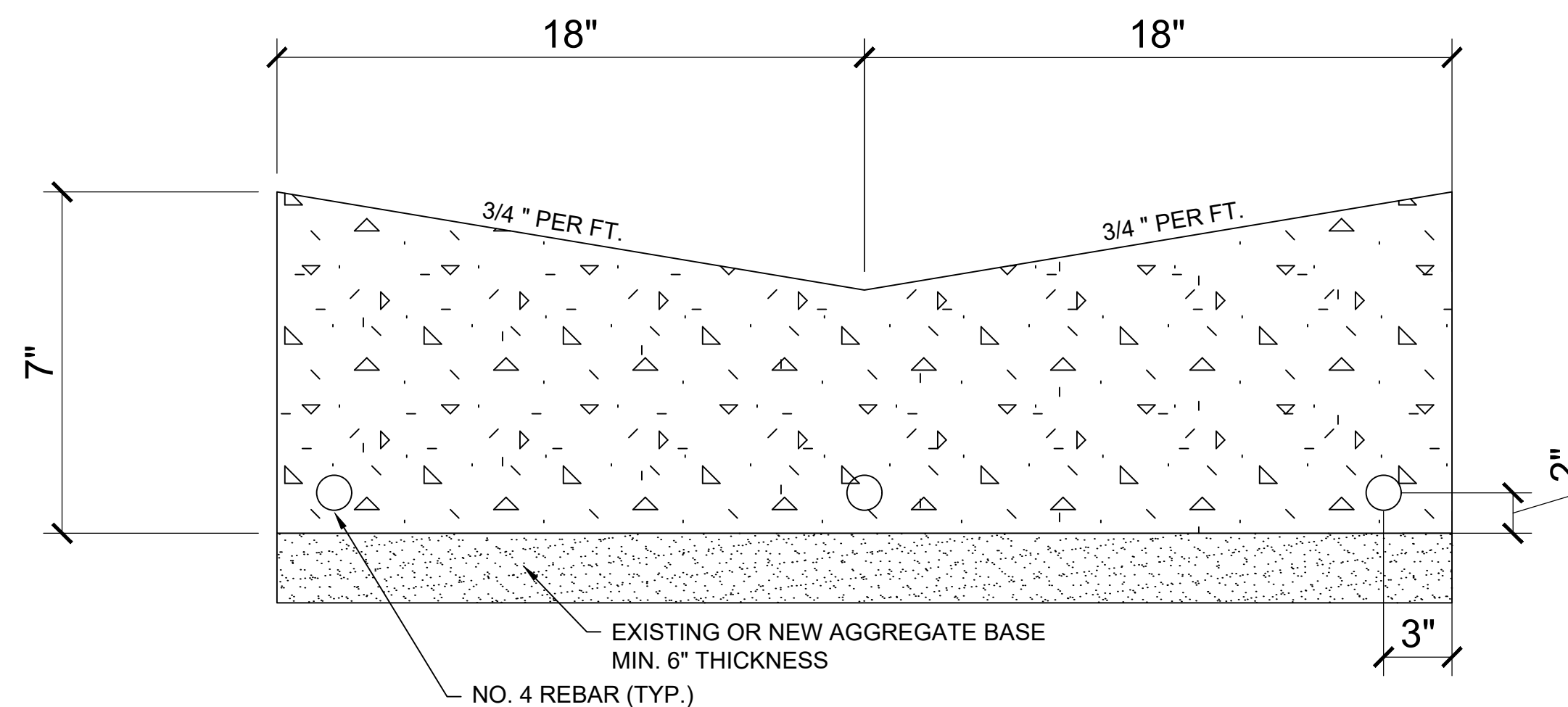
CITY PLATE NO.
ERO-4D



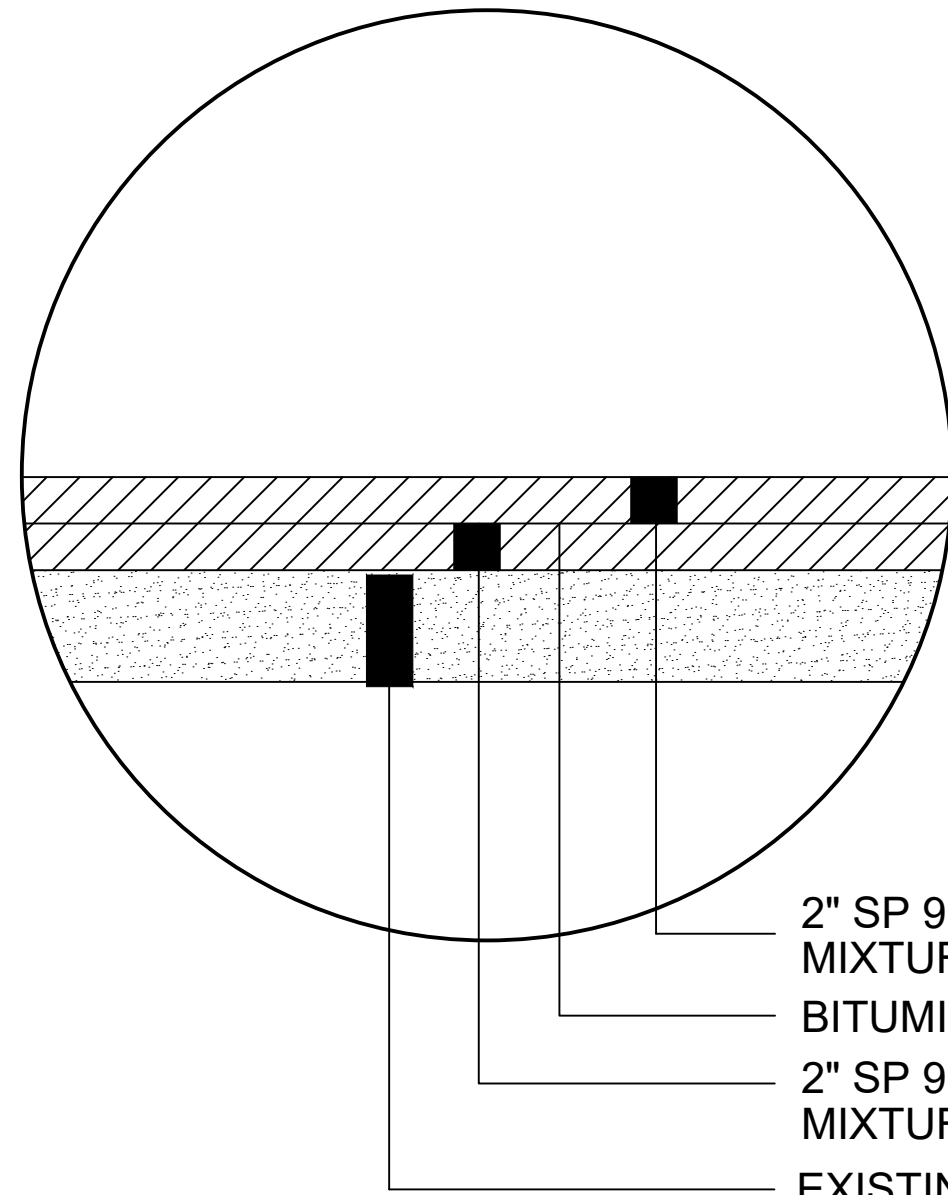
STANDARD DETAILS
INLET PROTECTION SILT BOX
FOR CATCH BASIN BEFORE CONSTRUCTION
FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2007

CITY PLATE NO.
ERO-4A



36" CONCRETE VALLEY GUTTER TYPICAL SECTION



NOTE: IMPORT
AGGREGATE BASE
AS NEEDED TO
EXTEND 1.0'
BEYOND PROPOSED
CURB.

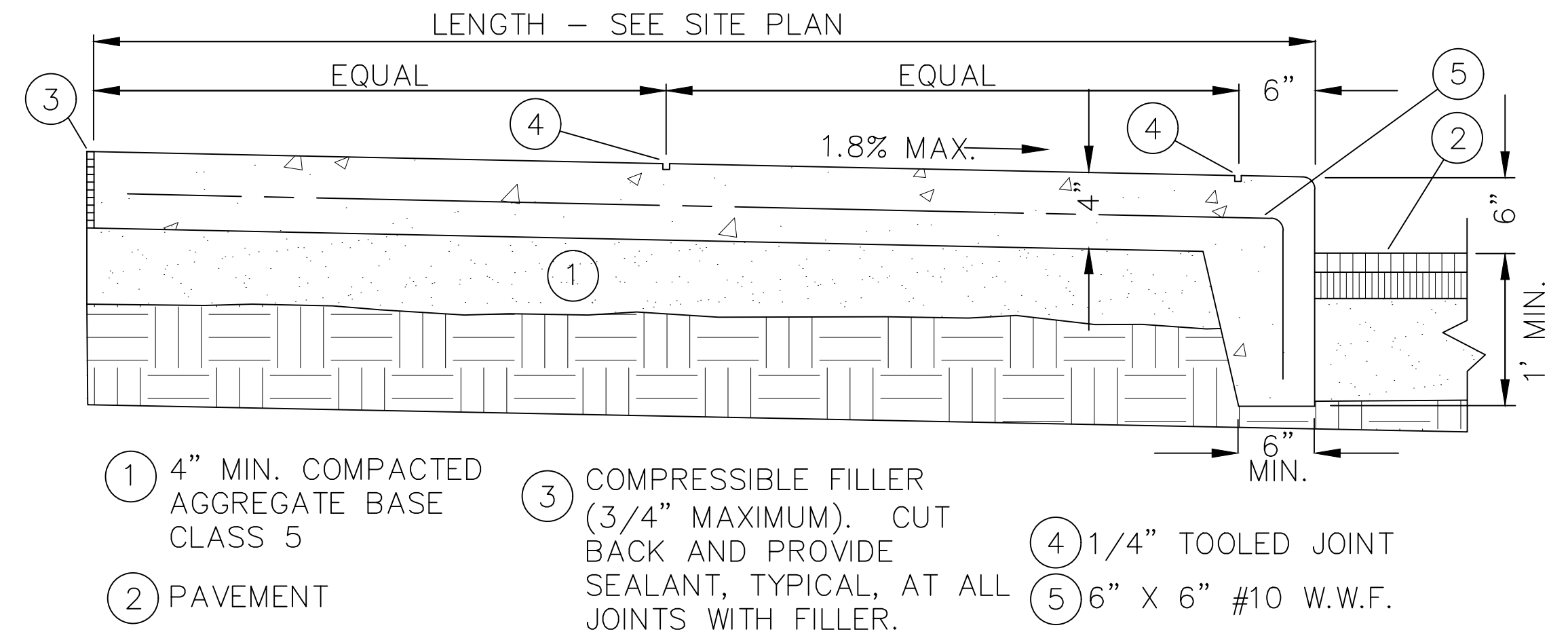
2" SP 9.5 BITUMINOUS WEARING COURSE
MIXTURE SPWEB340C

- BITUMINOUS TACK COAT

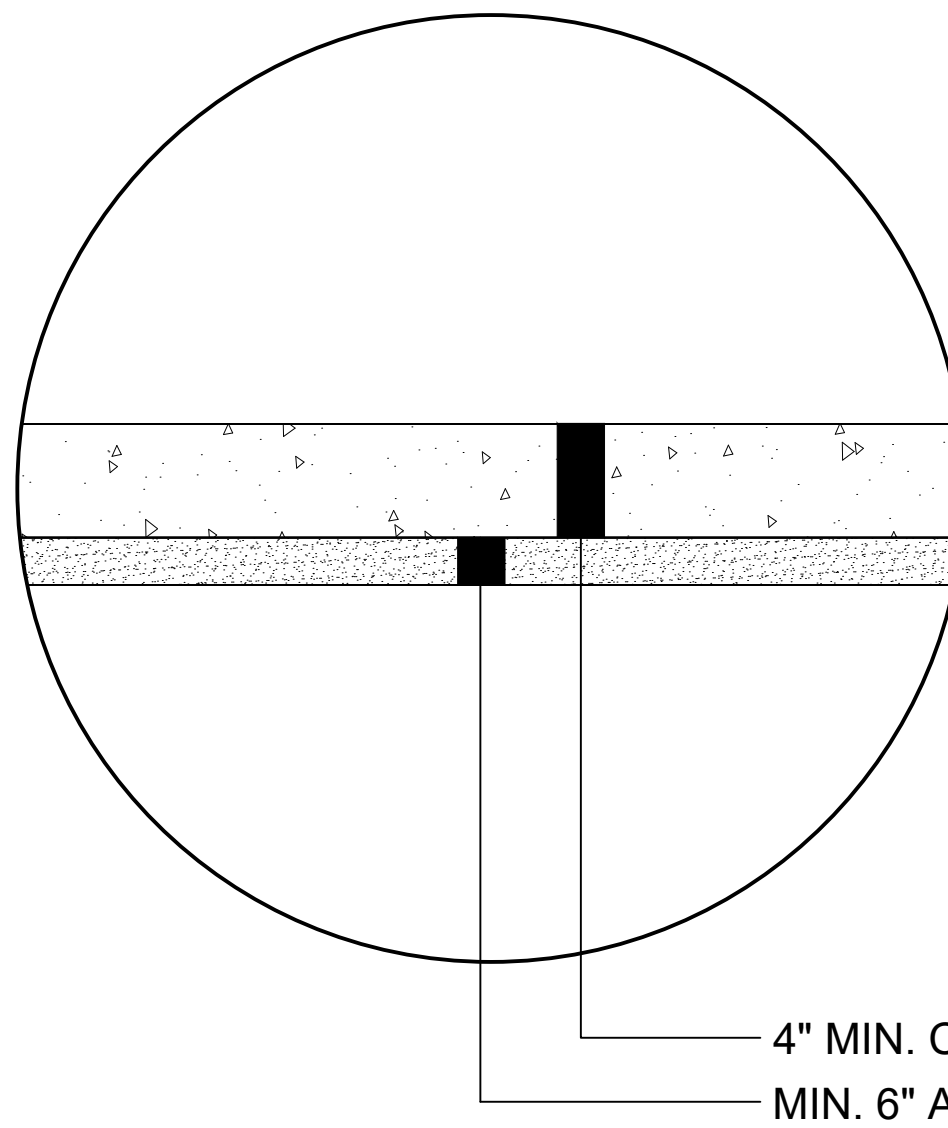
2" SP 9.5 BITUMINOUS WEARING COURSE
MIXTURE SPWEB340C

EXISTING AGGREGATE BASE (THICKNESS MAY VARY)
CONTRACTOR TO VERIFY EXISTING AGGREGATE BASE THICKNESS
MIN. 6" THICKNESS REQUIRED

BITUMINOUS PARKING LOT SECTION



THICKENED EDGE CONCRETE DETAIL
(NOT TO SCALE)

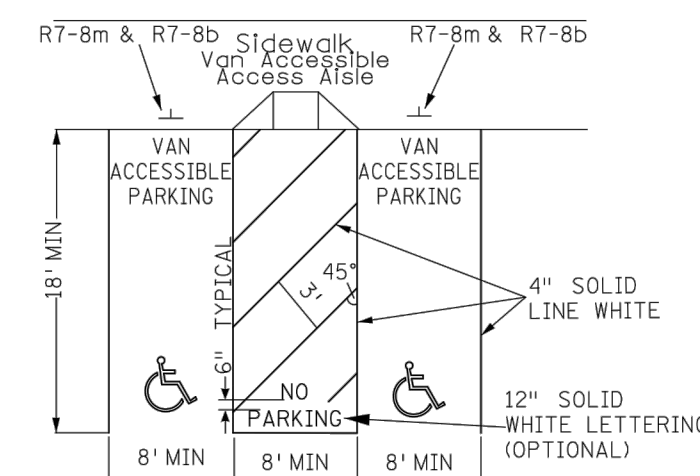


— 4" MIN. CONCRETE WALK PER (MNDOT SPEC 2521)

— MIN. 6" AGGREGATE BASE CLASS V (PER MNDOT SPEC 2211)

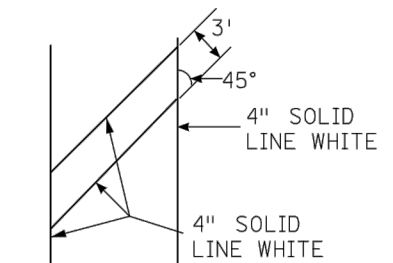
4" CONCRETE WALK SECTION

ACCESSIBLE PARKING FOR PARKING LOTS



TOTAL NUMBER OF MARKED OR METERED PARKING SPACES ON THE BLOCK PERIMETER	MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4
101 - 150	5
151 - 200	6
201 and over	4% of total

TYPICAL MARKINGS FOR ACCESS AISLE



DESIGNER'S NOTES:

- REFER TO TABLE A FOR STANDARDS ON THE MINIMUM REQUIRED NUMBER OF ACCESSIBLE PARKING SPACES OR STALLS RELATIVE TO THE TOTAL NUMBER OF PROVIDED AUTOMOBILE PARKING SPACES OR STALLS.
- ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 96 IN WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE."
- THERE MUST BE A SIGN POSTED SO THAT IT IS VISIBLE FROM WITHIN THE VEHICLE.
- EACH DESIGNATED SPACE MUST BE 8' WIDE WITH AN ADJACENT 5' WIDE ACCESS AISLE.
- VAN ACCESSIBLE SPACE MUST HAVE AN ADJACENT 8' WIDE ACCESS AISLE.
- VAN ACCESSIBLE SPACE MUST HAVE A SIGN INDICATING "VAN ACCESSIBLE"
- DESIGNATED SPACES TO BE ON AN ACCESSIBLE ROUTE LOCATED AS NEAR AS POSSIBLE TO AN ACCESSIBLE ENTRANCE.
- EACH SPACE TO HAVE A SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, INDICATING THAT A PERMIT IS REQUIRED AND NOTIFICATION OF A \$200 MAXIMUM FINE FOR VIOLATION.
- TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.



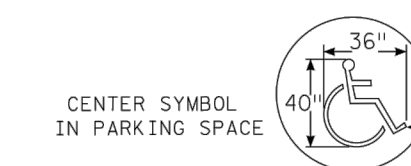
R7-8m



R7-8m



R7-8b



CENTER SYMBOL
IN PARKING SPAC

4" SOLID
— LINE WHITE

PROPOSED FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES SAWCUT LINE
	DENOTES REMOVE EXISTING BITUMINOUS
	DENOTES REMOVE EXISTING CONCRETE
	DENOTES REMOVE EXISTING STORM SEWER

EXISTING FEATURES LEGEND

	DENOTES EXISTING BITUMINOUS
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CURB AND GUTTER
	DENOTES PROPERTY RIGHT OF WAY
	DENOTES EXISTING BUILDING
	DENOTES EXISTING GAS METER
	DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING ELEC TRANSFORMER BOX
	DENOTES EXISTING WATER HYDRANT
	DENOTES EXISTING STORM SEWER

SITE REMOVAL NOTES:

THE CONTRACTOR SHALL LOCATE ALL UTILITIES VIA A GOPHER STATE ONE CALL.

THE CONTRACTOR SHALL LOCATE PRIVATE UTILITIES, COORDINATING WITH THE OWNER.

THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES BEFORE DISTURBING THE SITE.

CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT NOTED FOR DEMOLITION & REMOVAL DURING REMOVALS. ANY DAMAGED STRUCTURES TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

ALL MATERIALS IDENTIFIED FOR REMOVAL SHALL BE DISPOSED OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2020 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

PARID:

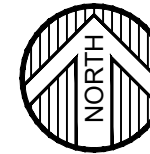
0703221440002
708 12TH ST SW
FOREST LAKE, MN 55025
ZONE: MULTIPLE FAMILY (MF)

OWNER:

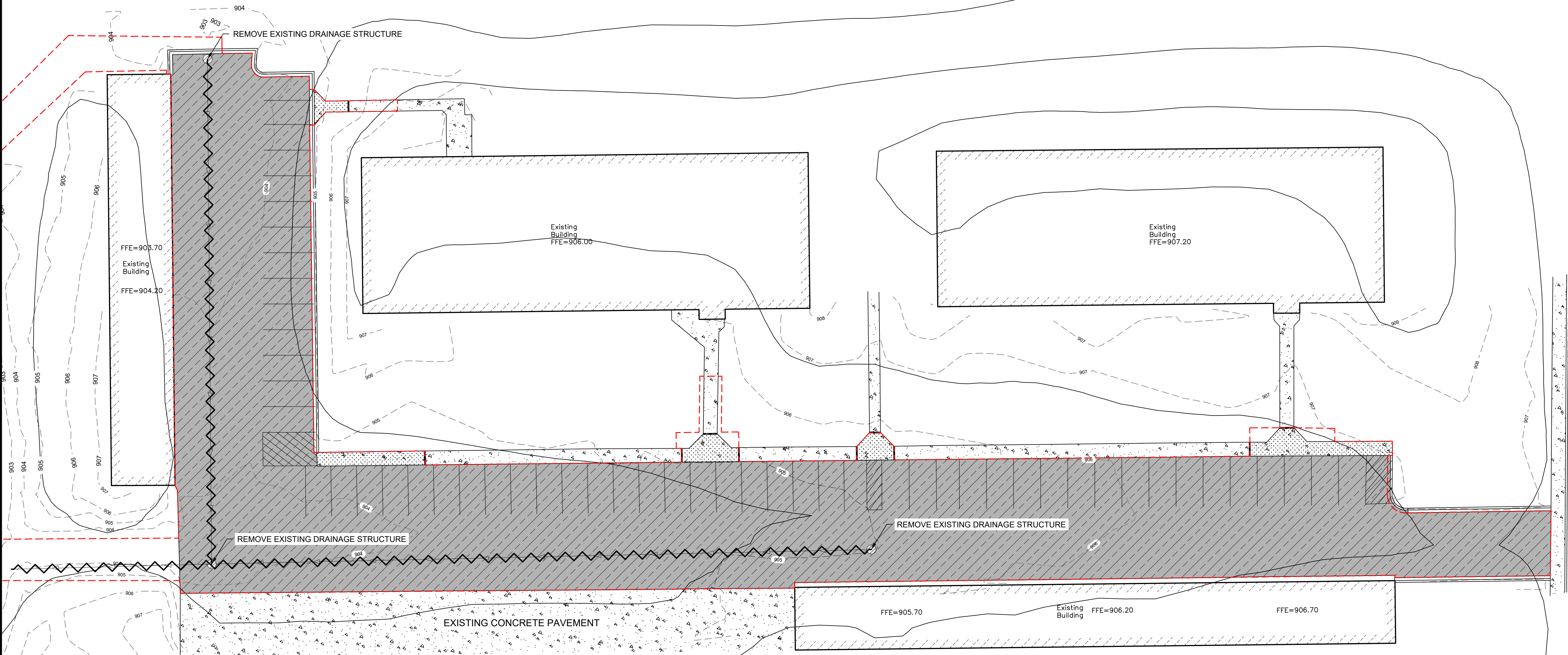
CAMPBELL PROPERTIES
CONTACT: MIKE MEARS
EMAIL: MIKEM@CAMPBELLPROP.COM

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)

5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651) 358-2345



0 20 40
SCALE (IN FEET)



CLFLWD SUBMITTAL - REVISED 7/24/2024

AUTUMN HILLS APARTMENTS - PARKING LOT REPLACEMENT

706 12TH ST SW, FOREST LAKE, MN
WASHINGTON COUNTY

EXISTING CONDITIONS AND REMOVALS PLAN

SHEET NO.
C4.0

SHEET 5 of 8

WHEREAS, I, FRANK E. BRODEEN, A PROFESSIONAL CIVIL ENGINEER, HAVE PREPARED THIS PLAN SPECIFICATION AND RECORD DRAWING IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINNESOTA ENGINEERING ACT, CHAPTER 326, AND I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 7/10/2024 LIC. NO. 57780
FRANK E. BRODEEN

DATE	REVISION DESCRIPTION	BY

DATE:	MAY 2024
SCALE:	AS SHOWN
DRAWN BY:	JEB
CHECKED BY:	FEB
JOB NUMBER:	2024-10838

PROPOSED FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED BITUMINOUS SURFACE (SEE DETAILS FOR PAVEMENT SECTION)
	DENOTES PROPOSED CONCRETE WALK (SEE DETAILS FOR WALK SECTION)
	DENOTES PROPOSED THICKENED EDGE SIDEWALK (SEE DETAILS)
	DENOTES PROPOSED CONCRETE VALLEY GUTTER (SEE DETAILS)
	DENOTES PROPOSED CURB AND GUTTER
	DENOTES PROPOSED RIP RAP
	DENOTES PROPOSED SIGNAGE (SEE DETAILS)

EXISTING FEATURES LEGEND

	DENOTES EXISTING BITUMINOUS
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CURB AND GUTTER
	DENOTES PROPERTY RIGHT OF WAY
	DENOTES EXISTING BUILDING
	DENOTES EXISTING GAS METER
	DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING ELEC TRANSFORMER BOX
	DENOTES EXISTING WATER HYDRANT
	DENOTES EXISTING STORM SEWER

SITE PLAN NOTES:

THE CONTRACTOR SHALL LOCATE ALL UTILITIES VIA A GOPHER STATE ONE CALL.

THE CONTRACTOR SHALL LOCATE PRIVATE UTILITIES, COORDINATING WITH THE OWNER.

THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES BEFORE DISTURBING THE SITE.

CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT NOTED FOR DEMOLITION & REMOVAL DURING REMOVALS. ANY DAMAGED STRUCTURES TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

PROPOSED STRIPING SHALL FOLLOWING THE ACCESSIBLE PARKING FOR PARKING LOTS DETAIL. SEE CIVIL DETAILS SHEETS FOR INFORMATION.

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

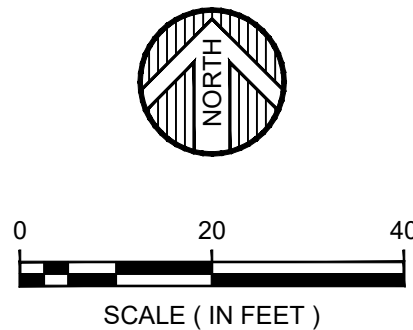
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THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

PARID: 0703221440002
708 12TH ST SW
FOREST LAKE, MN 55025
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OWNER: CAMPBELL PROPERTIES
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EMAIL: MIKEM@CAMPBELLPROP.COM

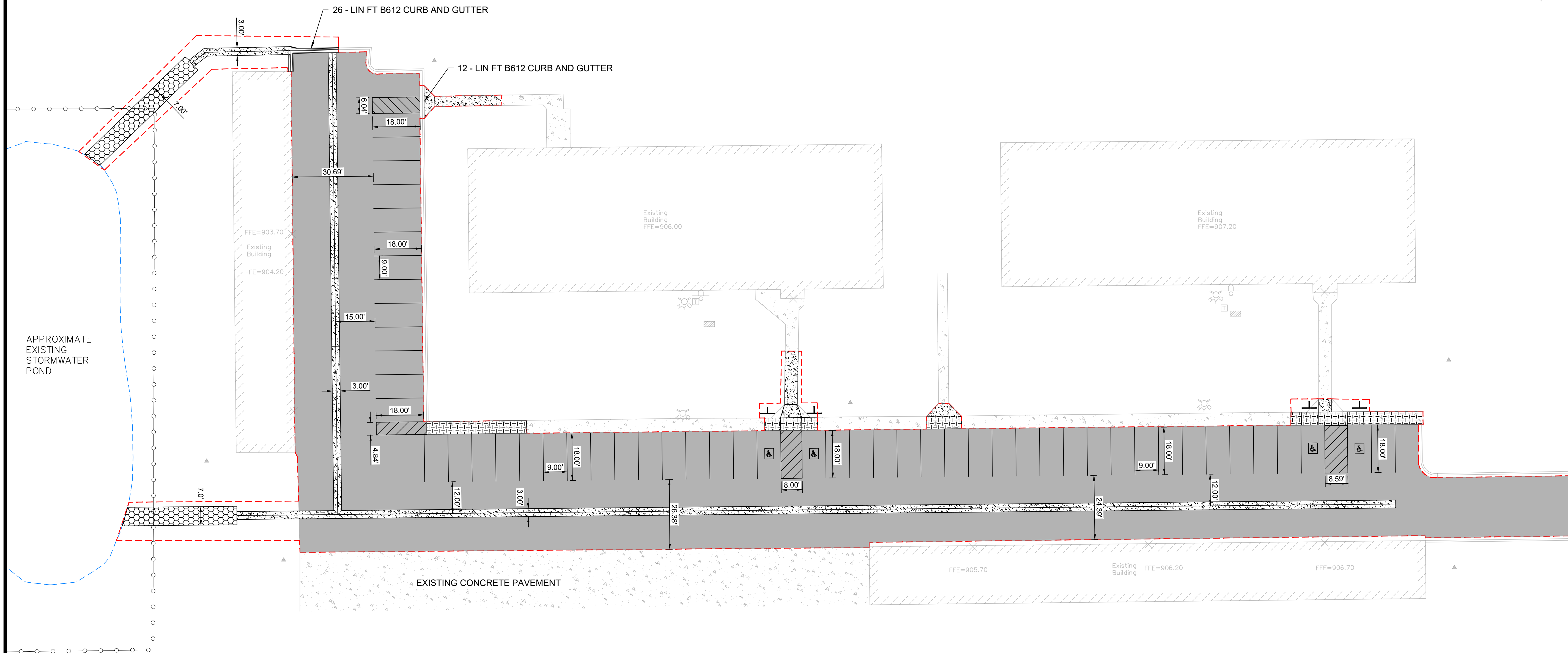
CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651) 358-2345



PROJECT LAND USE SUMMARY:

TOTAL PROPERTY AREA (PER WASH CO GIS): 3.9 ACRES
TOTAL PROJECT DISTURBED AREA: 0.69 ACRES
TOTAL EXISTING IMPERVIOUS AREA: 0.64 ACRES
TOTAL PROPOSED IMPERVIOUS AREA: 0.64 ACRES
TOTAL RECONSTRUCTED IMPERVIOUS AREA: 0.04 ACRES

*NOTE: RECONSTRUCTED IMPERVIOUS AREA CALCULATED AS TRENCH AREA FOR REMOVAL OF EXISTING STORM SEWER. ASSUMED TRENCH WIDTH IS 4FT.



CLFLWD SUBMITTAL - REVISED 7/24/2024

AUTUMN HILLS APARTMENTS - PARKING LOT REPLACEMENT
706 12TH ST SW, FOREST LAKE, MN
WASHINGTON COUNTY

SITE PLAN

SHEET NO.
C5.0

SHEET 6 OF 8

WHEREBY I HEREBY CERTIFY THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA
Frank E. Brodeen
FRANK E. BRODEEN
DATE: 7/10/2024 LIC. NO. 57780

DATE	REVISION DESCRIPTION	BY

DATE: JUNE 2024	AS SHOWN
DRAWN BY: JEB	FEB
CHECKED BY:	
JOB NUMBER: 2024-10838	

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED BITUMINOUS SURFACE (SEE DETAILS FOR PAVEMENT SECTION)
	DENOTES PROPOSED CONCRETE WALK (SEE DETAILS FOR WALK SECTION)
	DENOTES PROPOSED CONCRETE VALLEY GUTTER (SEE DETAILS)
	DENOTES PROPOSED CONTOUR
	DENOTES PROPOSED SLOPE
	DENOTES PROPOSED RIP RAP
	DENOTES PROPOSED SIGNAGE

	DENOTES EXISTING BITUMINOUS
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CURB AND GUTTER
	DENOTES PROPERTY RIGHT OF WAY
	DENOTES EXISTING BUILDING
	DENOTES EXISTING GAS METER
	DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING ELEC TRANSFORMER BOX
	DENOTES EXISTING WATER HYDRANT
	DENOTES EXISTING STORM SEWER

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SPOT ELEVATIONS SHOWN INDICATE FINISHED SURFACE GRADE, UNLESS OTHERWISE NOTED.

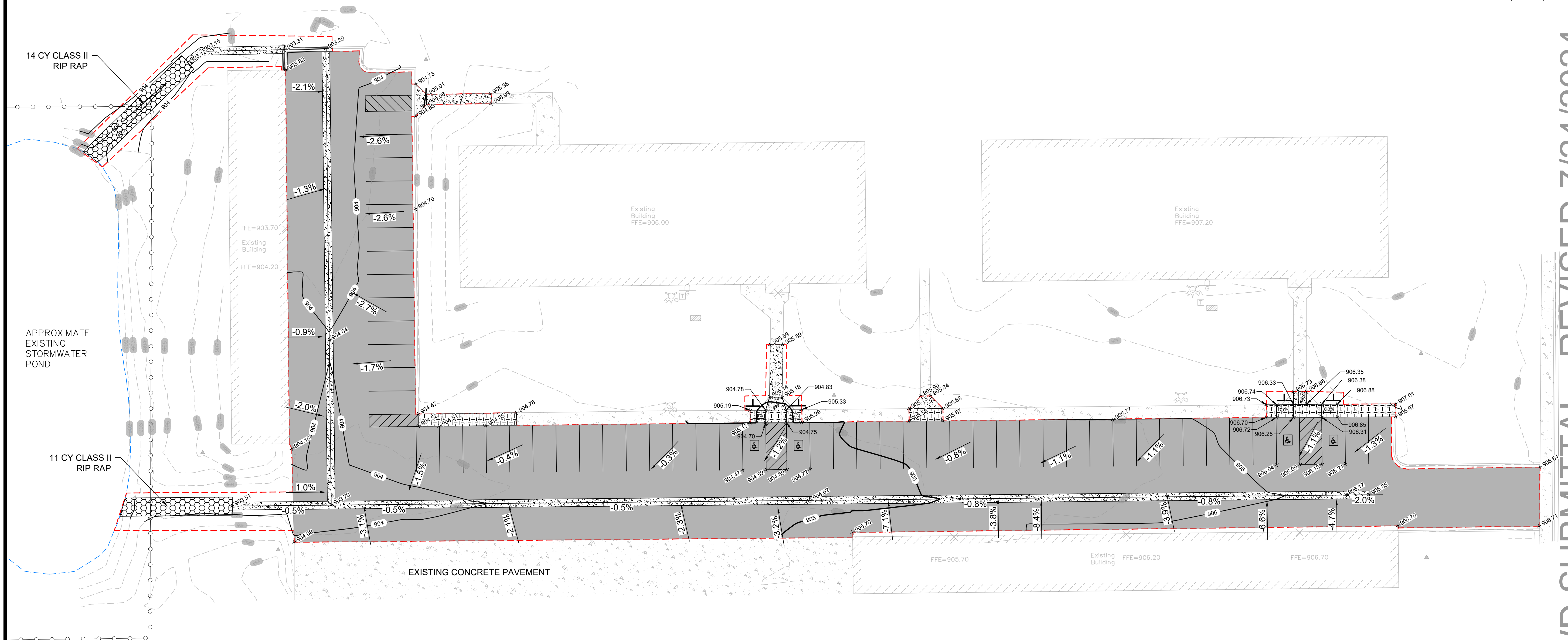
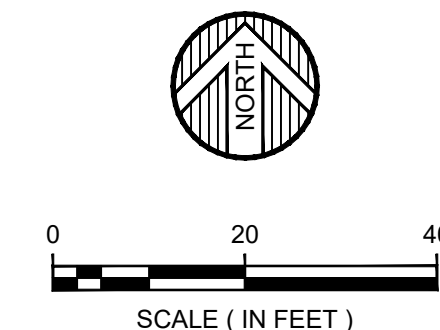
THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2020 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

PARID: 0703221440002
708 12TH ST SW
FOREST LAKE, MN 55025
ZONE: MULTIPLE FAMILY (MF)

OWNER: CAMPBELL PROPERTIES
CONTACT: MIKE MEARS
EMAIL: MIKEM@CAMPBELLPROP.COM

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651) 358-2345



06.71 06.64

TAUTUMN HILLS APARTMENTS - PARKING LOT REPLACEMENT
706 12TH ST SW, FOREST LAKE, MN
WASHINGTON COUNTY
GRADING AND DRAINAGE PLAN

SHEET NO.
C6.0

SHEET 7 OF 8

PROPOSED FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED SILT FENCE
	DENOTES SEDIMENT CONTROL LOG (BIOROLL)
	DENOTES STORM STRUCTURE INLET PROTECTION
	DENOTES PROPOSED ROCK CONSTRUCTION EXIT
	DENOTES PROPOSED RANDOM RIP RAP CL II
	DENOTES PROPOSED SEEDING AREA
	DENOTES APPROXIMATE STOCKPILE AREA

EXISTING FEATURES LEGEND

	DENOTES EXISTING BITUMINOUS
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CURB AND GUTTER
	DENOTES PROPERTY RIGHT OF WAY
	DENOTES EXISTING BUILDING
	DENOTES EXISTING GAS METER
	DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING ELEC TRANSFORMER BOX
	DENOTES EXISTING WATER HYDRANT
	DENOTES EXISTING STORM SEWER

TURF ESTABLISHMENT AND EROSION CONTROL PLAN NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIASCE 38-2. ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

ALL SILT FENCE AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. MAINTENANCE AND REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE INCIDENTAL TO THE GRADING CONTRACT

ALL STREETS UTILIZED FOR PROJECT CONSTRUCTION MUST BE CLEANED AT THE END OF EACH DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO REDUCE TRACKING OF SEDIMENT ONTO PUBLIC STREETS.

ALL EXPOSED SOILS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS OF ROUGH GRADE COMPLETION OR AFTER CONSTRUCTION TERMINATES. ALL STOCKPILES SHALL HAVE ADEQUATE SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.

ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE 4" OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SEEDING REQUIREMENTS:
MNDOT SEED MIX 25-151 @ 120 LBS/ACRE
FERTILIZER TYPE 3 (22-5-10) @ 350 LBS/ACRE
MULCH TYPE 1 @ 2 TONS/ACRE
NOTE: HYDRAULIC MULCH MAY BE USED AS STABILIZING COVER AS A SUBSTITUTE TO MULCH TYPE 1 AT CONTRACTORS CHOICE.

SEE PLAN FOR A COMPLETE LEGEND OF HATCHES AND SYMBOLS USED FOR TURF ESTABLISHMENT AND EROSION CONTROL.

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

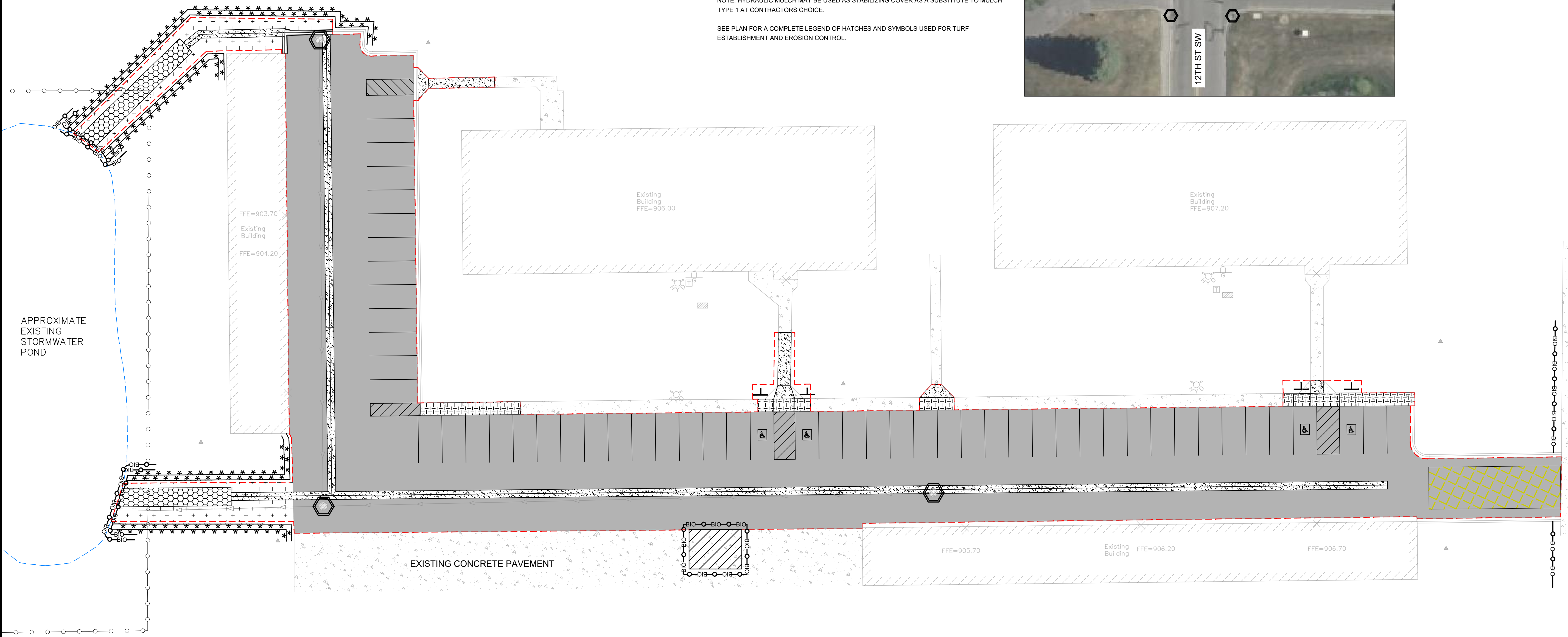
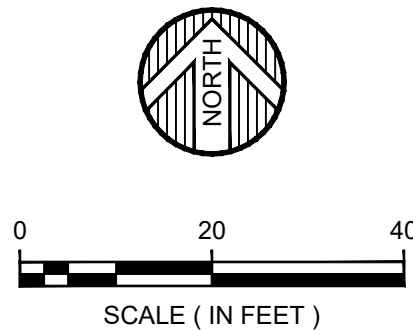
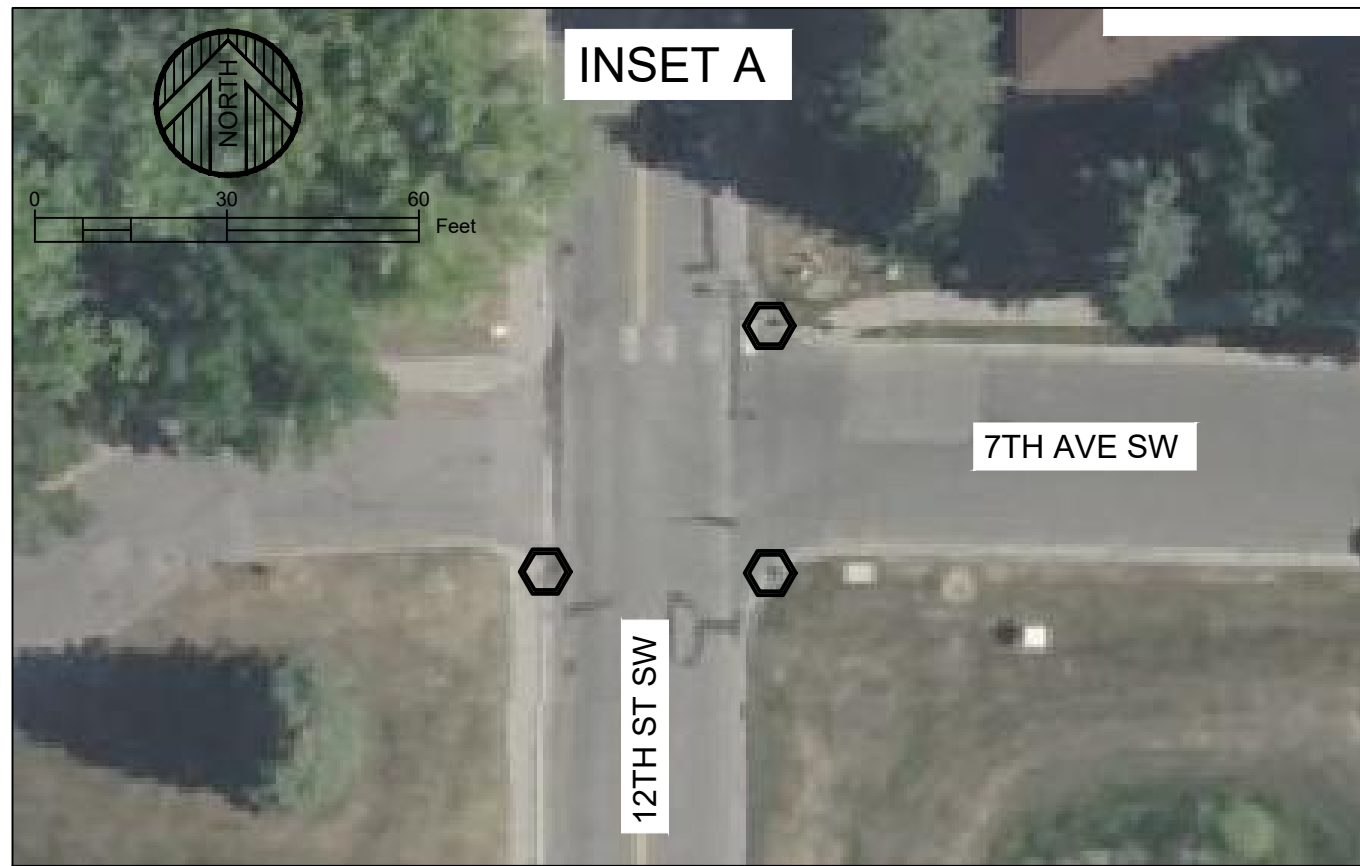
THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

PARID: 0703221440002
708 12TH ST SW
FOREST LAKE, MN 55025
ZONE: MULTIPLE FAMILY (MF)

OWNER: CAMPBELL PROPERTIES
CONTACT: MIKE MEARS
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CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651) 358-2345



CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

CLFLWD SUBMITTAL - REVISED 7/24/2024

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

WIDSETH SMITH NOLTING & ASSOCIATES, INC.
REGISTERED PROFESSIONAL CIVIL ENGINEERS
THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA

FRANK E. BRODEEN
DATE: 7/10/2024 LIC. NO. 57780

DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
JUNE 2024	AS SHOWN				
DRAWN BY: JEB					
CHECKED BY: FEB					
JOB NUMBER: 2024-10838					

AUTUMN HILLS APARTMENTS - PARKING LOT REPLACEMENT
706 12TH ST SW, FOREST LAKE, MN
WASHINGTON COUNTY

TURF ESTABLISHMENT AND EROSION CONTROL PLAN

SHEET NO. **C7.0**

SHEET 8 OF 8

**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 09-11-24-01

**A RESOLUTION APPROVING SITE AND DESIGN PLANS FOR THE
RECONSTRUCTION AND RECONFIGURATION OF THE PARKING LOT FOR THE
AUTUMN HILLS APARTMENTS LOCATED AT 706 AND 708 12TH STREET
SOUTHWEST**

WHEREAS, Mr. Randy Gitlestad, representing Campbell Properties, (“Applicant”), and the owners of the property located at 706 – 708 12th Street Southwest, located in the City of Forest Lake, Washington, County, Minnesota with PID 07.032.21.44.0002, (“Property”); and

WHEREAS, the legal description of the part of the Property for the proposed parking lot reconstruction and reconfiguration is detailed on **Exhibit A** attached hereto; and

WHEREAS, the Applicant submitted an application and project plans to the City of Forest Lake on August 6, 2024, for site plan review for the reconstruction and reconfiguration of the existing parking lot on the Property; and

WHEREAS, the requested improvements to the site include the removal of the existing parking lot surface, removal the existing storm sewer system, removing select sections of existing sidewalk, construction of a new concrete valley gutter, construction of new sidewalk and ADA ramp sections, installing a new bituminous surface in the parking lot and new parking lot striping as shown in the project plans dated July 27, 2024; and

WHEREAS, Staff recommended approval of the site plan review request as further articulated in the City Staff Report dated September 11, 2024, for the September 11, 2024, Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The proposed use and site plan are consistent with the City’s adopted 2040 Comprehensive Plan.
2. The proposed site plan for the parking lot repair and reconfiguration will be consistent with the City’s adopted zoning ordinance with the exceptions noted in this report.
3. The proposed site improvements will be consistent with the City’s adopted zoning ordinance provided the applicant revises the project plans to meet the requirements of the City Engineer and the Watershed District.
4. The proposed improvements will not substantially alter the natural state of the property as it currently has a two apartment buildings, detached garage buildings and associated parking. The proposed site plan for the parking lot repair and reconfiguration will preserve the natural features on the site as almost all the proposed site work will be in the existing parking lot while preserving the ponding area to the west. The applicant will not be removing any trees with the proposed improvements.

5. The proposed site plan is consistent with City requirements for building placement, architectural details, traffic circulation, yard areas, lighting, and the like.\ with the changes as recommended by City staff.
6. City staff does not expect neighboring properties to be adversely impacted by the proposed improvements and they should be adequately protected by the proposed use and site plan.

WHEREAS, the Forest Lake Planning Commission (Planning Commission) considered the request at its September 11, 2024, meeting, and reviewed the staff report; and

WHEREAS, the Forest Lake Planning Commission has determined the City should conditionally approve the proposed Site Plan Review to permit the site improvements as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Site Plan Review for the Property as described herein with the following conditions:

1. The final plans, including but not limited to site, grading, utility, landscaping, signs, driveway and parking lot improvements, shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1272.
2. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District must be satisfied before the completion of all the proposed improvements and the use being reestablished on site.
3. The requirements of the City Engineer (as noted in his review memo dated August 22, 2024), Public Works Director, and Fire Chief must be incorporated into the final project plans and shall be met before the construction of this project.
4. The applicant or owner shall receive all permits from the City and the Comfort Lake-Forest Lake Watershed before starting any demolition, grading or construction activity.
5. The applicant and/or landowner shall apply for and receive a right-of-way permit from the City for the project. The permit is for the project work that will be in the public right-of-way including sidewalk and driveway apron replacement and shall include all required financials and charges including, but not limited to:
 - Letter of Credit or cash escrow for the estimated cost of the installation of the proposed and required improvements in the public right-of-way.

This permit shall be completed and approved by the City before the applicant or contractor starts any grading or construction activity on the site.

6. All required City financial guarantees shall be submitted and approved by the City before the contractor starts any demolition, grading or construction activity on site.
7. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
8. All required documents shall be recorded at Washington County at the applicant's expense.
9. All construction activity and material storage shall be contained on site. There shall be no construction staging or material storage on 12th Street SW or on any City streets.

10. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall show the following:
 - a. Designate and sign the handicapped-accessible parking spaces according to Code requirements.
 - b. All other changes to the proposed plans as required by the City.
 - c. The concrete sidewalks and pedestrian ramps adjacent to the parking lot shall meet American with Disabilities (ADA) standards.
 - d. The replacement of all affected public sidewalks sections and the driveway apron onto 12th Street SW.
11. The applicant or contractor shall hold a preconstruction meeting before starting any demolition, construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
12. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.
13. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
14. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

This resolution is adopted by the Planning Commission of the City of Forest Lake on the 11th day of September 2024.

Paul Girard, Planning Commission Chair

Attest:

Jolleen Chaika, Forest Lake City Clerk

RESOLUTION NO. 09-11-24-01**EXHIBIT A****Legal Description of Subject Property for Development****PROPERTY DESCRIPTION**

Section 07 Township 032 Range 021 - PT N1/2-NE1/4-SE1/4-SE1/4 BEING ALL THAT PT LYING S OF THE N 1386FT OF THE SE1/4 OF SD SEC 7 EXCEPT THE E 30FT THEREOF

PID: 07.032.21.44.0002

ADDRESS: 706-708 12th Street Southwest, FOREST LAKE MINNESOTA

Date: September 11, 2024

To: City of Forest Lake Planning Commission

From: Ken Roberts, City Planner

Re: Final Plat and Final Planned Unit Development Plan for Shadow Creek Estates

Applicant and Owner: Todd Christenson, Elmcrest Vistas LLC

Location: 6150 202nd Street (WA County PID 2003221410003)

Zoning District: Mixed Residential (MXR-3)

Introduction and Background

Todd Christenson, representing Elmcrest Vistas LLC, has submitted land use applications to the City of Forest Lake for the development of a 46-lot townhouse development called Shadow Creek Estates. They include:

1. A Final Plat for the property to create the proposed public streets and town house lots.
2. Final PUD Plan approval (including Site Plan approval).

Please see the applicant's project narrative, maps and project plans for more information about this proposal.

The Planning Commission reviewed concept plans for this project several times in 2021 and 2022, resulting in a conditional approval of the preliminary plat and preliminary PUD on May 24, 2023.

On June 12, 2023, the City Council found that, with certain conditions, the Shadow Creek Estates Comprehensive Plan Amendment, Zoning Ordinance Map Amendment, Preliminary Planned Unit Development and Preliminary Plat applications conformed and were compatible with Zoning Code, Comprehensive Plan, and all other relevant area plans. Therefore, during this meeting, the City Council made motions to conditionally approve all applications and directed staff to bring documents back to the City Council to memorialize the Council's action.

On June 26, 2023, the City Council adopted the following resolutions for Shadow Creek Estates:

1. Resolution 06-26-23-01: A Resolution Conditionally Approving a Comprehensive Plan Amendment for Shadow Creek Estates.
2. Ordinance No. 725: An Ordinance Amending the City of Forest Lake Official Zoning Map, Rezoning Lots 1-46, Block 41, Shadow Creek Estates from Multiple-Family Residential (MF) to Mixed Residential (MXR-3).
3. Resolution No. 06-26-23-02: A Resolution Conditionally Approving a Preliminary Planned Unit Development Plan for Shadow Creek Estates.

4. Resolution No. 06-26-03-03: A Resolution Conditionally Approving a Preliminary Plat for Shadow Creek Estates.

At this time, the proposed final PUD plan for this site consists of approximately 25.85 acres, with the first phase consisting of 46 lots for attached townhouses on 8.32 gross acres.

Application Review

Planned Unit Development Purpose (§ 153.341.A):

“... to permit a more creative and flexible regulatory process in guiding land development as compared to the standard development regulations of this chapter. The PUD process provides a joint planning/design effort by the city and the applicants, as opposed to the city establishing limits within which applicants must perform. The intent is to provide a greater degree of creativity and flexibility and promote the health, safety, order, convenience, prosperity, and general welfare of the city and its inhabitants.”

Parkland Dedication

City code requires land dedication at the time of subdivision and development for the purpose of establishing parks, trails, or open spaces. This requirement may be fulfilled by dedication of the required parkland, a payment of cash in lieu, or a combination of dedication and cash in lieu.

As part of the 2014 Master Parks, Trails and Open Space Master Plan, the City of Forest Lake solicited community input. When asked if residents felt there are enough park, trail, and open space opportunities in Forest Lake, respondents overwhelmingly noted there was not enough amenities for age groups greater than 10 years old, senior citizens as well as people with special needs. Additionally, 71% of respondents indicated the lack of trail connectivity discouraged people from using the City's trails. When compared with recommended standards, the 2014 Plan indicates a deficit of .40 acre/1,000 residents in the City's neighborhood parks. Using the 2030 population estimate, the City is short 53.4 acres of parkland. This suggests public perception is not inaccurate and there is a need for additional parkland. The acceptance of a parkland dedication fee in lieu of land dedication would allow for the City to continue to expand its needed lands and programs.

This development abuts the existing Southview Park (located directly to the north); therefore, the 2040 Comprehensive Plan does not require parkland dedication in this area. Instead of parkland dedication, Staff recommends the City accept cash in lieu to support enhancement of the existing park system. If cash in lieu is accepted, the total amount to be dedicated would be calculated according to the fair market value, and overall density of the land to be Final Platted.

At its regular meeting on October 14, 2022, the *former* Parks Trails and Lakes Commission motioned to recommend the City accept payment of cash in lieu of parkland dedication.

Trail Connections

The Developer is proposing sidewalk and trail connection through the development. A trail, running from 202nd Street/CR 50 will cross the adjacent property, the shared wetland boundary, and run along the western property boundary to Southview Park to the north of the development site. This trail will be connected to Goodview Avenue via sidewalk along 205th Street North through the town house site.

At its regular meeting on October 14, 2022, the Parks Trails and Lakes Commission motioned to recommend the City require that both trail connections be established, and public easements accepted, prior to the City's release of a building permit.

Zoning Review

The proposed development contains two different land uses. These uses are described below:

- (1) Hobby Farm (Lot 48, Block 1) – A continuation of the present, legal/non-conforming use is proposed in the south side of the development. This use is as an agricultural homestead with a horseback riding training facility. The property would be used as both a residence and as a commercial business where people train with horses.

The stables site would remain as is with no changes to its operations. Therefore, staff has not assessed the proposed property and its boundary for conformance to the existing Multiple Family zoning district.

- (2) Single-Family Attached Units (Lot 1-47, Block 1) – There are 46 single-family, attached (townhome) units proposed for the site. They would be a mixture of 4- to 6-unit buildings. The applicant requested and the City Council approved a Zoning Map Amendment for the northeast corner of the subject property (the site of the proposed townhouses) to MXR-3 (mixed residential) to establish a single family, attached (townhome) zoning district in 2023.

Final Planned Unit Development Review

The primary purpose of a Planned Unit Development (PUD) is to permit a more creative and flexible regulatory process in guiding land development as compared to the standard development regulations of the Zoning Code. The intent for the Shadow Creek Estates PUD is to allow for greater flexibility to preserve the existing farm site while increasing residential density in a new neighborhood adjacent to an established single family neighborhood.

Table 1 below, documents the existing standards with PUD Deviations.

Table 1 – Proposed Standards/Deviations Requested			
	City Code Standard	Required Standard	Requested Deviation
Single, Family Attached	Front Yard Setback	30' from public right-of-way 30' from private street back of curb/edge of pavement	20' to back of curb or sidewalk edge ¹
Existing Farm Site	Grazable Acres/Horse	2 Acres per 1 Horse	See Note, Below ²
Streets	Street Ownership	Streets shall be public	See Note, Below ³
	Street Width	Minimum 32' face-to-face	32' face-to-face ⁴
Fence	Fence Height	6' maximum height	7' Privacy Fence

1. 20' to the back of the curb is shown from the building pad area. The actual setback will be 25' from the edge of the building to the back of the curb. This 25' area will leave ample room for a vehicle to be parked in the driveway without impeding on the public infrastructure.

2. Grazable acreage for Shadow Creek Stables will not be reduced as the wetland bisecting the subject property has not allowed for horses to graze on the northern (future single family, attached) portion of the development. Therefore, the pre-existing, non-conforming nature of the stable operations will not become further non-conforming.
3. City staff has requested snow removal of this roadway be maintained privately. However, City staff is recommending the roadway be a public roadway.
4. The City's standard street width of 32', allows for two-lane travel and parking on both sides of the road.

Final PUD Review Criteria

The City's Planning Commission and City Council shall consider the following criteria in their review of Preliminary and Final PUD proposals:

1. The consistency of the proposed PUD with the city's Comprehensive Plan;
2. The proposed use's compliance with the standards and criteria of the zoning code and subdivision regulations;
3. The extent to which the proposed PUD is designed to form a desirable and unified environment within its own boundaries in terms of relationship of structures, patterns of circulation, visual character, and sufficiency of drainage and utilities;
4. The extent to which the proposed uses will be compatible with present and planned uses in the surrounding area;
5. The impact of the proposed uses on the health, safety, and general welfare of the occupants of the surrounding area;
6. The burden or impact created by the PUD on parks, schools, streets, and other public facilities and utilities;
7. The sufficiency of each phase of the PUD to ensure its construction and operation is feasible without dependence upon any subsequent phase;
8. The impact of the PUD on environmental quality, property values, scenic views, and reasonable enjoyment of the surrounding area; and
9. That any exceptions to city code, policy, or regulations are justified by the design or development of the proposed use.

Staff Review:

This Final PUD request appears consistent with the established policies of the Zoning Code, the Comprehensive Plan and the approved preliminary PUD plan.

Final Plat

The proposed final plat will create 46 lots for townhouses, a 5.19-acre lot for the common-area around the townhouses (Lot 47) and a 16.47-acre lot for the existing house and stables (Lot 48). The proposed final plat also shows two new public streets within the development – 205th Street North and 205th Cove North and right-of-way dedication for Goodview Avenue North. The City is requiring the applicant to include and add where necessary, appropriate drainage and utility easements along all the lot boundaries with the proposed final plat.

Site and Design Review

Site Plan/Design Review

Building Design

City staff reviewed the proposed building designs and site plan against the Design Standards established in City Code Section 153.323 (H) for conformance with the design standards for townhouses. An assessment of conformity is below:

Visual Interest – The proposed designs for the townhouses meet the requirements in Sec. 153.3323 (H) (2)(d) by adhering to the criteria below:

(d) *Exterior building finish.* The exterior of attached/townhome dwelling units shall include a variation in building materials which are to be distributed throughout the building facades and coordinated into the architectural design of the structure to create an architecturally balanced appearance. In addition, attached/townhome dwelling structures shall comply with the following requirements:

1. A minimum of 25% of the combined area of all building facades of a structure shall have an exterior finish of brick, stucco, and/or natural or artificial stone.
2. Except for brick, stucco, and/or natural or artificial stone, no single building facade shall have more than 75% of 1 type of exterior finish.
3. Except for brick, stucco, and/or natural or artificial stone, no townhome dwelling structure shall have more than 60% of all building facades of 1 type of exterior finish.
4. For the purpose of this section and material calculations:
 - a. The area of the building facade shall not include area devoted to windows, entrance doors, garage doors, or roof areas.
 - b. Variations in texture or style (i.e., lap siding versus shake shingle siding) shall be considered as different materials meeting the requirements of this section.
 - c. Integral colored split face (rock face) concrete block shall not qualify for meeting the brick, stucco, and/or natural or artificial stone material requirements.
 - d. Multiple unit buildings in proximity to each other shall not look alike in terms of color of siding, accent and roofing materials. The building under consideration will be compared to 2 homes on 2 lots on either side of it and to the 3 homes directly facing it

Major Exterior Finishes – The proposed building exterior elevations shown on the project plans include a mix of materials. The major design elements and exterior finishes include a hip roof with asphalt shingles, vinyl shake/board and batten panel siding, vinyl horizontal lap siding and stone veneer covering the first level and on the end walls. The building façade materials consist of several surfaces, some of which are considered accent materials as described below.

Accent Materials – All elevations of the proposed building include a variety of architectural elements such as horizontal and vertical trim pieces, decks with railings for each unit and a variety of doors and windows. None of these materials exceed a maximum of 25% of the surface for each façade. Staff has determined the proposed elevations are consistent with the intent of the City's design standards.

Restricted Materials – The proposed building elevations do not contain restricted materials.

Landscaping – The City Code requires:

- (1) All open areas of a lot surrounding or within a principal or accessory use which are not used or improved for required parking areas, drives, or storage shall be landscaped with a combination of overstory trees, understory trees, shrubs, flowers, and groundcover materials within 1 year following the date of building occupancy.
- (2) The minimum number of overstory trees shall not be less than the perimeter of the lot divided by 30. The minimum number of understory trees and shrubs shall not be less than the perimeter of the lot divided by 10.

The development therefore requires the planting of at least 96 overstory trees and 287 understory trees and shrubs.

The developer submitted landscape plan that includes 26 Norway Pine, 24 Black Hills Spruce, 22 Sugar Maple, 19 River Birch, 12 Japanese Lilac, and 6 Littleleaf Linden for a total of 109 trees (98 overstory and 15 understory). The proposed landscape plan also shows the planting of 226 shrubs including juniper, spirea and bowling ball arborvitae. While the proposed number of overstory trees exceeds what is required by the City Code, the landscape plan does not conform to the intent of the Code. The applicant and the builder should incorporate, where possible, additional understory landscaping and shrubs into the final landscape plan.

Unfortunately, the City will not allow tree planting to occur in many of the proposed planting locations as the proposed trees would be in the public street right-of-way, in a drainage and utility easement or over existing or proposed underground utilities. The City should require the applicant to prepare a new landscape and tree planting plan for City approval showing where the trees could be planted while also meeting all City requirements. The City Engineer is recommending that all plantings be located a minimum of 10 feet outside the street right-of-way to avoid conflicts with private utilities and they should not be located above sanitary and water services or storm sewer lines. It appears these planting restrictions would not allow plantings between the buildings and the street. The City also does not generally allow plantings in drainage swales or wetlands. The City Engineer should review the revised landscape and tree planting plans to ensure there will be no conflicts with City standards or with utilities with the proposed location of the trees.

Lighting Plan – Lighting standards for residential properties are established in City Code Section 153.185E(1). The applicant submitted a preliminary exterior lighting plan with their requests. This plan shows five streetlights along the new streets as part of the subdivision improvements. The plans also show exterior lighting on the townhouses. Any proposed exterior lighting plan shall be consistent with standards for lighting in residential districts. This means the placement of lighting shall not exceed the foot-candle threshold established in City Code and the height of freestanding lighting poles in parking or exterior areas cannot exceed 25 feet.

Signage

No development-specific signage is proposed at this time. Any such signage will require review and approval of the City including a building permit if necessary.

Staff/Partner Agency Comments

Engineering Comments

The City Engineer provided comments to the Applicant in a memo dated August 15, 2024. City staff shared these comments with the project engineer who has made several changes to the proposed project plans. Key comments from the memo related to the Planning Commission's review that have not already been addressed are summarized below:

1. The site is located within the Rice Creek Watershed District (RCWD) requiring a permit to be obtained from them subject to stormwater, erosion control, wetland impact, floodplain fill, and any other applicable requirements.
2. Width dimensions for all drainage and utility easements shall be added to the plat.
3. Trail easements should be provided 10' either side of trail centerline for any trails located outside of the right of way. Separate easement documents will need to be provided in addition to the Plat.
4. The 4' separation between driveways is concerning as maintaining turf in this areas will be hard. The applicant should provide detail of what is proposed for these areas and, if turf is proposed, irrigation will be required.
5. The proposed development will be responsible for the following fees in accordance with the current fee schedule at the time of development:
 - a. Letter of Credit for design, proposed improvement costs and landscaping.
 - b. Water System Area Charges, Sanitary Sewer Area Charges, Seal Coat and Park Dedication Fees (Collected at the time of the Developer Agreement).
 - c. Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sewer Fee, City Storm Sewer Availability Charge Fee (Collected at the time of Building Permit issuance).

Public Works

Comments from the Public Works review have been included into the City Engineer's memo.

Fire Chief

The Fire Chief was provided with the proposed development information but he did not have any comments.

Rice Creek Watershed District (RCWD)

As noted by the City Engineer, a wetland delineation has been completed and reviewed by the Technical Evaluation Panel (TEP). Wetland impacts should anticipate having a replacement plan completed and submitted for review and approval. The applicant must get final review and approval of their plans before starting construction of the public improvements for this development.

Public Comment

The City has not received any public comments about these applications for this development.

Findings & Staff Recommendation

The Shadow Creek Estates development intends to preserve existing agricultural operations while developing a transitional neighborhood between existing, single-family residential and (future) higher-density residential. This proposed development supports several of the City's land use goals and objectives.

Recommendations

Staff recommends the Planning Commission take the following actions regarding the land use applications for Shadow Creek Estates to be located on the property west of Goodview Avenue North and south of Georgia Avenue North (PID 20.032.21.41.0003) :

1. **Staff recommends the Planning Commission recommend to the City Council approval of the proposed Final Plat** for Shadow Creek Estates as prepared by E.G. Rud and Sons, subject to the following conditions:
 1. The applicant shall address or mitigate the concerns and the conditions of approval found in the City Engineer's staff report dated August 15, 2024 before the City will release the plat and before the contractor starts the installation of the public improvements.
 2. The applicant shall record the approved final plat and all required documents at Washington County.
 3. The final plat shall include standard width City drainage and utility easements along all property lines and over all areas that contain public utilities and stormwater facilities.
 4. Public utility easements shall be required on WA County PIDs 2003221410001 and 2003221410003. The applicant shall submit legal descriptions for these easements to the City for recording purposes.
 5. The applicant shall provide the City with necessary documents for the City to determine the fair market value for cash fee in lieu of land dedication. The required cash dedication shall be incorporated into the Development Agreement. The City shall not release the Final Plat until all parkland dedication requirements have been fulfilled.
 6. The applicant shall add all other drainage and utility easements to the final plat that the City determines are needed for public utilities and for drainage purposes.
 7. The developer shall show all required trail and sidewalk easements with the final plat. These include the easement across the farm site property and the public easement for the trail across WA County PID 20.032.21.41.0001 for the trail connection to 202nd Street/CR50. Additionally, public easements are required for all sidewalks located on common, HOA-maintained lands.
2. **Staff recommends the Planning Commission recommend to the City Council approval of the Shadow Creek Estates Final PUD application and project site and design plans** for parcel PID 20.032.21.41.0003 for the 46-unit townhouse development to be located west of Goodview Avenue and south of Georgia Avenue North. Staff find the application generally compatible to City standards and previous approvals and therefore recommend a conditional approval of this item.

If the Planning Commission seeks to recommend approval of this request to the City Council, it should make the following motion:

Motion to recommend the approval of Shadow Creek Estates Final PUD including site and design plans to the City Council. This approval shall be subject to the following conditions as proposed by staff (below):

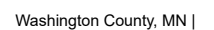
1. This approval shall be subject to all the conditions of approval for the Shadow Creek Estates Final Plat as listed in this staff report.
2. The final plans, including but not limited to building, site, grading, utility, landscaping, signs and driveway improvements, shall conform to those reviewed and conditionally approved as part of this case Number PZ 24-1268 and PZ 24-1277.
3. Any outstanding requirements related to site development and improvements, as identified by the City or Watershed District, must be satisfied before the use being established on site.
4. The requirements of the City Engineer (as noted in his project review memo, dated August 15, 2024), Public Works Director, and Fire Chief must be met before or during the construction and development of this project.
5. The applicant or owner shall receive all permits from the City, Washington County, the Rice Creek Watershed, the State or any other regulatory authority before starting any demolition or construction activity for the public improvements.
6. The applicant shall provide the City with necessary documents for the City to determine the fair market value for cash fee in lieu of land dedication. The amount of the required cash dedication shall be incorporated into the Development Agreement. The City shall not release the Final Plat until all parkland dedication requirements have been fulfilled.
7. The City Attorney shall prepare a Development Agreement for the project that shall be fully executed by the City and the Applicant. This agreement shall be fully executed and recorded at Washington County before the applicant or contractor starts any grading or construction activity on the site. The agreement shall include all required financials and charges including, but not limited to:
 - Letter of Credit for the cost of the design and installation of the proposed and required improvements and landscaping.
 - Water System Area Charges, Sanitary Sewer Area Charges, Seal Coat and Park Dedication Fees (Collected at the time of the Improvement Agreement).
 - Metropolitan Council SAC Fee, City Water Availability Charge Fee, City Core Sewer Fee, City Storm Sewer Availability Charge Fee (Collected at the time of Building Permit issuance).
8. All required City financial guarantees, including any outstanding bills and invoices incurred as part of the review and approval process, shall be submitted and approved by the City before the contractor starts any demolition or construction for the public improvements on site.
9. The City shall not determine the Project to be complete until the City has received payment from the Applicant or Developer for all outstanding invoices related to the project.

10. The applicant or developer shall revise the final plat and project plans to show all proposed and required drainage and utility easements.
11. The City shall not release the final plat for recording until the Development Agreement is fully executed and recorded.
12. The City shall not release any building permits until the Development Agreement is fully executed and recorded.
13. All required documents shall be recorded at Washington County at the applicant's expense.
14. If the City deems it necessary, the City and the property owner shall enter into easement, maintenance and access agreements for the drainage and utility easements and for providing access to the City to enter and cross the property for maintenance purposes. The applicant shall provide the City with surveys and legal descriptions of each of the easements. These agreements and easements shall be recorded against the property at Washington County and proof of recording shall be submitted to the City before the start of the installation of public utilities for the development.
15. Any information needed to confirm the use meets proper licensure, health, safety or building code requirements must be furnished to the City upon request.
16. All construction activity and material storage shall be contained on site. There shall be no construction staging, parking or material storage on any public street including County Road 50, Goodview Avenue and Georgia Avenue North.
17. The City will issue building permits in conformance with the building type (SOG) identified for the lot in the approved grading plan.
18. The applicant shall revise the project plans for City approval before the City issues any permits for this project and before starting construction. The revised plans shall include the following:
 - a. A certificate of survey and a revised, detailed grading and drainage plan with each building permit for City approval. These plans are to include a drainage system to collect and direct water run-off away from adjacent properties.
 - b. All exterior lighting shall meet the City's standards for exterior lighting in the residential zoning district including not exceeding 0.4-foot candles at any property line.
 - c. The height of the freestanding lighting poles shall not exceed 25 feet.
 - d. All light fixtures shall be downlit and/or shielded to prevent glare.
 - e. Irrigation in the landscape areas that will need irrigation to help ensure the plantings will survive and thrive.
 - f. The use of native plantings in the landscape areas that are tolerant to harsh conditions.
 - g. All other changes to the proposed landscape plans as required by the City.
 - h. Changes to the proposed tree planting and landscape plans to remove and relocate the proposed trees out of the public street right-of-way, out of the existing and new drainage and utility easements, and away from locations that would interfere or conflict with underground utilities.
19. The owner or applicant shall get a building permit for any retaining walls that will be four feet high or taller. An engineer shall design the retaining walls and the City shall review and approve the retaining walls through the building permitting process before installation.
20. The applicant shall complete all planning, zoning and engineering review and approval before the City will release any building permits.

21. The applicant or contractor shall hold a preconstruction meeting before starting any construction or grading activity on the site. The applicant or owner shall invite representatives from the City, the Watershed District and the private utility companies as noted on the project plans to this meeting.
22. The applicant shall complete all planning, zoning and engineering review and approval before the City releases any permits for this project.
23. Any future significant alterations to the site as determined *Major* or *Minor* under City Code Section 153.038 by the City will require the Applicant or Owner to obtain City approval of an amendment of this Site Plan approval.
24. Failure to adhere to any of the conditions listed herein shall be deemed a public nuisance.

Attachments:

1. Location Map
2. Property Line Map
3. Aerial Photo
4. Proposed Final Plat (2 Pages)
5. Proposed Civil Plans dated 8-20-24 (18 pages)
6. Proposed Landscaping Plans (2 Pages)
7. Proposed Building Plans from Lennar



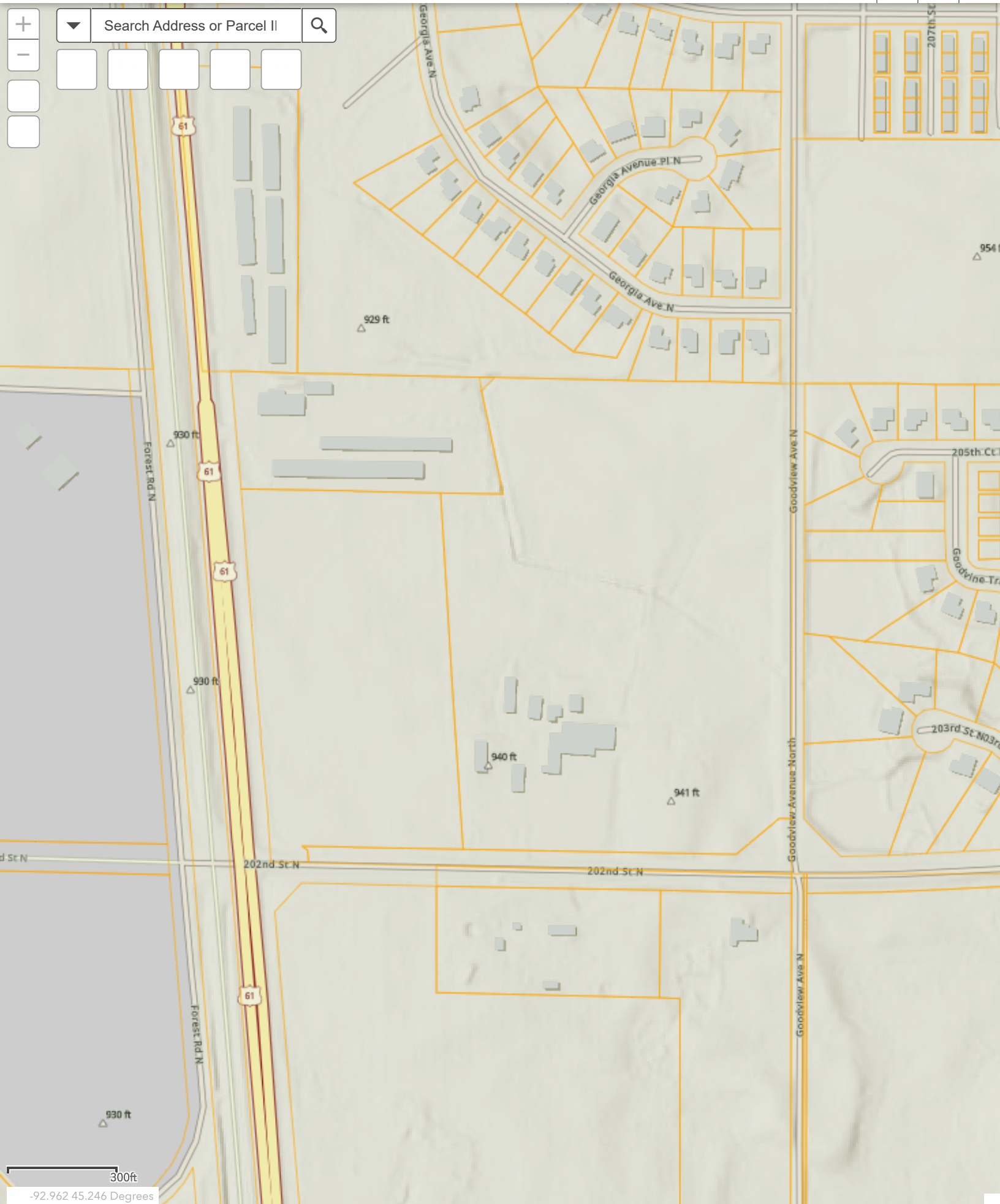
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▼

Search Address or Parcel ID

Q



300ft

-92.962 45.246 Degrees



0 263 Feet



**BOLTON
& MENK**

Real People. Real Solutions.

Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.



Forest Lake
AS GOOD AS IT SOUNDS

Shadow Creek Estates

KNOW ALL PERSONS BY THESE PRESENTS: That Elmcrest Vistas LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Washington, State of Minnesota, to wit:

That part of the North Half of the Southeast Quarter of Section 20, Township 32 North, Range 21 West, Washington County, Minnesota, lying easterly of the following described line:

Commencing at the southeast corner of said North Half of the Southeast Quarter; thence westerly, along the south line of said North Half of the Southeast Quarter, a distance of 885.81 feet to the point of beginning of the line to be described; thence northerly, deflecting 85 degrees 09 minutes 09 seconds to the right, a distance of 1006.28 feet to the south line of the McCullough and Sons Inc. property as recorded in Document No. 366555 in the Office of the County Recorder, Washington County, Minnesota, which is also the south line of the North 315 feet of said North Half of the Southeast Quarter; thence easterly, along said south line a distance of 168.96 feet to the southeast corner of said McCullough and Sons Inc. property; thence northerly, along the easterly lines of said McCullough and Sons Inc. property, a distance of 333.94 feet to the north line of said North Half of the Southeast Quarter and there terminating.

LESS AND EXCEPT Parcel No. 3 of WASHINGTON COUNTY HIGHWAY RIGHT OF WAY PLAT NO. 71, recorded June 12, 1990, in the Office of the Washington County Recorder as Document No. 633146.

Has caused the same to be surveyed and platted as SHADOW CREEK ESTATES and does hereby donate and dedicate to the public for public use forever the public ways and drainage and utility easements created by this plat.

In witness whereof said Elmcrest Vistas LLC, a Minnesota limited liability company, has caused these presents to be signed by James D. MacKinnon, Chief Manager, on this ____ day of _____, 20__.

ELMCREST VISTAS LLC

James D. MacKinnon, Chief Manager

STATE OF MINNESOTA
COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20__, by James D. MacKinnon, as Chief Manager of Elmcrest Vistas LLC, a Minnesota limited liability company, on behalf of the company.

(Signed)

(Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I James E. Napier, do hereby certify that I have surveyed and platted or directly supervised the survey and platting of the property described on this plat as SHADOW CREEK ESTATES; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on the plat have been or will be correctly set within one year as indicated on the plat; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3 existing as of the date of this certification are shown and labeled on the plat; and that all public ways are shown and labeled on the plat.

Dated this ____ day of _____, 20__.

James E. Napier, Licensed Land Surveyor
Minnesota License No. 25343

STATE OF MINNESOTA
COUNTY OF _____

The foregoing Surveyor's Certificate was acknowledged before me on this ____ day of _____, 20__, by James E. Napier, Licensed Land Surveyor, Minnesota License No. 25343.

(Signed)

(Printed)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY OF FOREST LAKE, MINNESOTA

This plat was approved by the City Council of Forest Lake, Minnesota, this ____ day of _____, 20__, and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subdivision 2.

CITY OF FOREST LAKE, MINNESOTA

By _____ By _____
Mayor Clerk

COUNTY SURVEYOR

Pursuant to Chapter 820, Laws of Minnesota, 1971, and in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ____ day of _____, 20__.

By _____ By _____
Washington County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes, the current taxes and transfer has been entered on this ____ day of _____, 20__.

By _____ By _____
Washington County Auditor/Treasurer Deputy

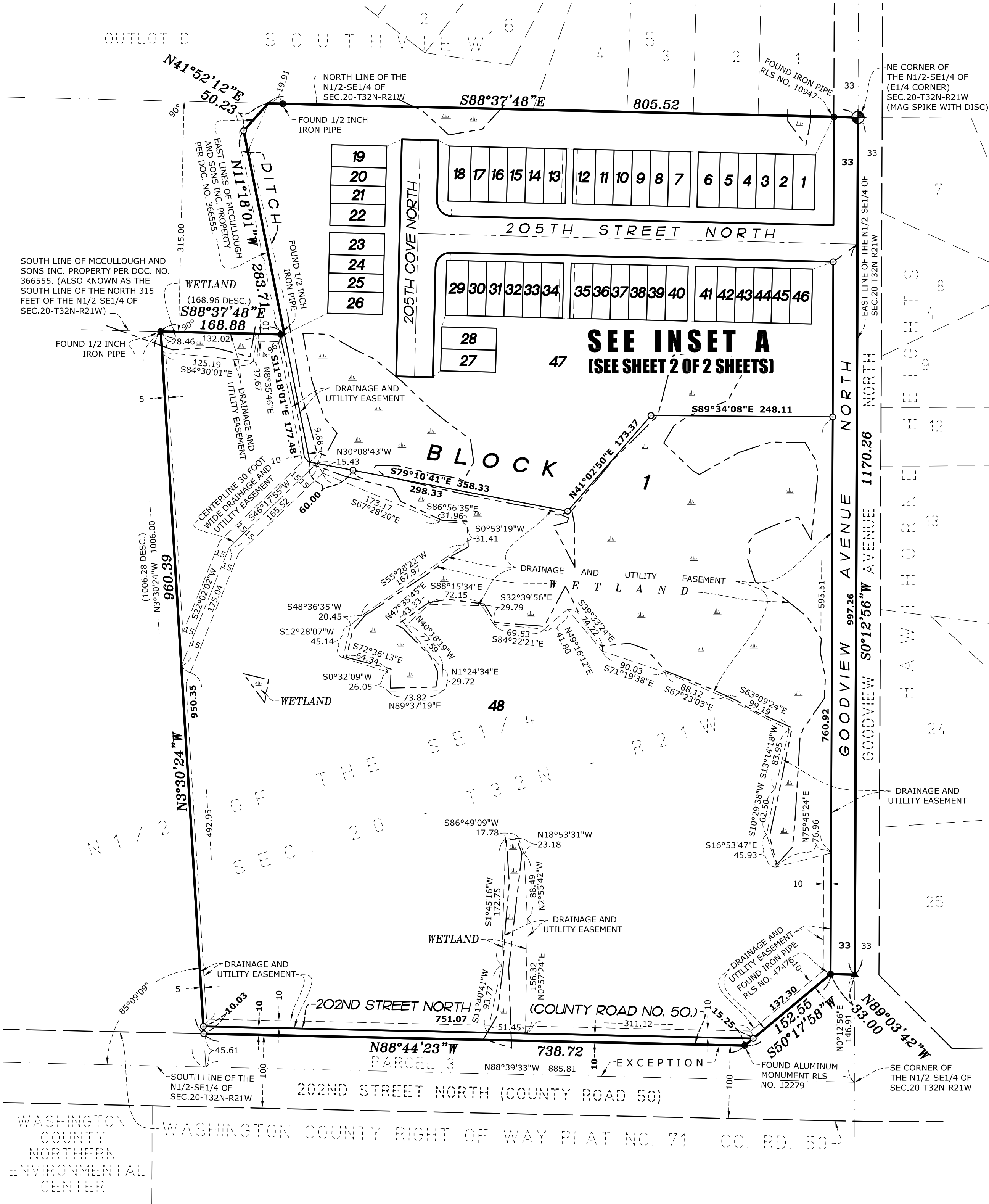
COUNTY RECORDER

Document Number _____

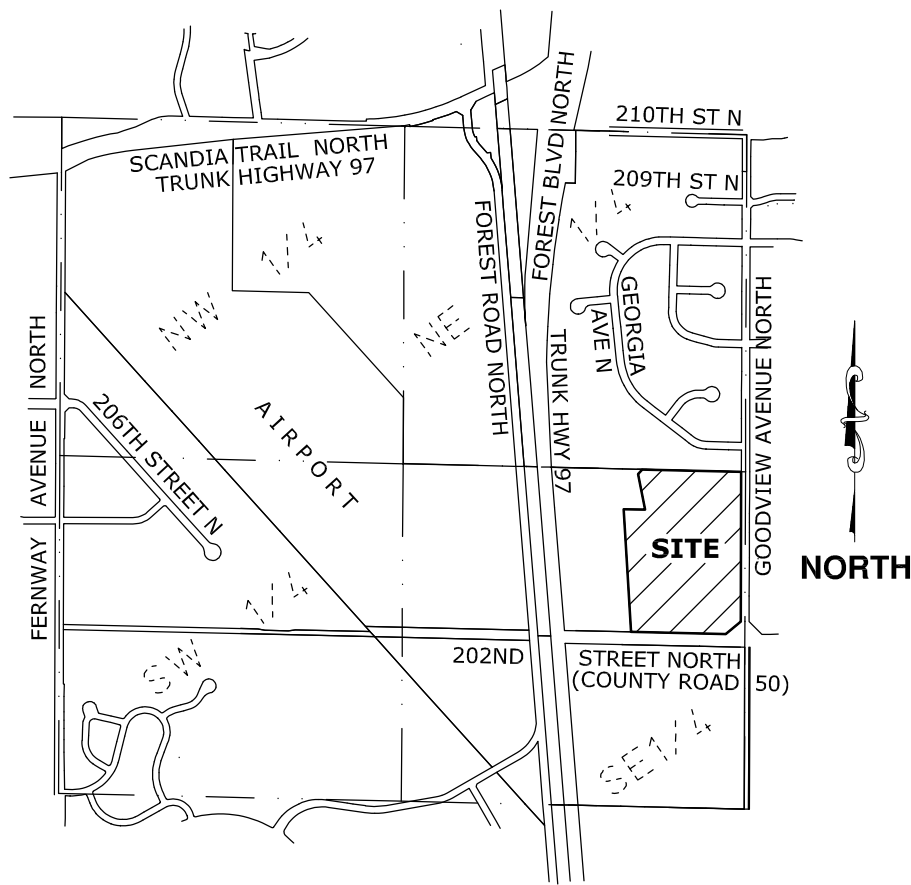
I hereby certify that this instrument was recorded in the Office of the County Recorder for record on this ____ day of _____, 20__, at ____ o'clock __ M., and was duly recorded in Washington County Records.

By _____ By _____
Washington County Recorder Deputy

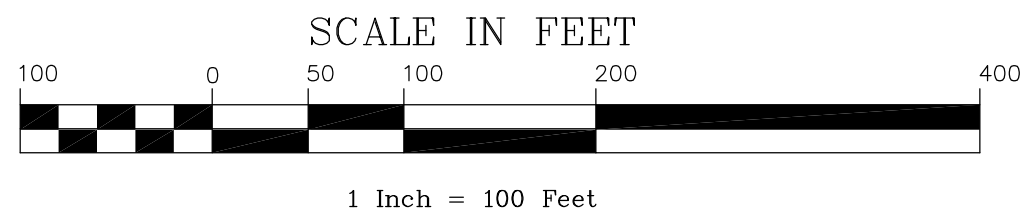
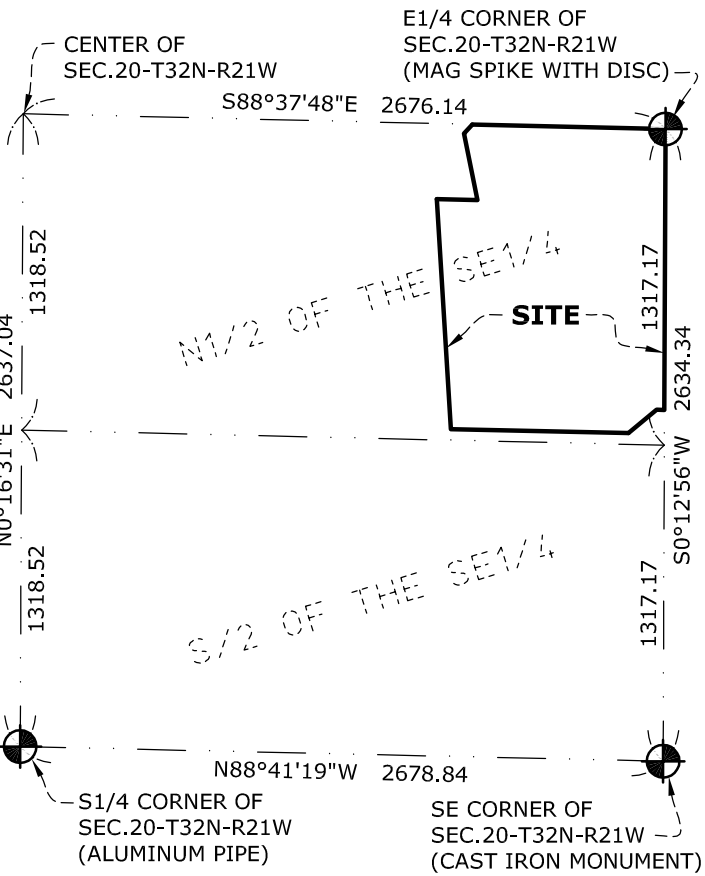
SHADOW CREEK ESTATES



VICINITY MAP SEC.20-T32N-R21W WASHINGTON COUNTY, MINNESOTA Not to Scale



SECTION DETAIL SE1/4 OF SEC.20-T32N-R21W WASHINGTON COUNTY, MINNESOTA Not to Scale



ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE WASHINGTON COUNTY COORDINATE SYSTEM NAD 83 (1986).

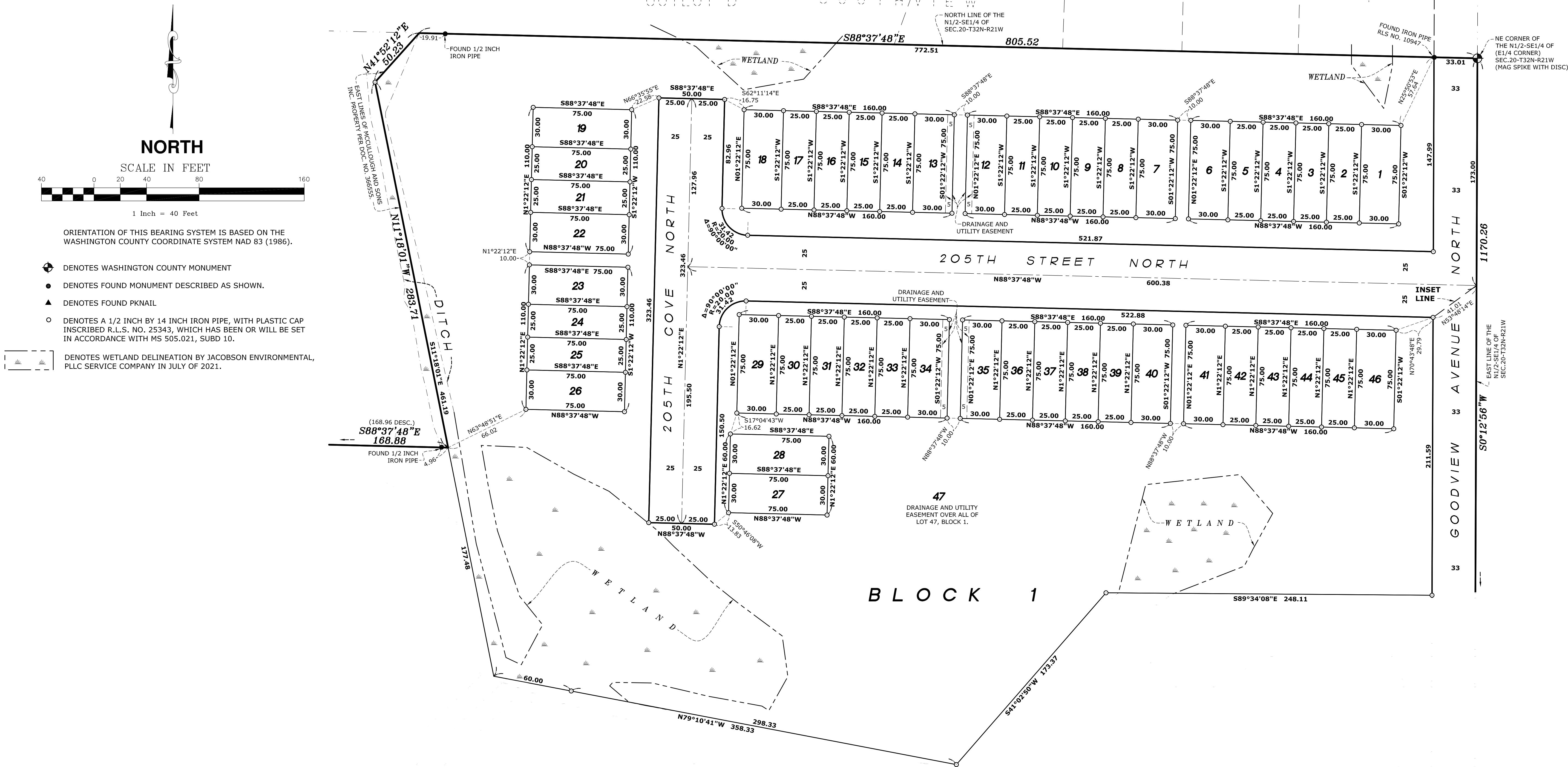
- DENOTES WASHINGTON COUNTY MONUMENT
- DENOTES FOUND MONUMENT DESCRIBED AS SHOWN.
- ▲ DENOTES FOUND PKNAIL
- DENOTES A 1/2 INCH BY 14 INCH IRON PIPE, WITH PLASTIC CAP INSCRIBED R.L.S. NO. 25343, WHICH HAS BEEN OR WILL BE SET IN ACCORDANCE WITH MS 505.021, SUBD 10.

■ DENOTES WETLAND DELINEATION BY JACOBSON ENVIRONMENTAL, PLLC SERVICE COMPANY IN JULY OF 2021.

(DESC.) DENOTES RECORD DIMENSION PER DESCRIPTION.

SHADOW CREEK ESTATES

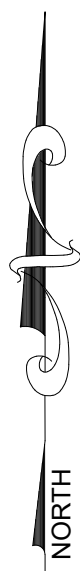
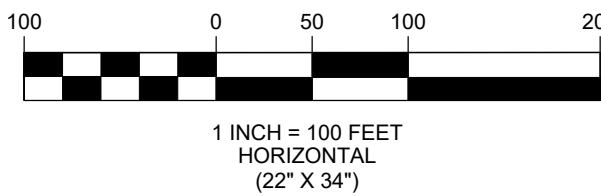
INSET A



SHADOW CREEK ESTATES

TITLE SHEET, NOTES & LEGEND

FOREST LAKE, MN



LEGEND

	EXISTING UTILITY POLE		PROPOSED WATER PIPE
	EXISTING BOLLARD		PROPOSED FORCEMAIN PIPE
	EXISTING STORM SEWER		PROPOSED STORM SEWER PIPE
	EXISTING WATER MAIN		PROPOSED STORM MANHOLE
	EXISTING SANITARY SEWER		PROPOSED CATCH BASIN
	EXISTING MANHOLE		PROPOSED FLARED-END SECTION
	EXISTING FLARED-END SECTION		PROPOSED GATE VALVE
	EXISTING CATCH BASIN		PROPOSED HYDRANT
	EXISTING CHAIN LINK FENCE		PROPOSED RIPRAP
	EXISTING WOOD FENCE		PROPOSED INLET PROTECTION
	EXISTING GATE VALVE		PROPOSED DIRECTION OF DRAINAGE
	EXISTING HYDRANT		PROPOSED POINTS
	EXISTING SANITARY MANHOLE		(GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
	EXISTING GAS METER		PROPOSED SILT FENCE
	EXISTING OVERHEAD WIRE		PROPOSED POND MAINTENANCE ACCESS AND MAINTENANCE BENCH
	EXISTING UNDERGROUND GAS LINE		TEMPORARY WETLAND IMPACTS
	EXISTING UNDERGROUND CABLE LINE		WETLAND IMPACTS
	WET- DENOTES APPROVED WETLAND DELINEATION		PROPOSED RETAINING WALL
	DENOTES STAKED GEO-TECHNICAL BORING LOCATION		

ELEVATIONS SHOWN ARE BASED ON NAVD 88

GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL "811" AT LEAST 48 HOURS PRIOR TO ANY EXCAVATIONS FOR EXISTING UTILITIES LOCATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- ALL PROPOSED PUBLIC STREET, SANITARY SEWER, WATER MAIN, AND STORM SEWER FACILITIES SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CURRENT FOREST LAKE PUBLIC WORKS/ ENGINEERING STANDARD, STANDARD DETAIL PLATES, AND ZONING CODES.
- ALL WORK SHALL BE PERFORMED DURING CITY APPROVED WORKING HOURS.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL, SIGNS, BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS, AS NECESSARY TO CONTROL THE MOVEMENT OF TRAFFIC.

STORM SEWER NOTES

- STORM SEWER MATERIALS SHALL BE:
 - RCP ONLY
- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION, LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.
- FLARED-END SECTIONS SHALL INCLUDE RIPRAP (STO-13); FLARED-END SECTIONS 24" AND LARGER REQUIRE TRASH GUARD (STO-12).

SANITARY SEWER NOTES

- SANITARY SEWER MATERIALS SHALL BE:
 - MAIN:
 - 8" PVC SDR 35 WHEN DEPTH IS LESS THAN 18 FEET
 - 8" PVC SDR 26 WHEN DEPTH IS OVER 18 FEET
 - SERVICES: 4" PVC SCHEDULE 40
- FIELD VERIFY SIZE, ELEVATION AND LOCATION OF EXISTING SANITARY SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- CONTRACTOR TO CONTACT CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO CONNECTION TO EXISTING PUBLIC SANITARY SEWER.

WATERMAIN NOTES

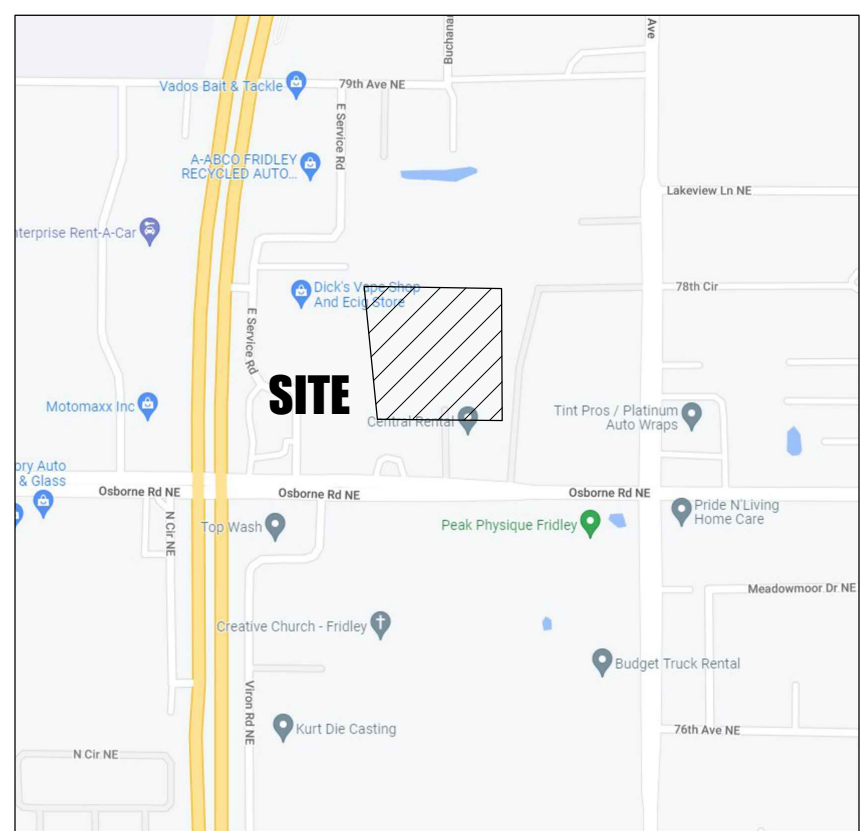
- WATERMAIN MATERIALS SHALL BE:
 - MAIN: PVC C-900, DR-18
 - SERVICES: 1" HDPE (IPS SDR-7 S50 PSI)
- TRACER WIRE IS REQUIRED ON ALL PLASTIC PIPE.
- FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING WATERMAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.
- MAINTAIN A MINIMUM OF 7.5 FEET OF COVER OVER ALL WATERMAIN PIPE.
- PROVIDE PREFORMED INSULATION, PPG FOAMGLASS, OR APPROVED EQUAL WHERE SANITARY SEWER OR STORM SEWER CROSSES WITHIN 24" OF WATERMAIN.
- WATERMAIN SHUTOFF REQUIRES A MIN. 48 HOUR NOTICE TO CITY ENGINEERING DEPARTMENT AND ALL AFFECTED PROPERTY OWNERS.

CURB & BITUMINOUS NOTES

- REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
- ALL MATCH POINTS AND PAVEMENT PATCHES TO BE SAW-CUT AT FULL DEPTH.
- RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
- BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.



VICINITY MAP

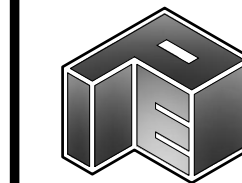


ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF FOREST LAKE, MNDOT, AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY CONTRACTOR. INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

AN MPCA NPDES CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF CONSTRUCTION

SHEET INDEX

C0	TITLE SHEET, NOTES & LEGEND
C1.1	SITE & PAVING PLAN
C1.2	REMOVALS PLAN
C2.1	GRADING, DRAINAGE & EROSION CONTROL PLAN
C3.1	PLAN / PROFILE - SANITARY & WATER - 205TH ST N
C3.2	PLAN / PROFILE - SANITARY & WATER - 205TH COVE N
C3.3	PLAN / PROFILE - SANITARY & WATER - MISC.
C3.4	PLAN / PROFILE - STREET & STORM - 205TH ST N
C3.5	PLAN / PROFILE - STREET & STORM - 205TH COVE N
C3.6	PLAN / PROFILE - BITUMINOUS TRAIL
C4.1-4.6	DETAILS
C5.1-5.2	STORM WATER POLLUTION PREVENTION PLAN



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

NO.	DATE	CITY REVIEW COMMENTS	DESCRIPTION
1	12-12-22	CITY REVIEW COMMENTS	
2	04-15-2022	CHECK BY: CWP	JOB NO: 22-2034
3	04-15-2022	SITE LAYOUT ADJUSTMENTS	
4	04-15-2022	OUTLOT A REMOVED	
5	04-15-2022	ONE UNIT REMOVED	
6	04-15-2022	CITY/CROWD SUBMITTAL	
7	04-15-2022	PAD ADJUSTMENTS AND RESUBMITTAL	
8	04-15-2022	CITY REVIEW COMMENTS	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
TITLE SHEET, NOTES & LEGEND
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C0

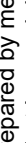


6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

	DRAWN BY: AG	CHECK BY: CWP	JOB NO: 22-2034	DATE: 04-15-2022
3	4-4-23	OUTLOT A REMOVED		
4	5-15-23	ONE UNIT REMOVED		
5	6-26-23	CITY/ROWD SUBMITTAL		
6	7-8-24	PAD ADJUSTMENTS AND RESUBMITTAL		
7	7-19-24	STREET LIGHTS ADDED		
8	8-7-24	CITY REVIEW / COMMENTS		

I hereby certify that this plan was prepared by me or
under my direct supervision and that I am a duly
Licensed Professional Engineer under the laws of the
State of Minnesota.


ADAM GINKEL

SHADOW CREEK ESTATES

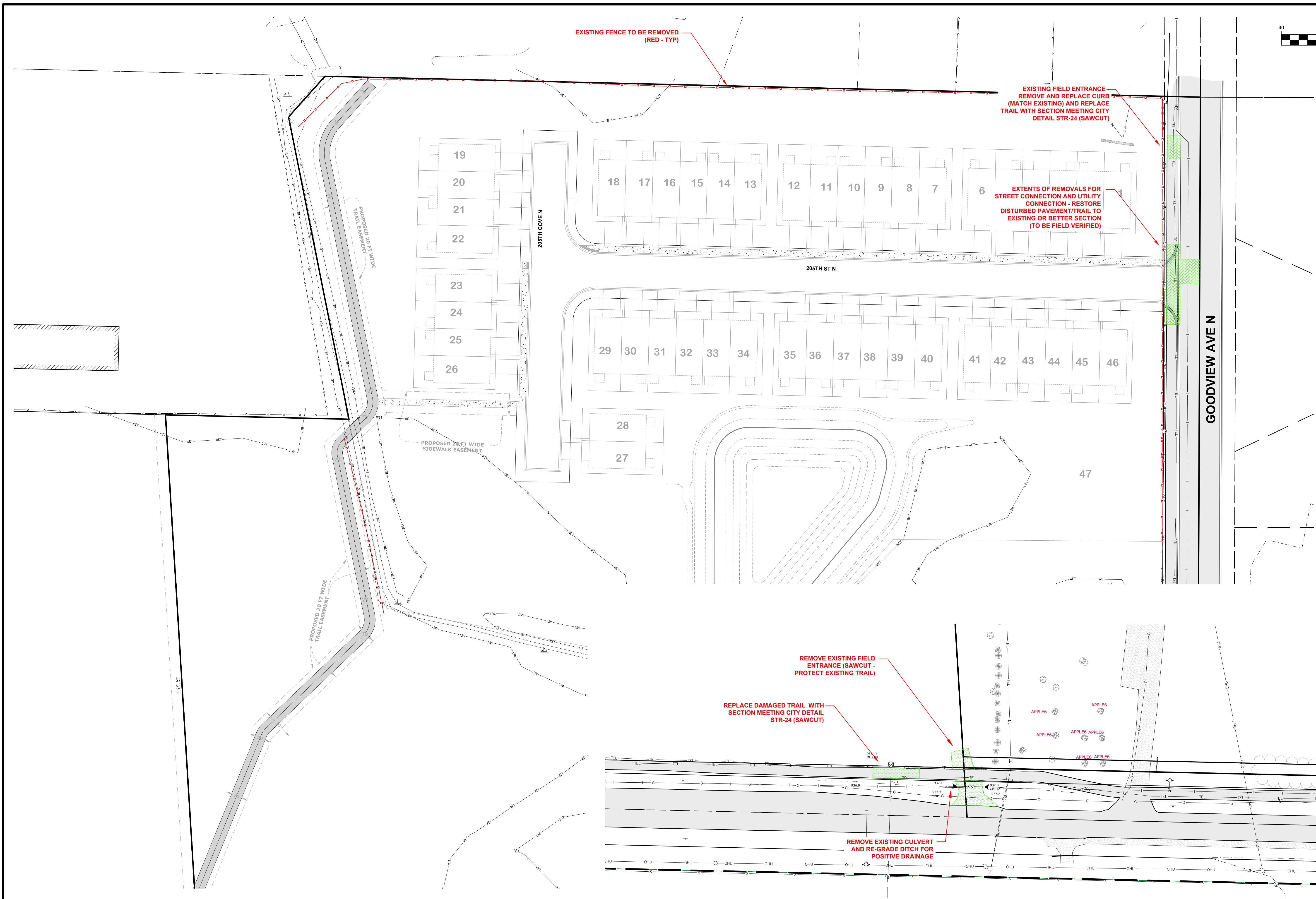
CITY OF FOREST LAKE, MN

SITE PLAN

PREPARED FOR: E1 MCBEST VISTAS, LLC

SHEET

C1.1





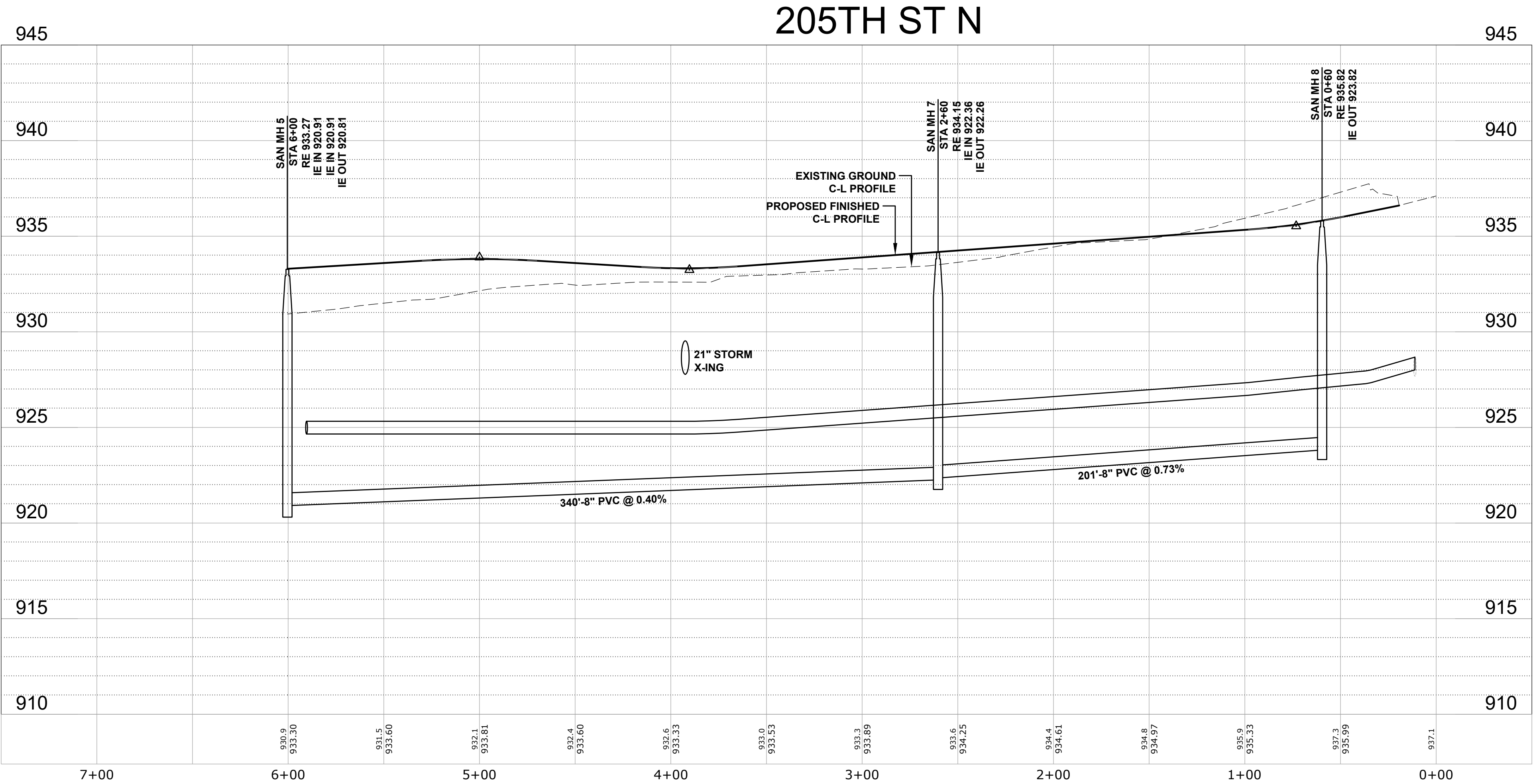
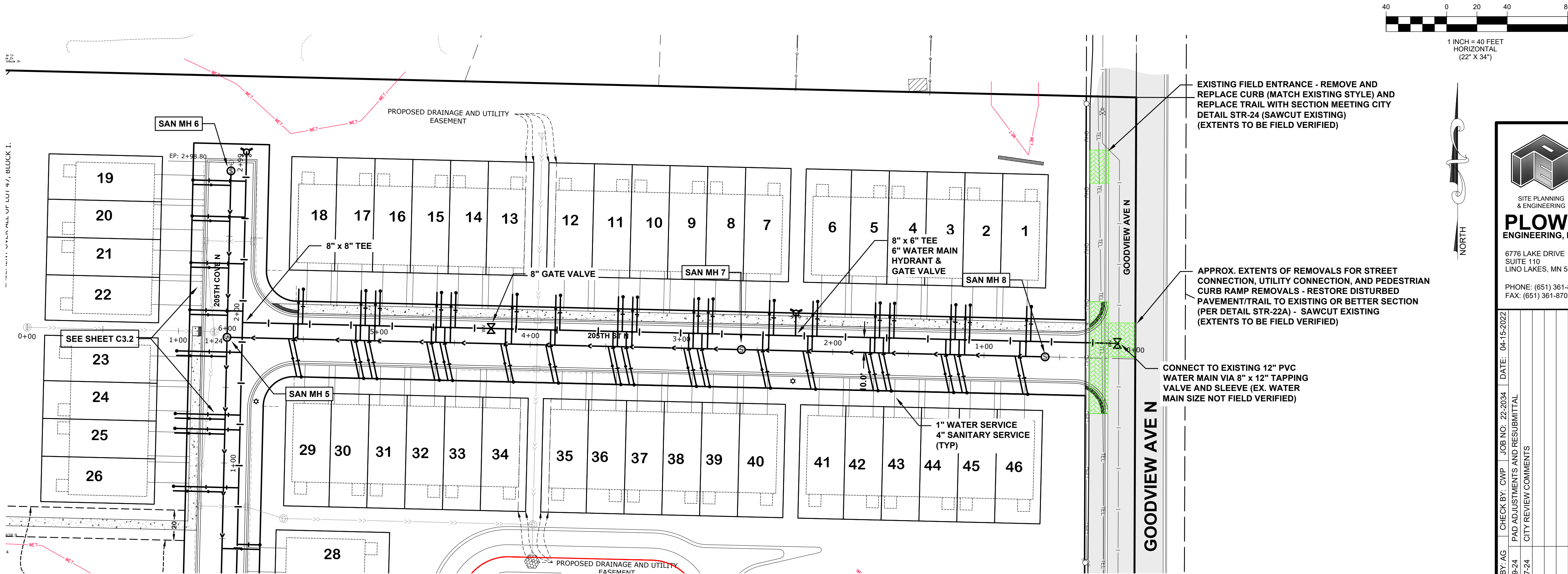
6 LAKE DRIVE
TE 110
O LAKES, MN 55014
ONE: (651) 361-8210
K: (651) 361-8701

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.		DATE: 08/07/2024		LIC. NO.	43963
		ADAM GINKEL			
1	12-12-22	CITY REVIEW COMMENTS	DRAWN BY: AG	CHECK BY: CWP	JOB NO: 22-2034
2	3-13-23	SITE LAYOUT ADJUSTMENTS	3	4-4-23	OUTLET A REMOVED
			3	4-4-23	ONE UNIT REMOVED
			4	5-15-23	CITY/CRWD SUBMITTAL
			5	6-26-23	PAD ADJUSTMENTS AND RESUBMITTAL
			6	7-9-24	HWLS UPDATED
			7	7-25-24	CITY REVIEW COMMENTS
			8	8-7-24	
			NO.	DATE	DESCRIPTION

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
GRADING, DRAINAGE & ESC PLAN
PREPARED FOR: ELMCREST VISTAS LLC

EET

C2.1



SERVICE INFORMATION				
Lot #	Station	Riser (ft)	Invert Elevation	Curb Stop Elevation
1	188		925.7	936.1
2	148		925.4	935.9
3	138		925.4	935.9
4	98		925.1	935.6
5	88		925.0	935.6
6	47		924.7	935.4
7	18		924.5	934.7
8	318		924.2	934.5
9	308		924.1	934.5
10	268		924.0	934.3
11	258		923.9	934.3
12	217		923.8	934.2
13	188		923.7	934.0
14	148		923.5	934.2
15	138		923.5	934.2
16	98		923.3	934.5
17	88		923.3	934.5
18	47		923.1	934.2
19	101		922.9	933.4
20	80		922.8	933.3
21	46		922.7	933.3
22	15		922.6	933.1
23	166		922.7	933.3
24	125		922.5	933.3
25	115		922.5	933.3
26	77		922.3	933.3
27	9		921.6	933.9
28	39		921.8	934.0
29	47		922.8	934.0
30	82		922.9	933.8
31	91		923.0	934.0
32	132		923.1	934.2
33	141		923.2	934.2
34	181		923.3	933.8
35	211		923.4	934.0
36	252		923.6	934.2
37	261		923.6	934.2
38	302		923.8	934.4
39	311		923.8	934.4
40	11		924.1	934.6
41	41		924.3	935.2
42	82		924.6	935.4
43	91		924.7	935.4
44	132		925.0	935.6
45	141		925.1	935.6
46	181		925.4	935.8

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

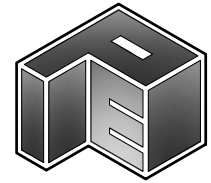
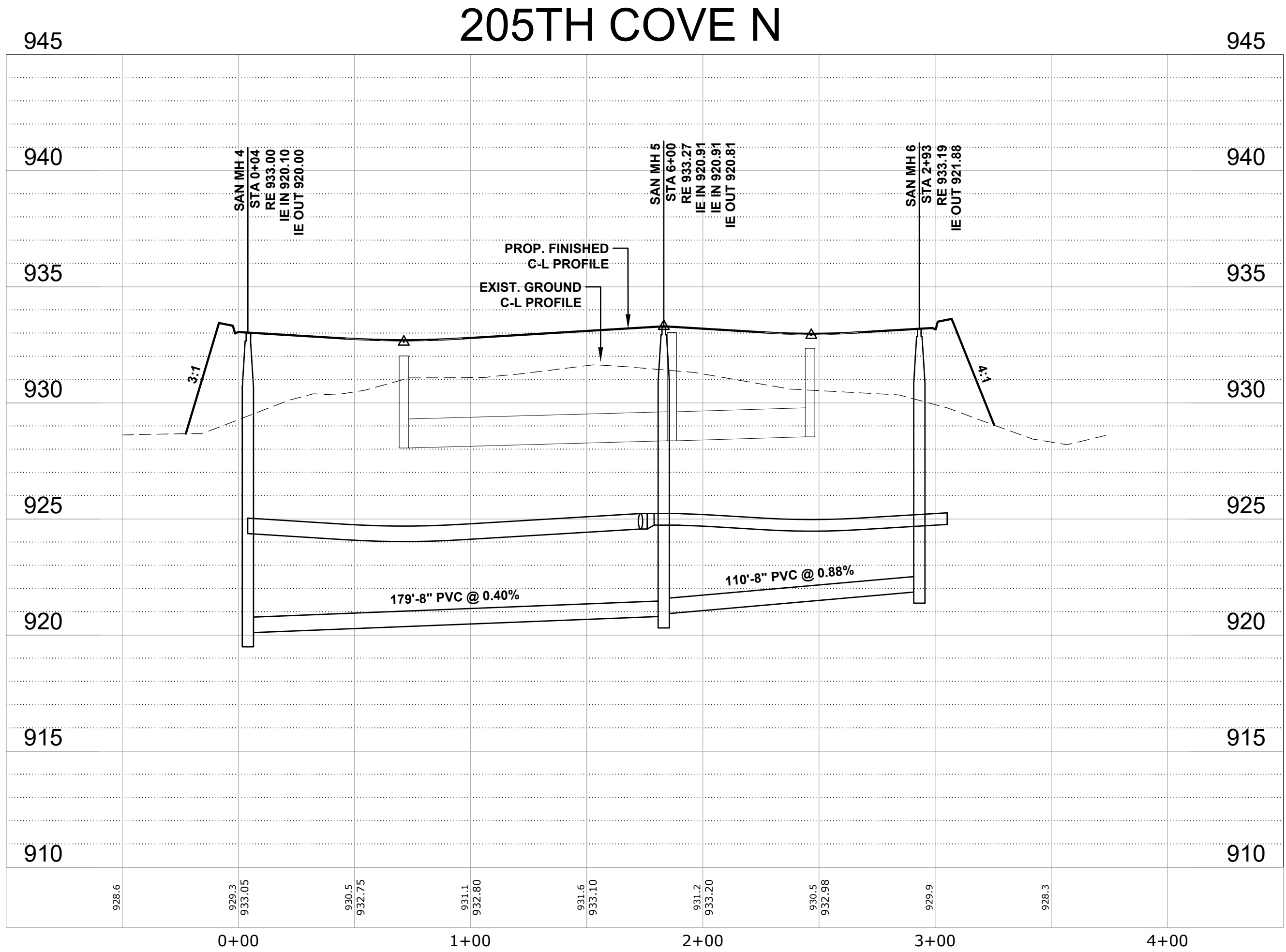
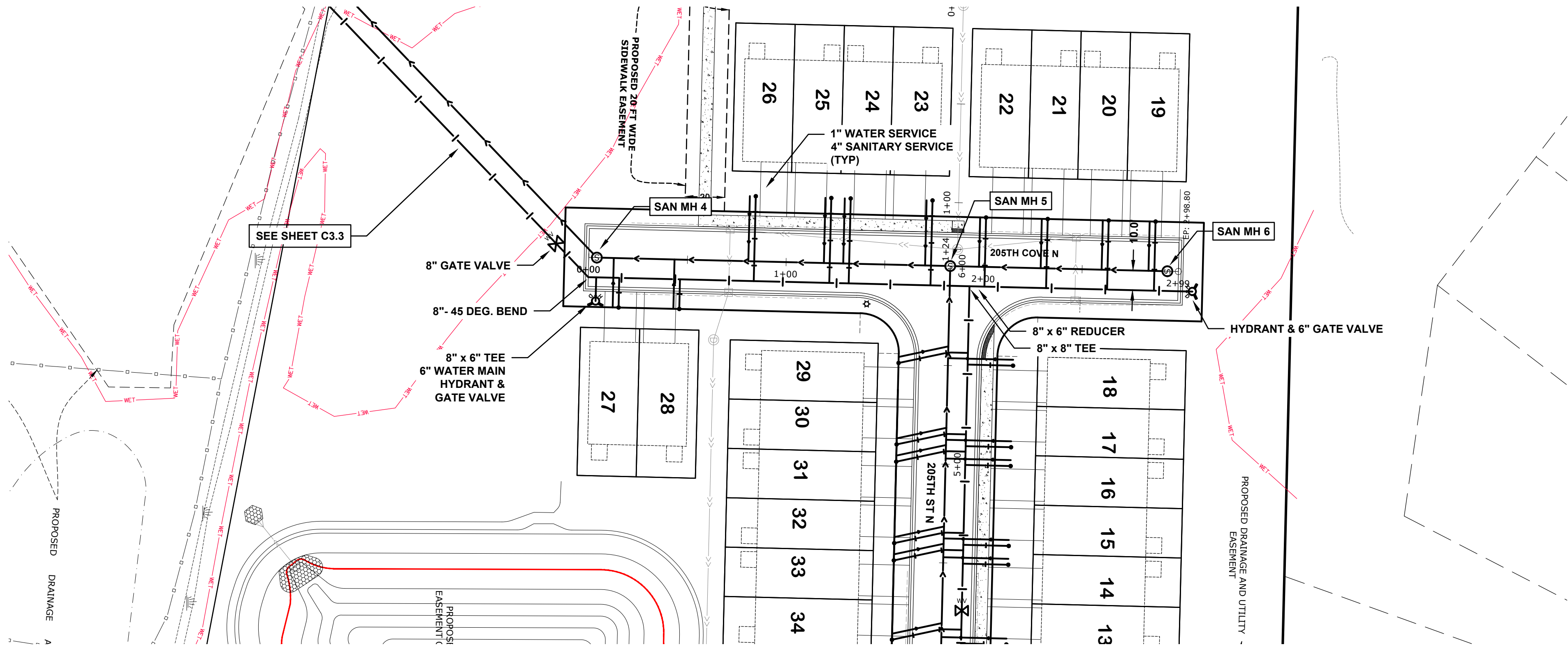
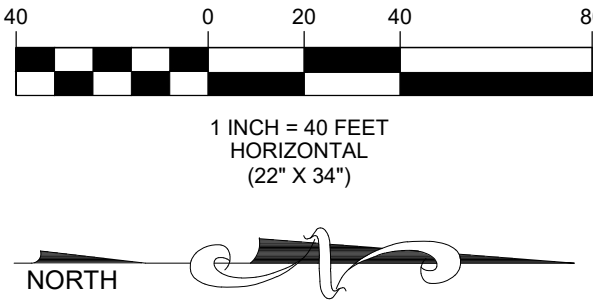
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1	7-9-24	PAD ADJUSTMENTS AND RESUBMITTAL					
2	8-7-24	CITY REVIEW COMMENTS					
3							
4							
5							
6							
NO.	DATE	DESCRIPTION					

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a Licensed Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
SEW WAT PLAN PROFILE - 205TH ST N
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET
C3.1



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	AG	CHECK BY:	CWP	JOB NO.:	22-2034	DATE:	04-15-2022
1	7-9-24	PAD ADJUSTMENTS AND RESUBMITTAL					
2	8-7-24	CITY REVIEW COMMENTS					
3							
4							
5							
6							

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

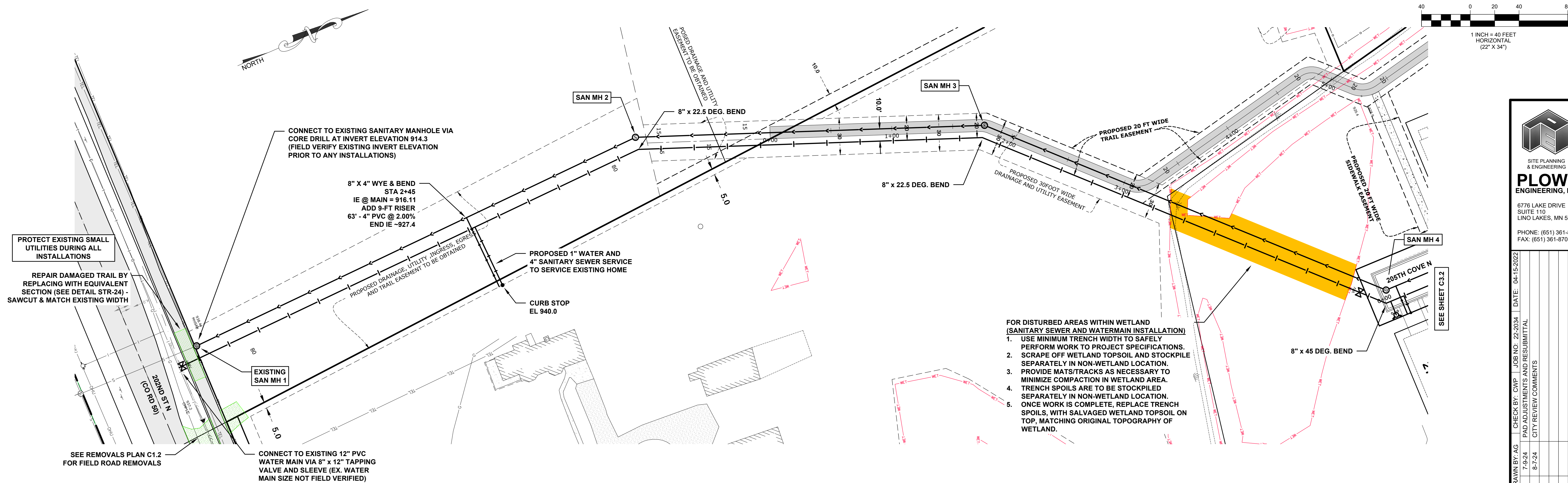
Adam Ginkel
ADAM GINKEL

DATE: 08.07.2024 LIC. NO. 43963

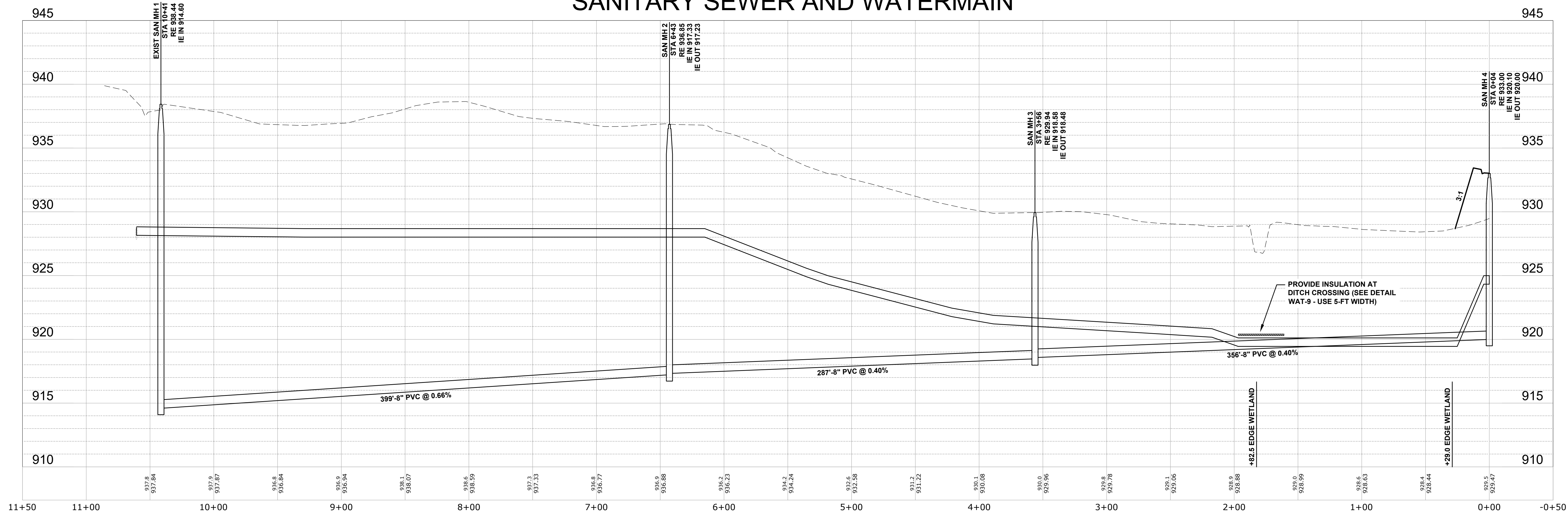
SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
SEW WAT - PLAN PROFILE (205TH COVE N)
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C3.2



SANITARY SEWER AND WATERMAIN



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	AG	CHECK BY:	CWP	JOB NO.:	22-2034	DATE:	04-15-2022
1	7-9-24	PAD ADJUSTMENTS AND RESUBMITTAL					
2	8-7-24	CITY REVIEW COMMENTS					
3							
4							
5							
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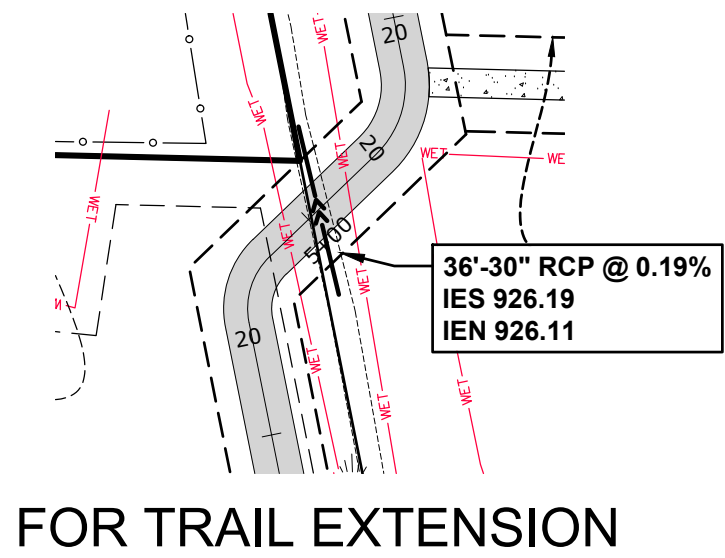
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
SEW WAT - PLAN PROFILE (MISC.)
PREPARED FOR: ELMCREST VISTAS, LLC

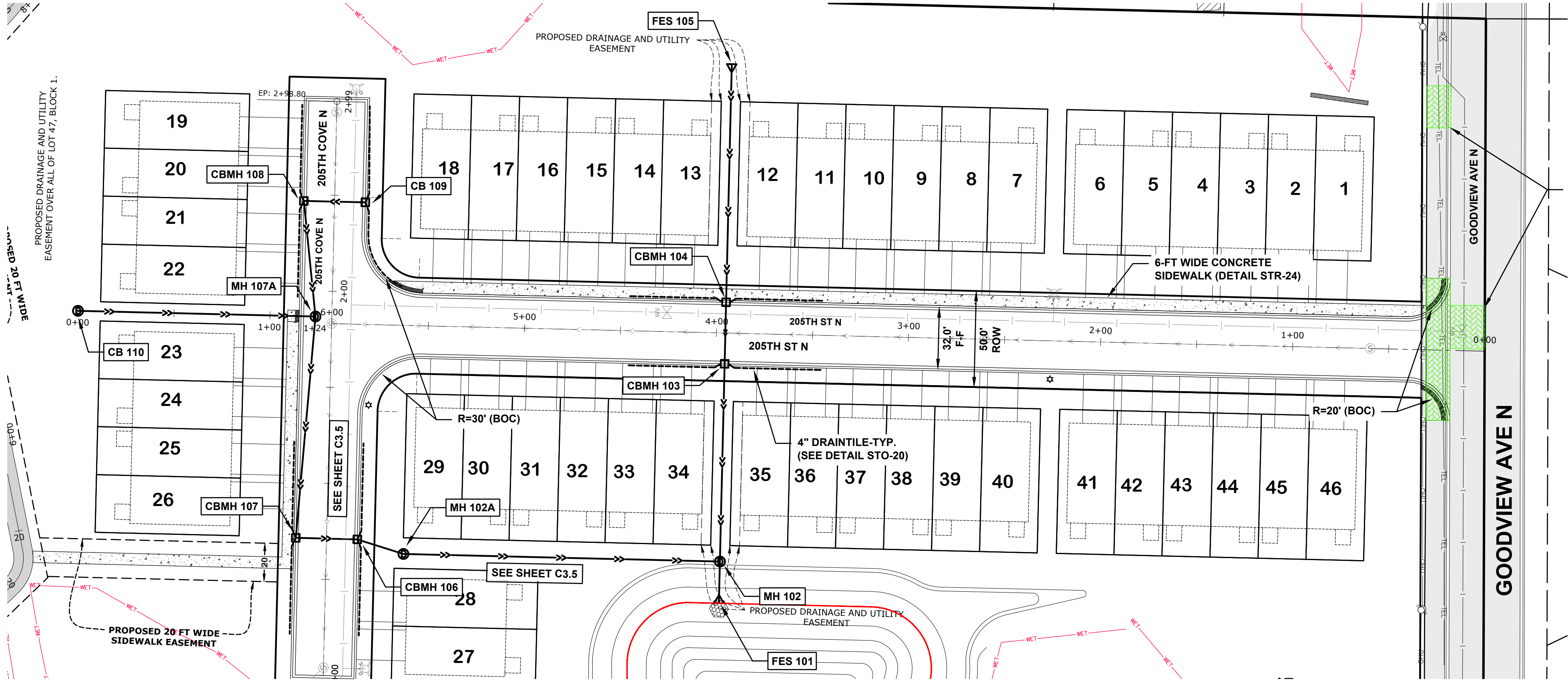
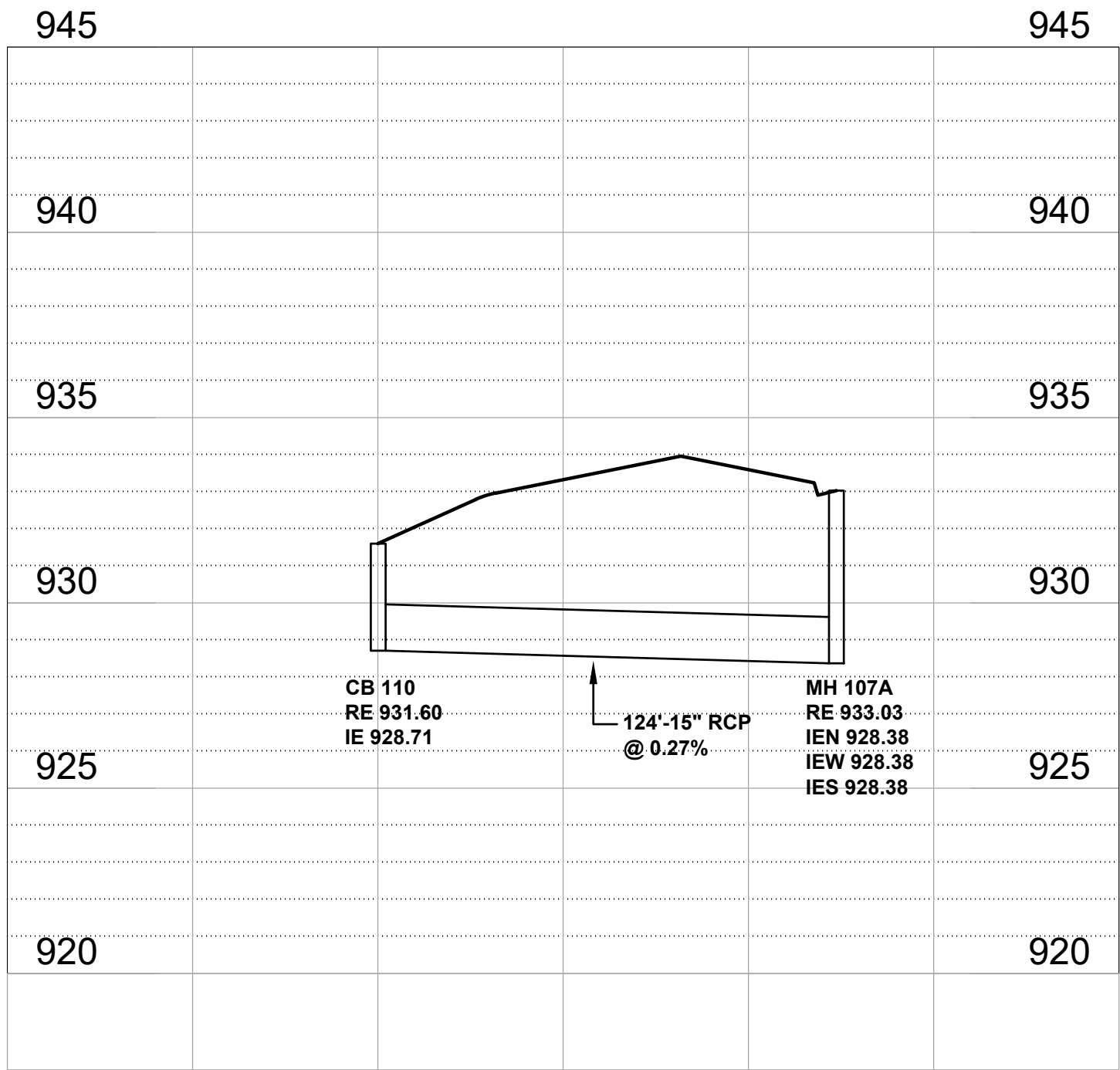
SHEET

C3.3



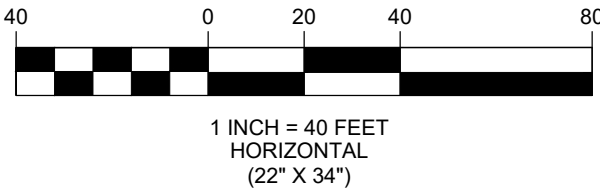
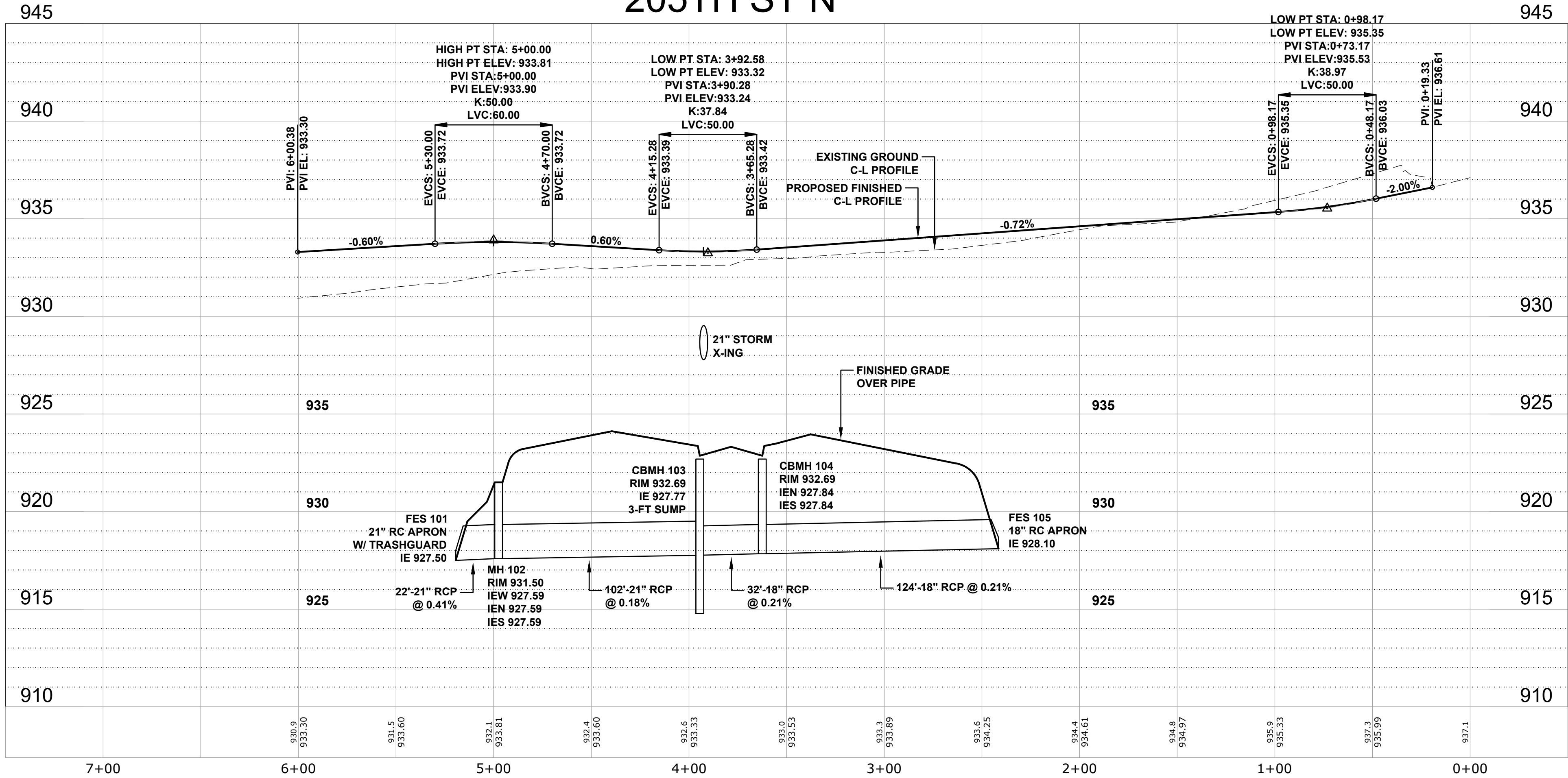
STORM SEWER STRUCTURE SCHEDULE

#	SIZE	CASTING
101	FES	N/A
102	48" DIA.	NEENAH R-1642-B
102A	48" DIA.	NEENAH R-1642-B
103	48" DIA.	NEENAH R-3067-VB
104	48" DIA.	NEENAH R-3067-VB
105	FES	N/A
106	48" DIA.	NEENAH R-3067-VB
107	48" DIA.	NEENAH R-3067-VB
107A	48" DIA.	NEENAH R-1642-B
108	48" DIA.	NEENAH R-3067-VB
109	2' x 3'	NEENAH R-3067-VB
110	27" DIA.	NEENAH R-4342



SEE SHEET C3.1 FOR INFORMATION REGARDING TRAIL REPLACEMENT PER SITE IMPROVEMENTS

205TH ST N



PLOWE ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

NO.	DATE	DESCRIPTION
1	12-12-22	CITY REVIEW COMMENTS
2	04-15-2022	DATE: 04-15-2022
3	07-25-24	CITY REVIEW COMMENTS
4	07-25-24	CITY REVIEW COMMENTS
5	07-25-24	CITY REVIEW COMMENTS
6	07-25-24	CITY REVIEW COMMENTS
7	07-25-24	CITY REVIEW COMMENTS

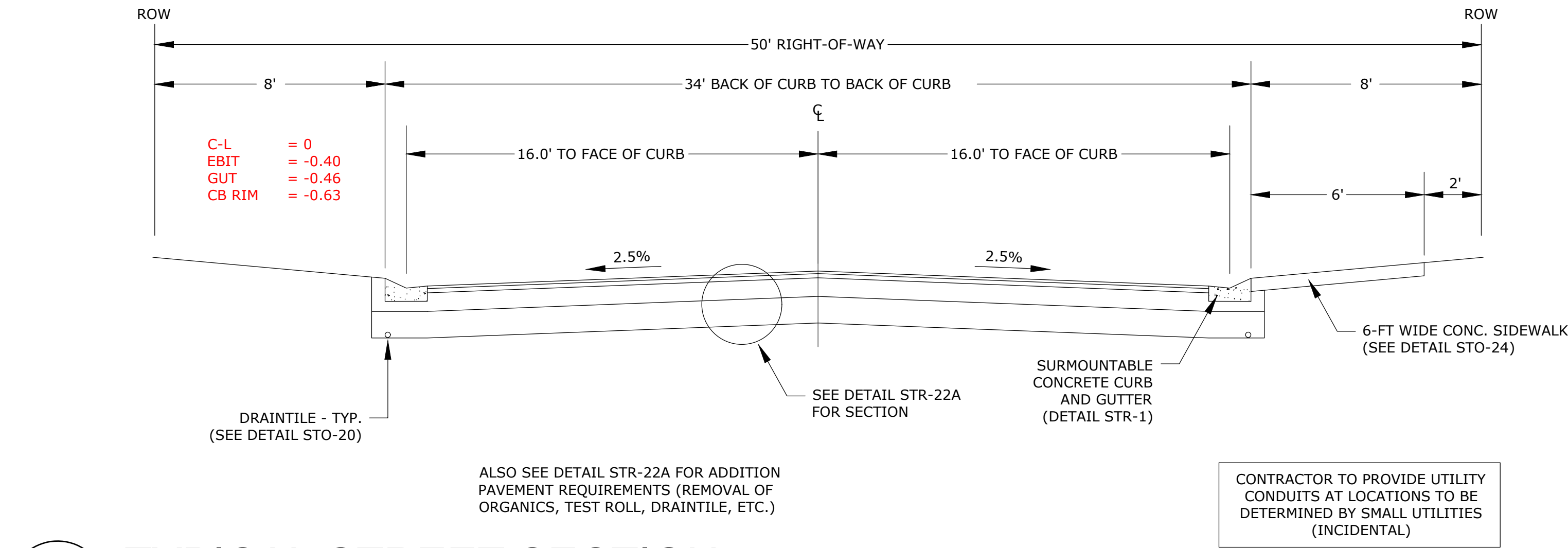
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

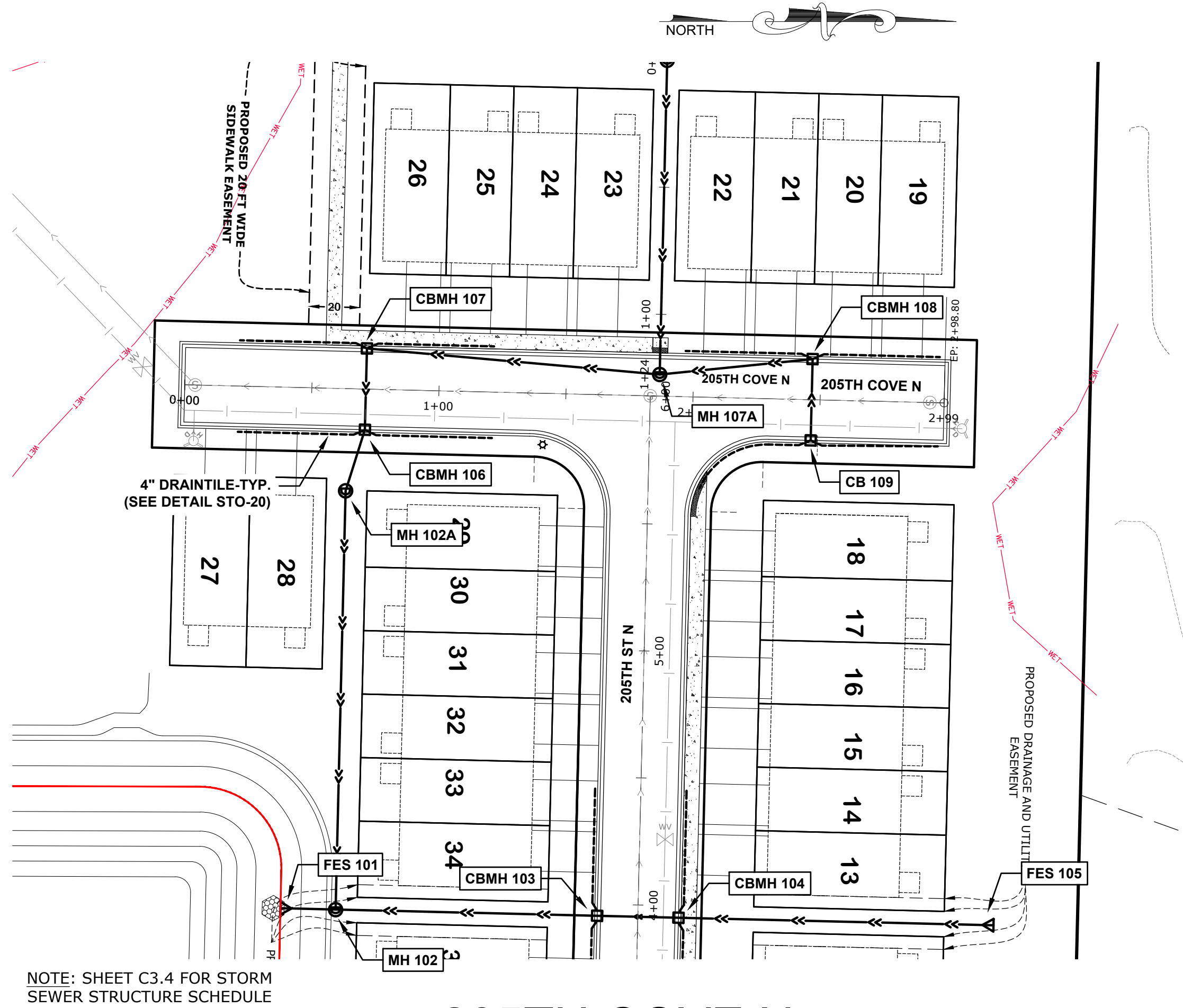
SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
STR STORM - PLAN PROF (205TH ST N)
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C3.4



TYPICAL STREET SECTION
N.T.S.



DRAWN BY: AG	CHECK BY: CWP	JOB NO: 22-2034	DATE: 04-15-2022
1	7-9-24	PAD ADJUSTMENTS AND RESUBMITTAL	
2	8-7-24	CITY REVIEW COMMENTS	
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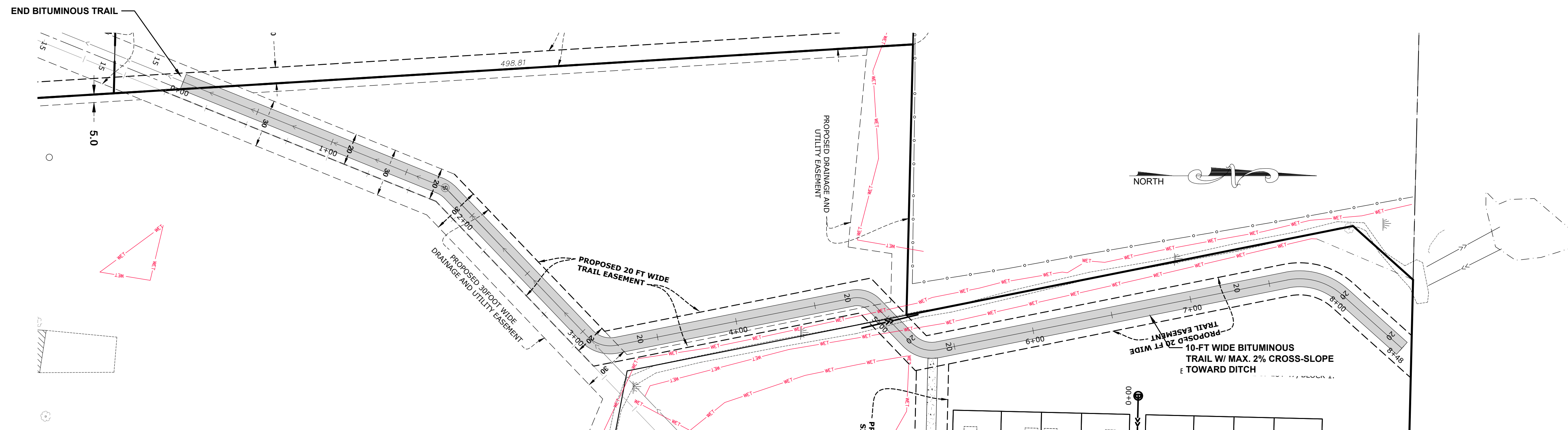
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.


ADAM GINKEL

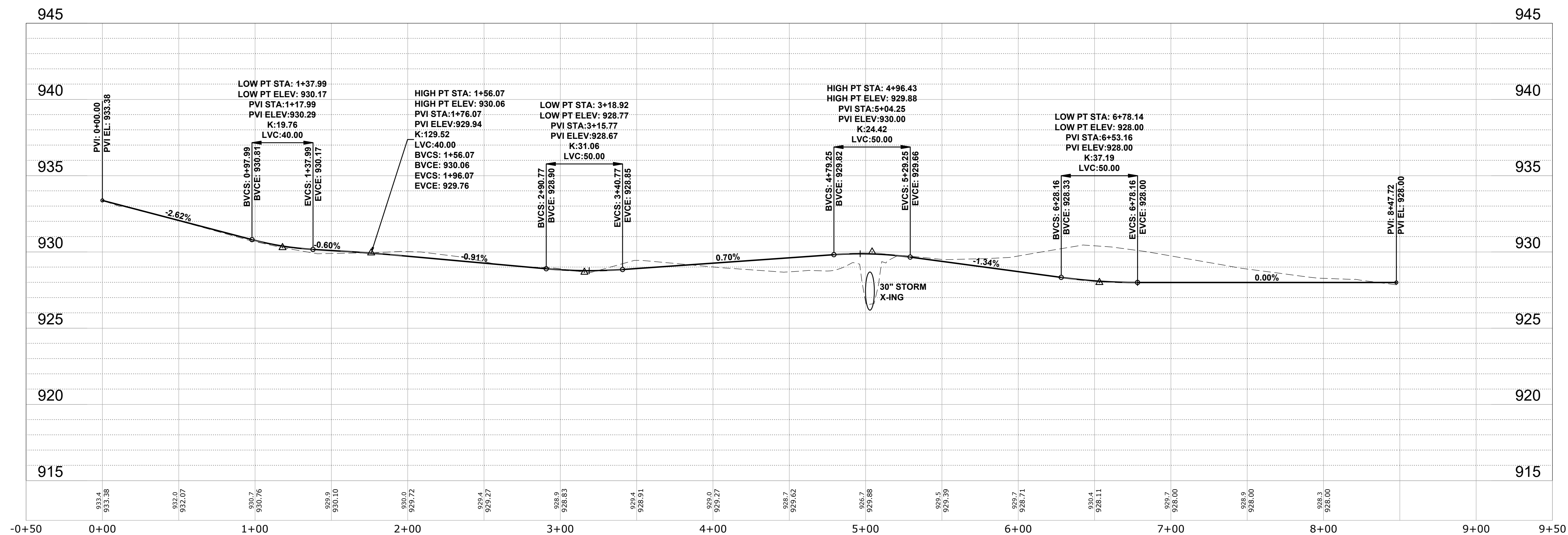
SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
STR STORM - PLAN PROF (205TH COVE N)
PREPARED FOR: ELMCREST VISTAS, LLC

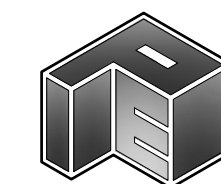
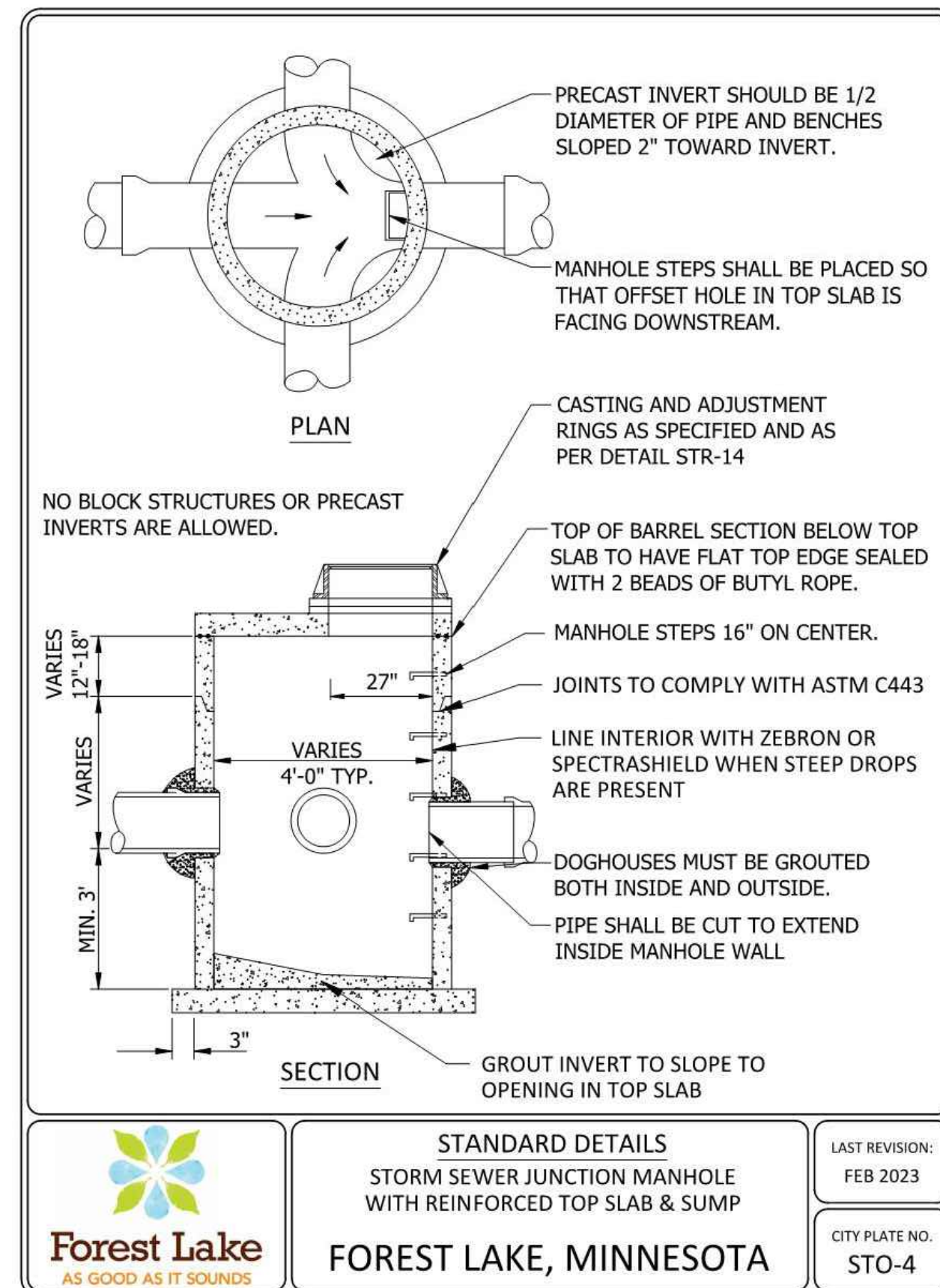
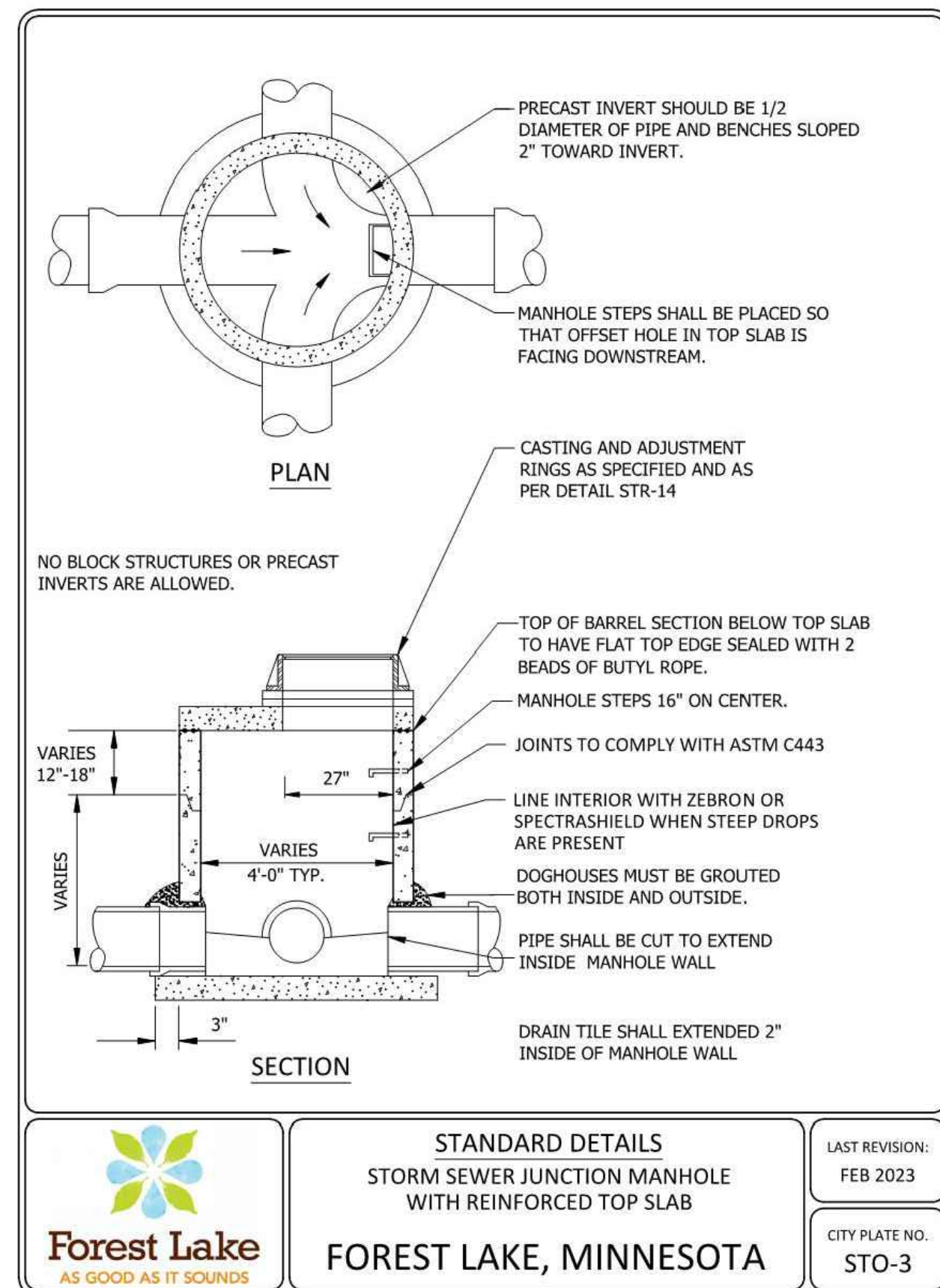
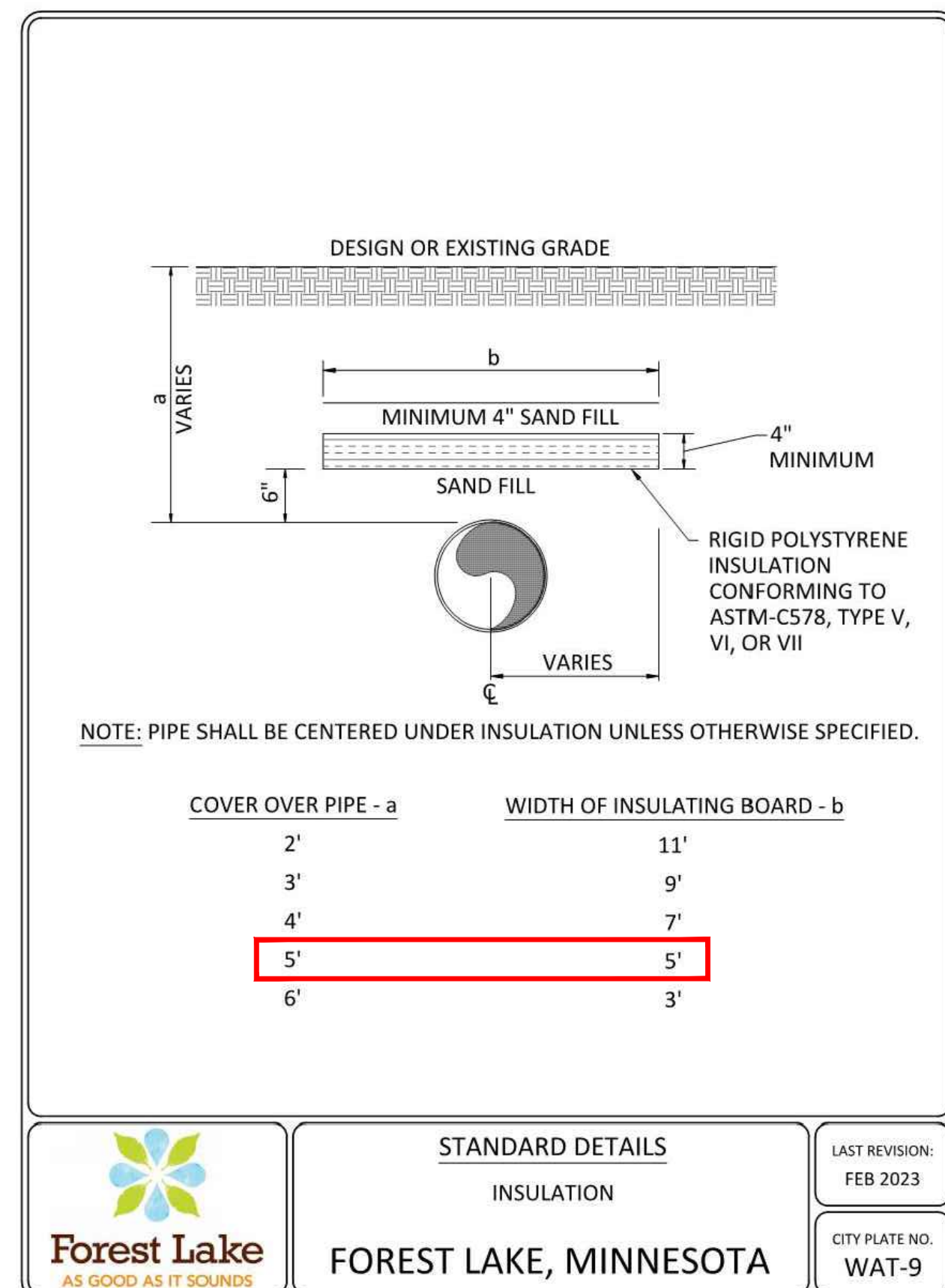
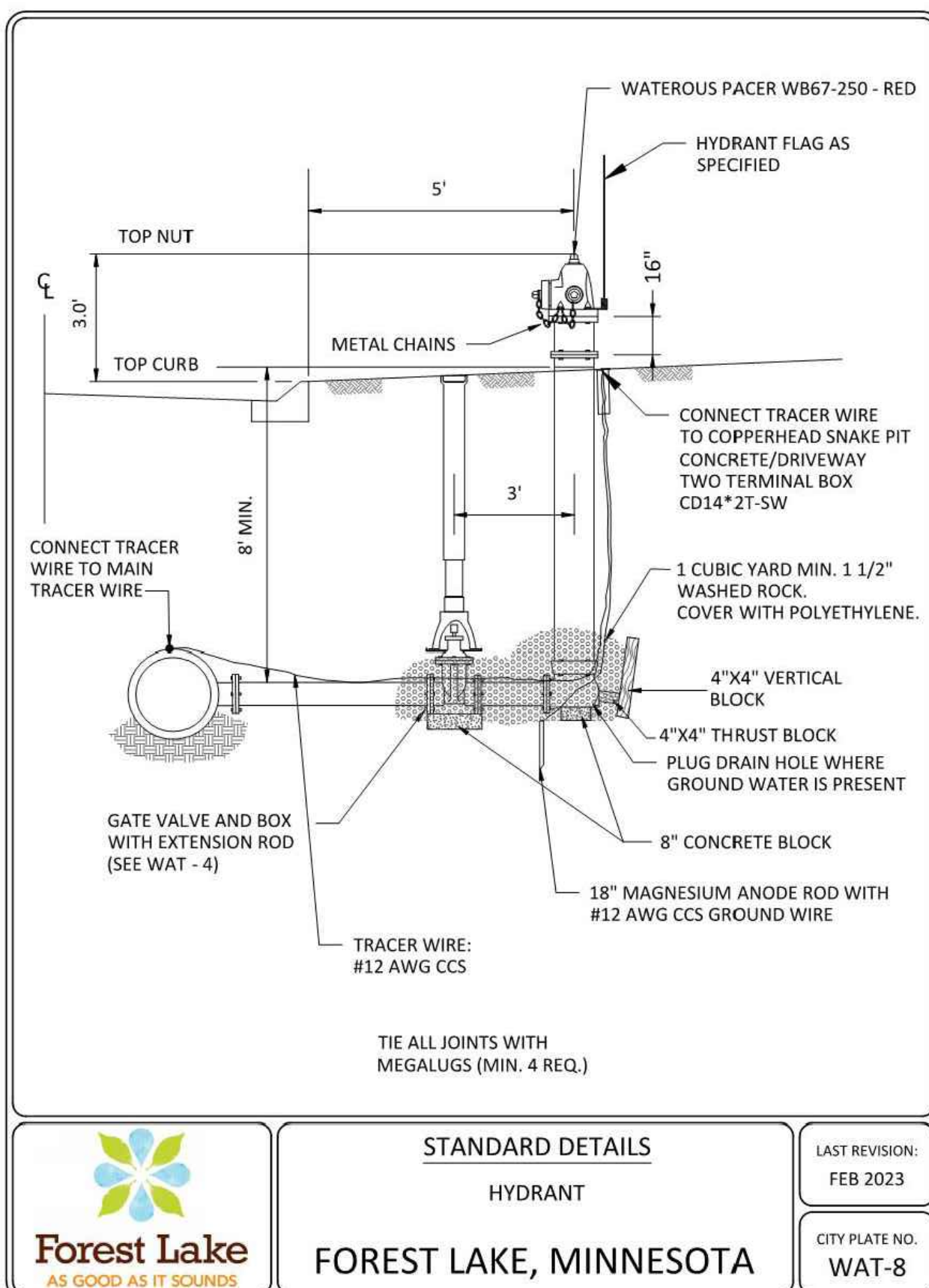
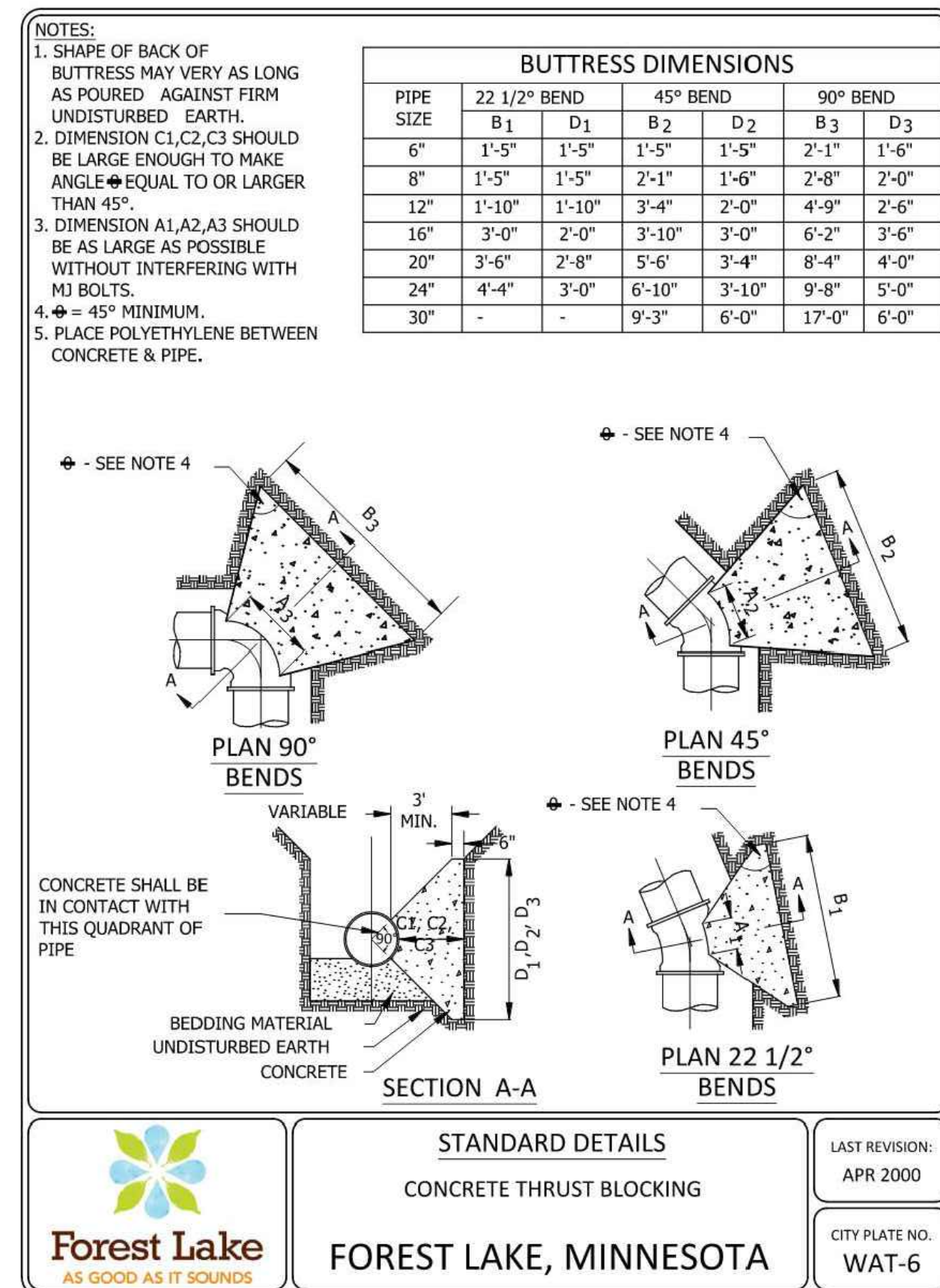
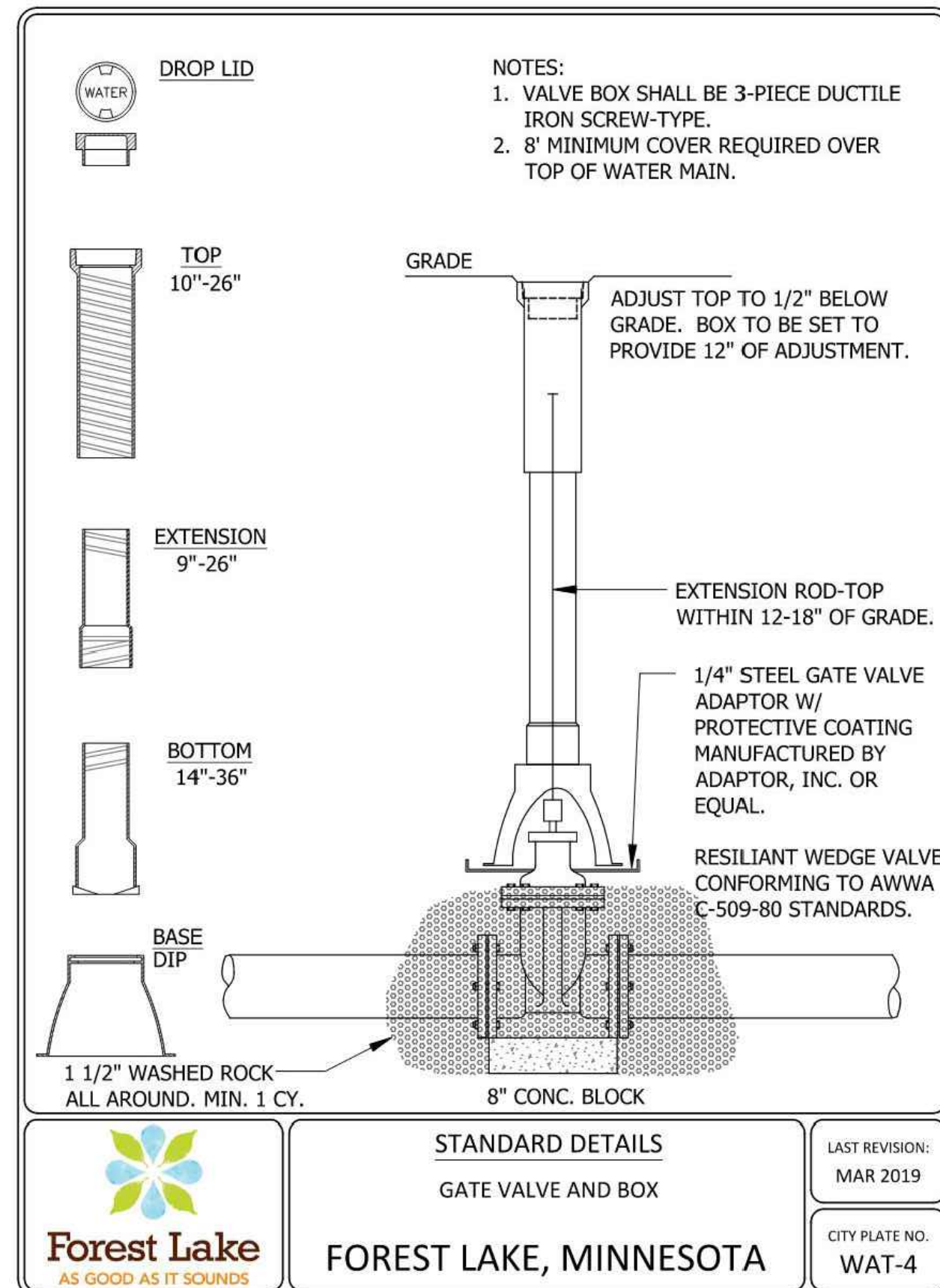
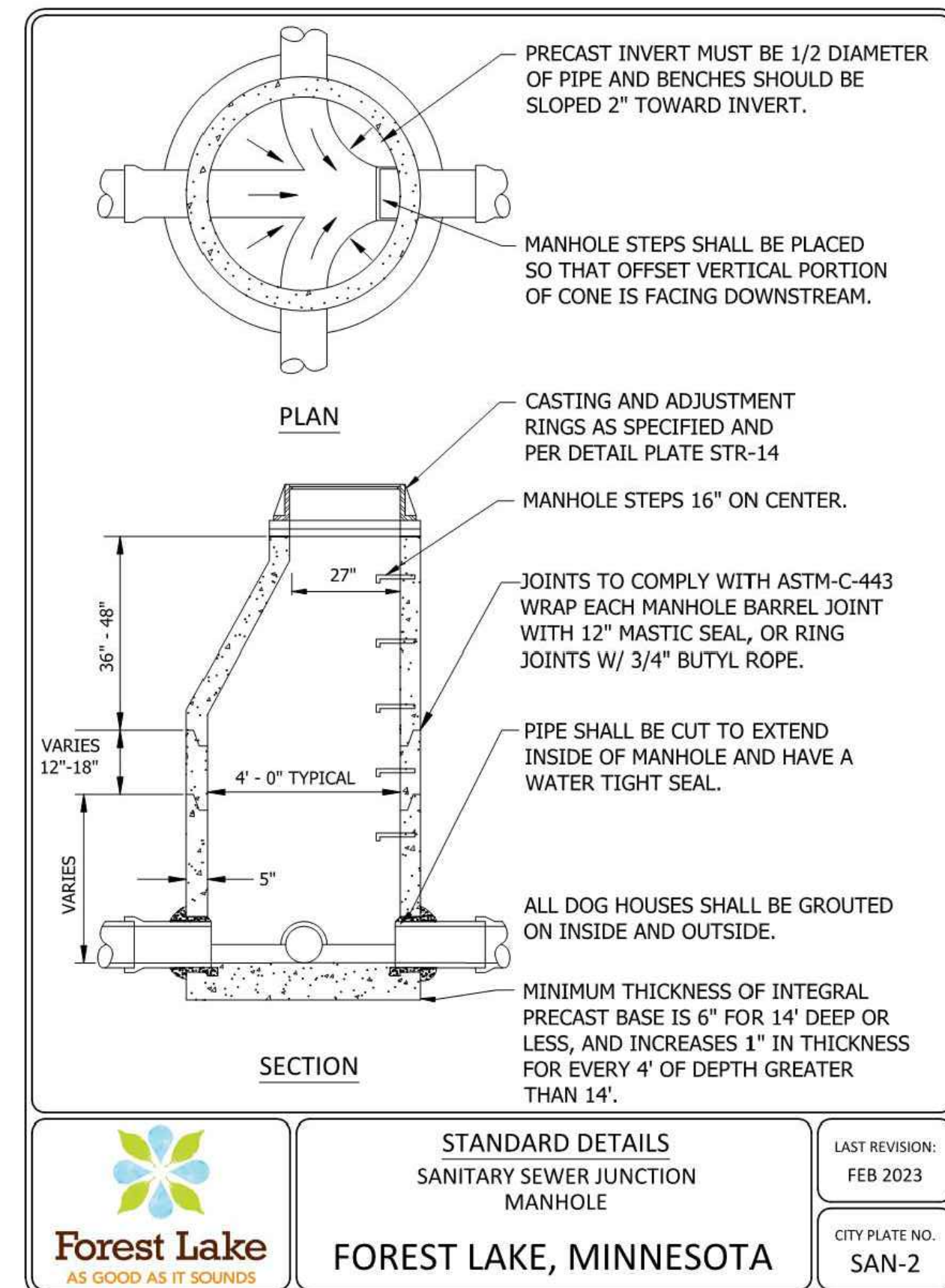
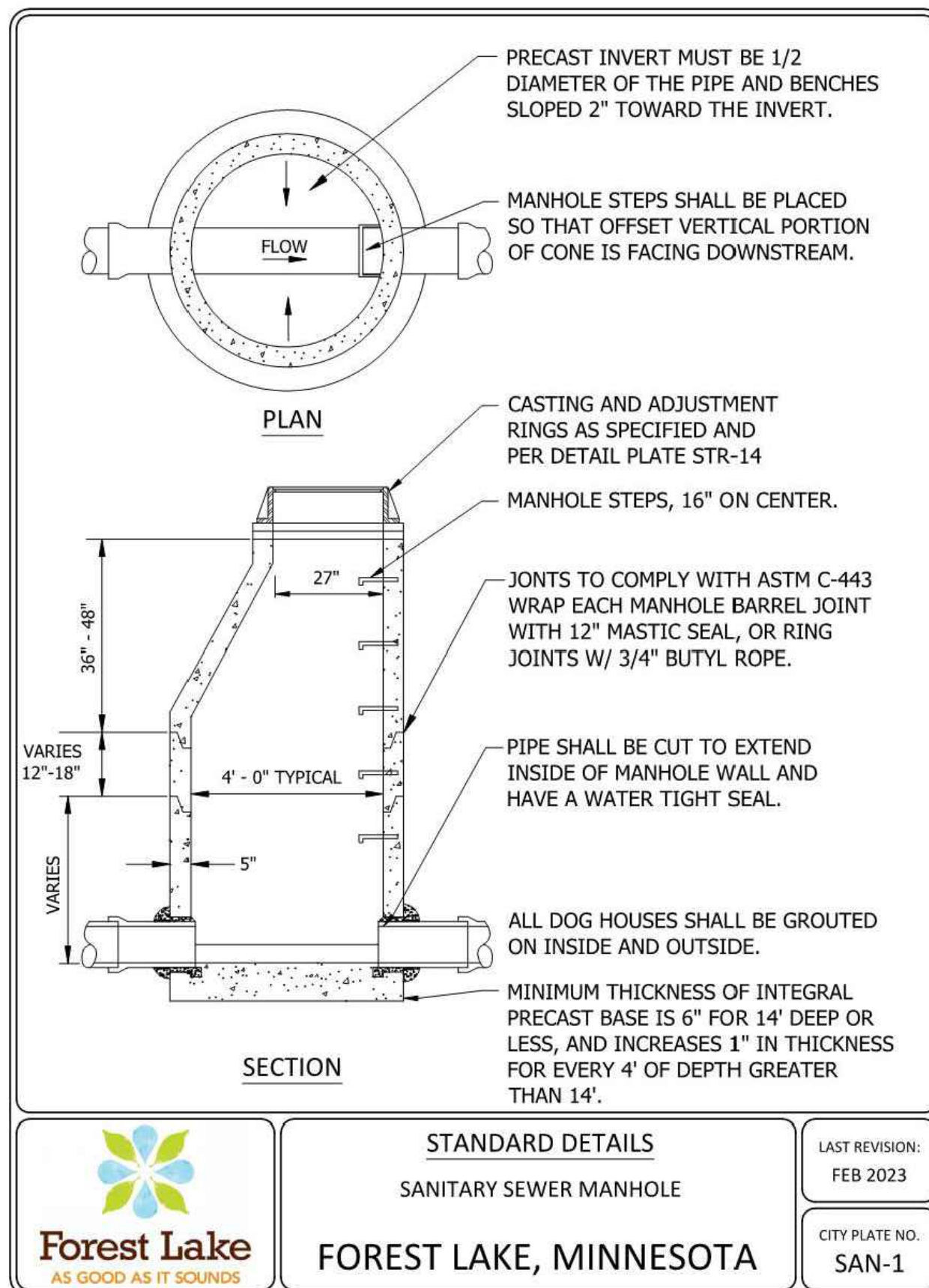
C3.6

22-2034



BITUMINOUS TRAIL





SITE PLANNING & ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DATE: 04-15-2022

CHECK BY: CWP

JOB NO. 22-2034

CITY REVIEW COMMENTS

CITY/PCWD SUBMITTAL

1 12-12-22

2 6-26-23

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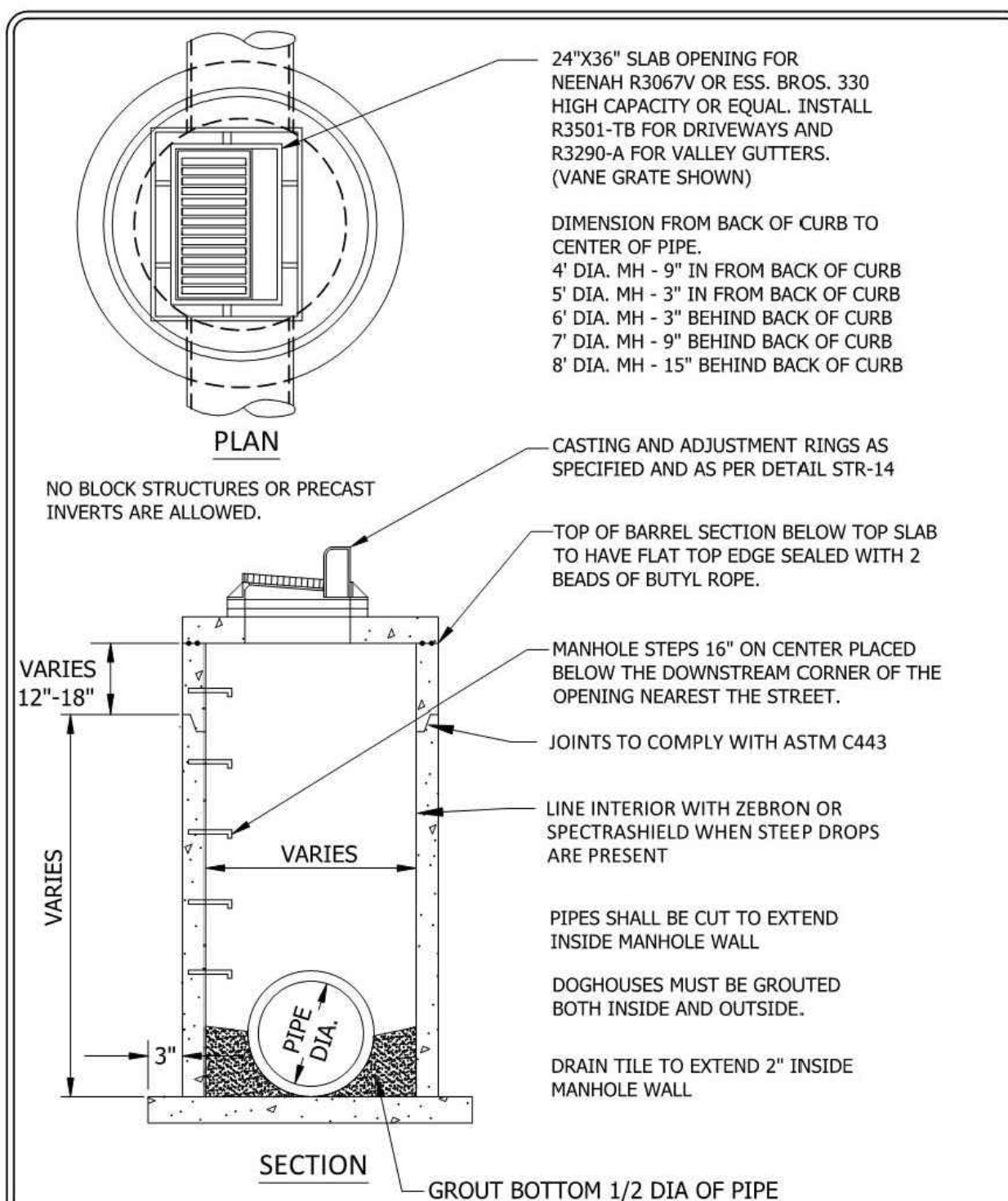
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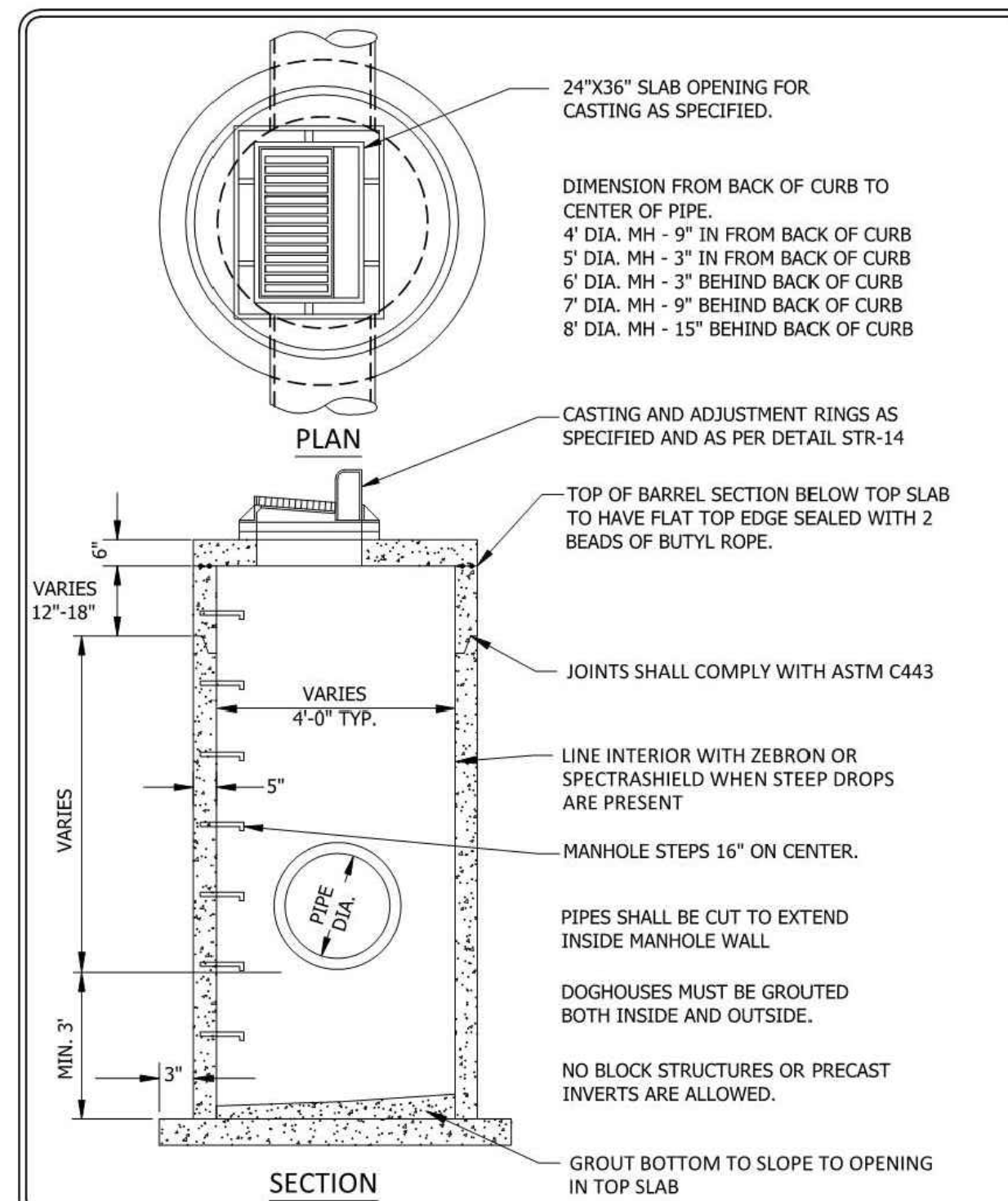
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
TYPE II
CATCHBASIN MANHOLE

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

CITY PLATE NO.
STO-5



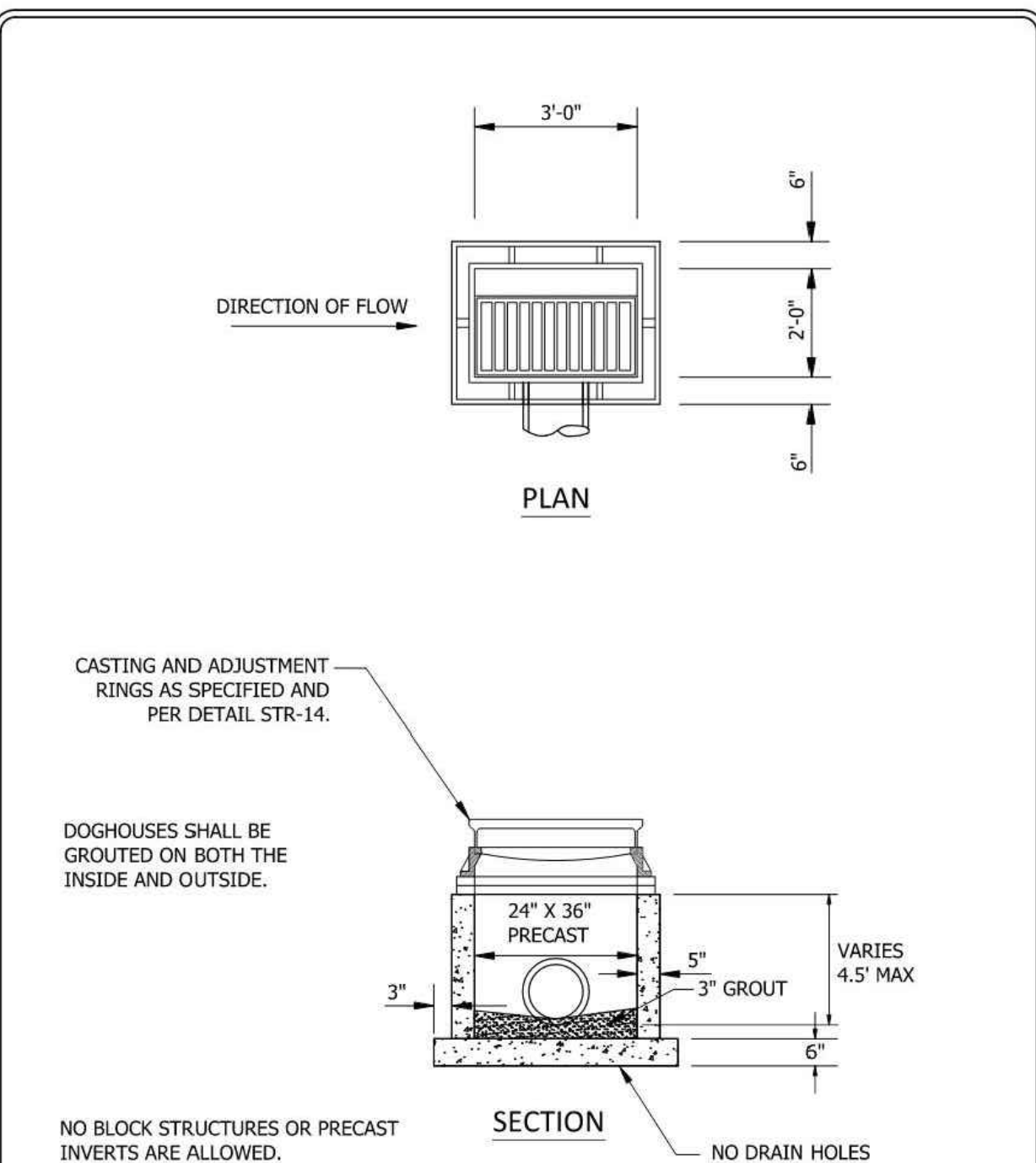
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
CATCHBASIN MANHOLE
WITH SUMP

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

CITY PLATE NO.
STO-6



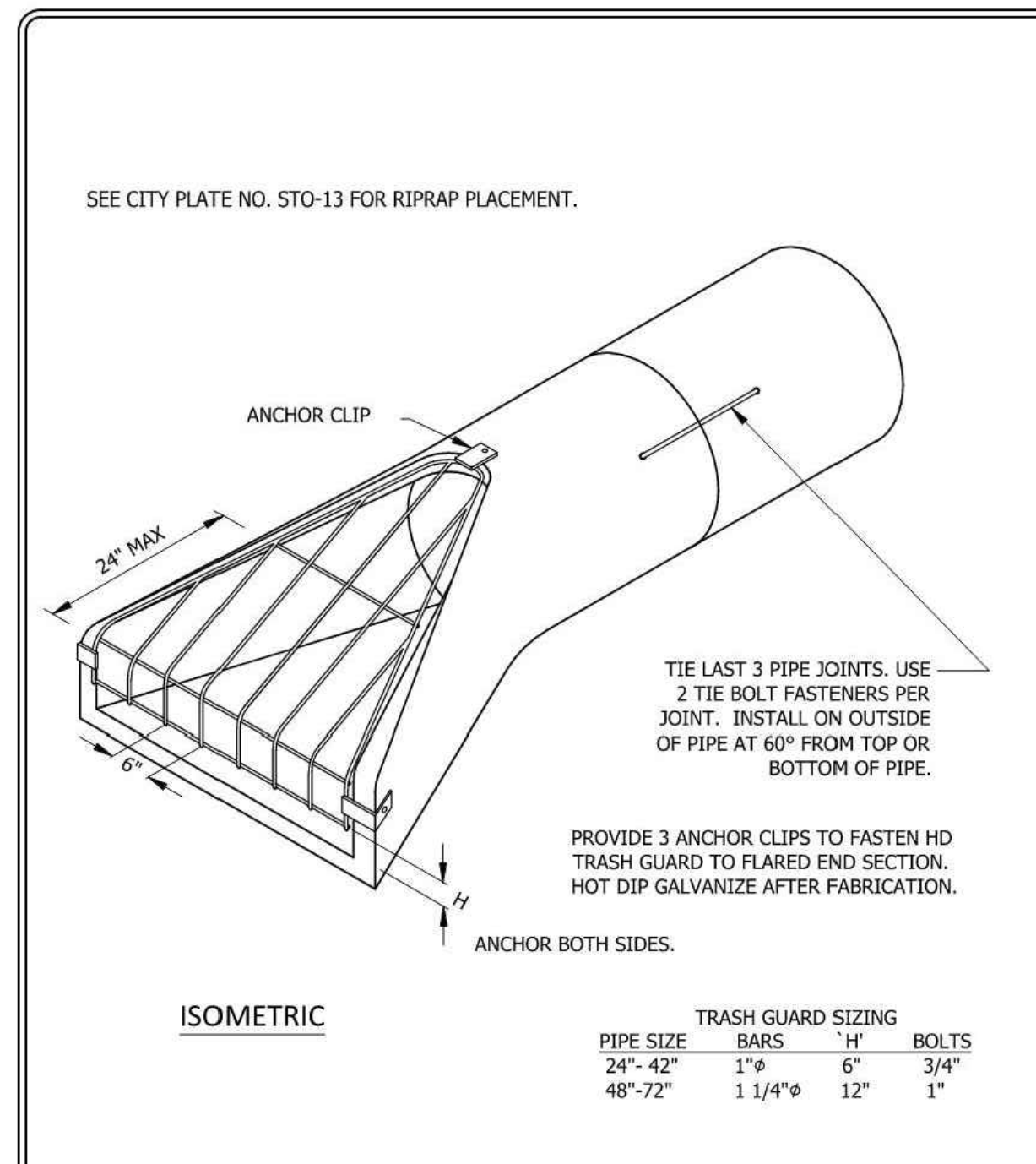
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
2' X 3' CATCHBASIN

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2022

CITY PLATE NO.
STO-9



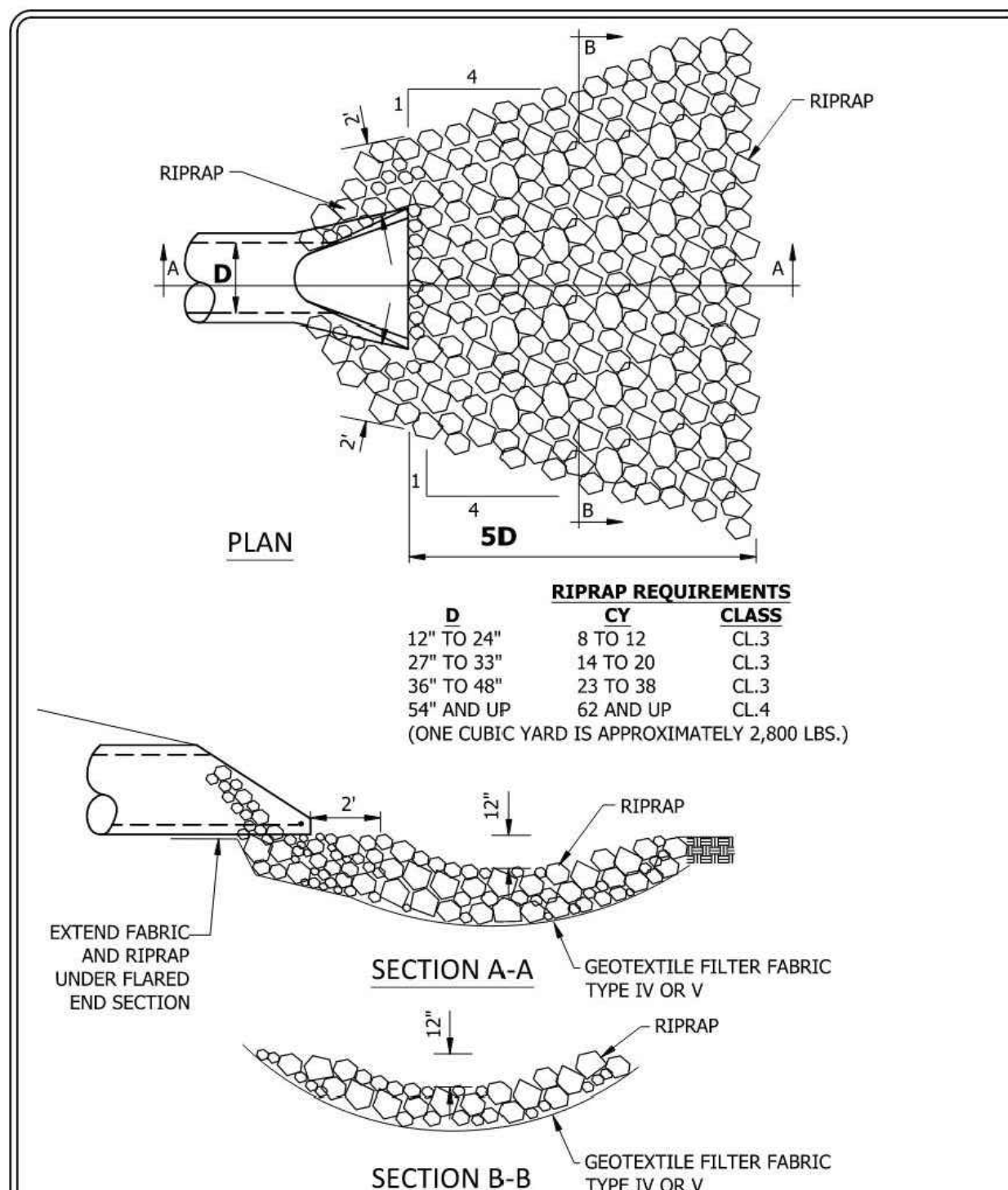
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
FLARED END SECTION
AND TRASH GUARD

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2021

CITY PLATE NO.
STO-12



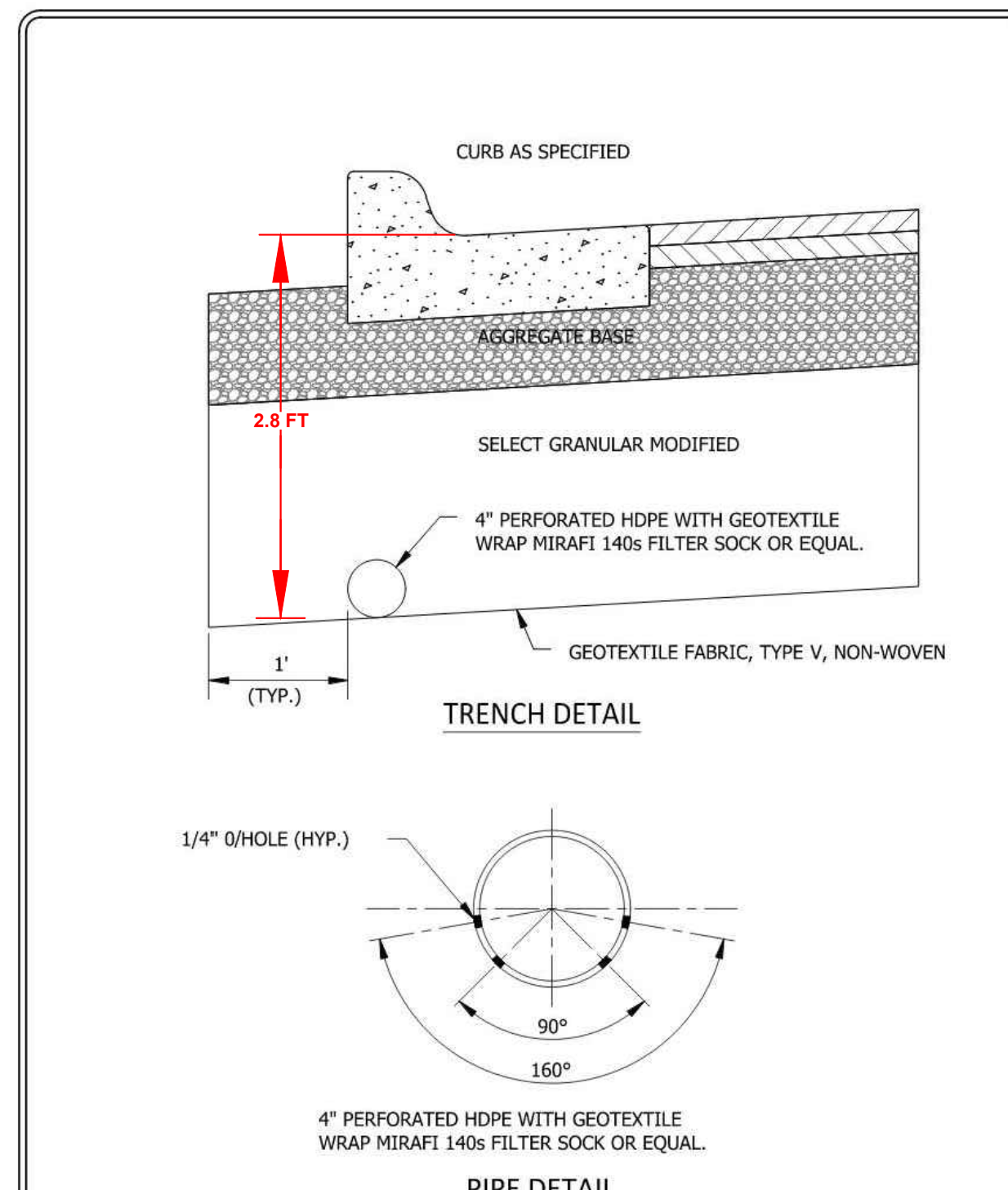
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
RIPRAP AT OUTLETS

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2019

CITY PLATE NO.
STO-13



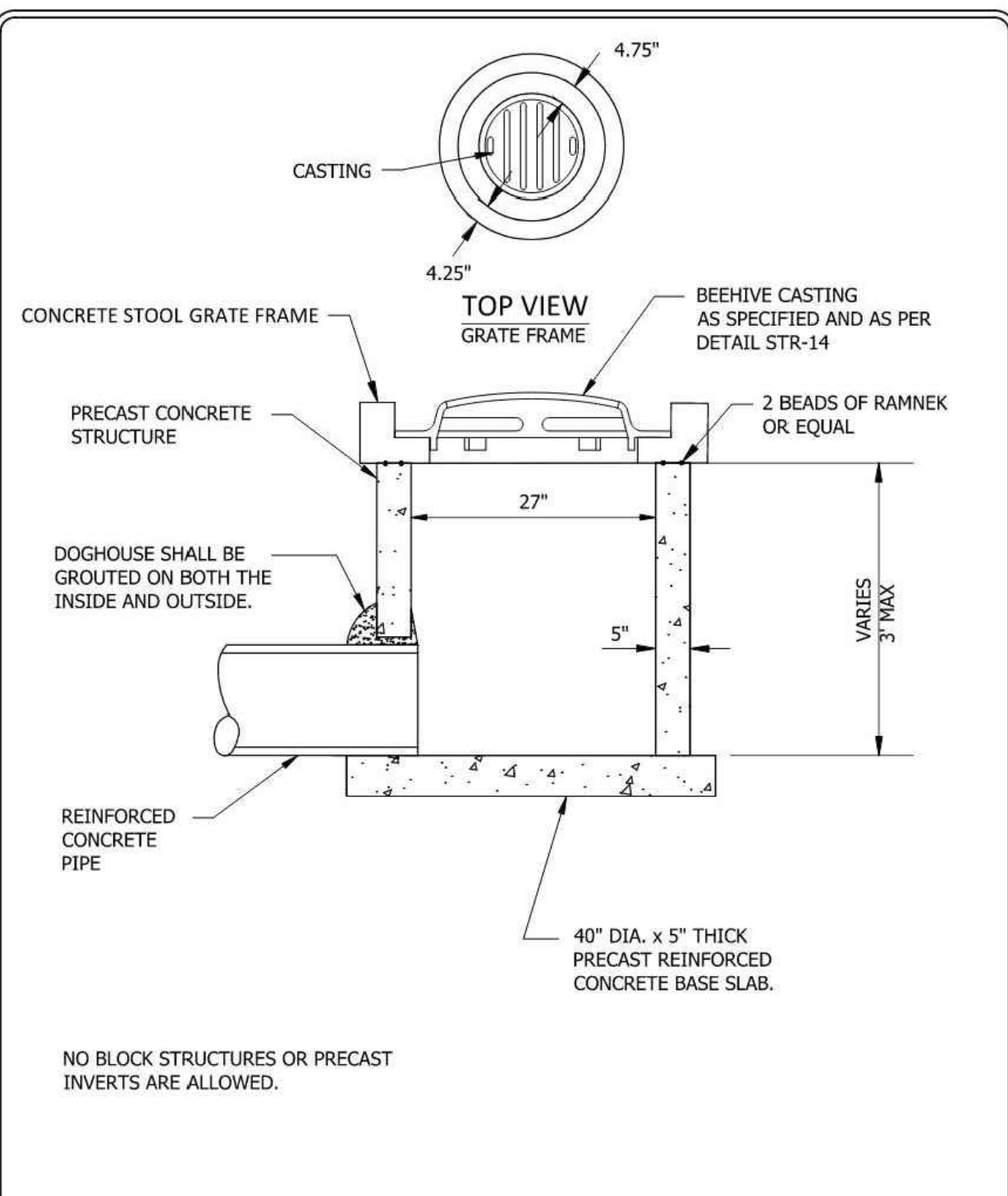
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
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FOREST LAKE, MINNESOTA

LAST REVISION:
APR 2016

CITY PLATE NO.
STO-20



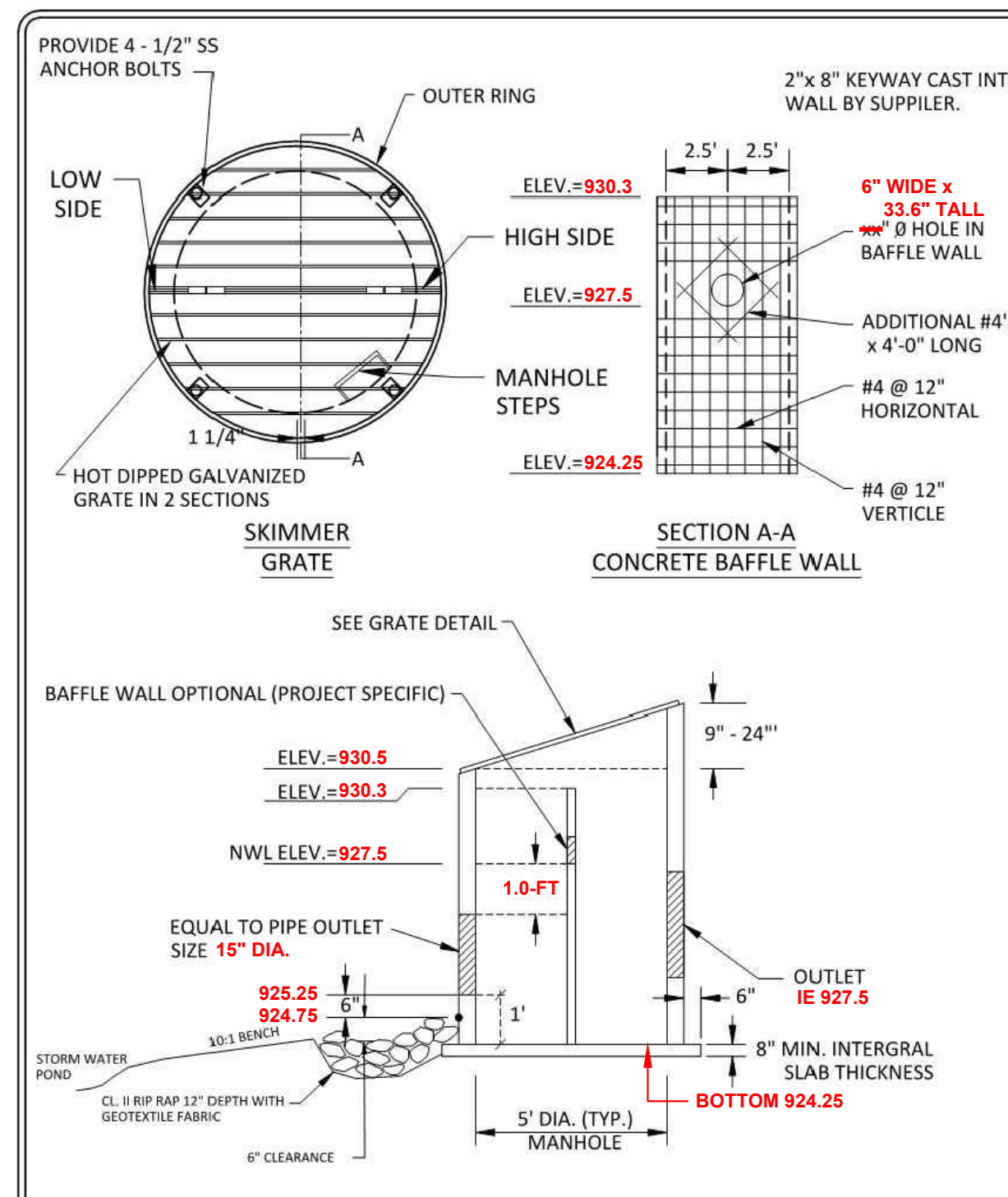
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
PRECAST 27\"/>

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2022

CITY PLATE NO.
STO-28



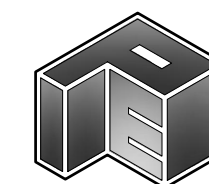
Forest Lake
AS GOOD AS IT SOUNDS

STANDARD DETAILS
POND OUTLET SKIMMER STRUCTURE

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

CITY PLATE NO.
STO-31



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	AG	CHECK BY:	CMP	JOB NO.:	22-2034	DATE:	04-15-2022
1	12-12-22	CITY REVIEW COMMENTS					
2	6-26-23	CITY RCWD SUBMITTAL					
3							
4							
5							
6							
NO.	DATE	DESCRIPTION					

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 08.07.2024

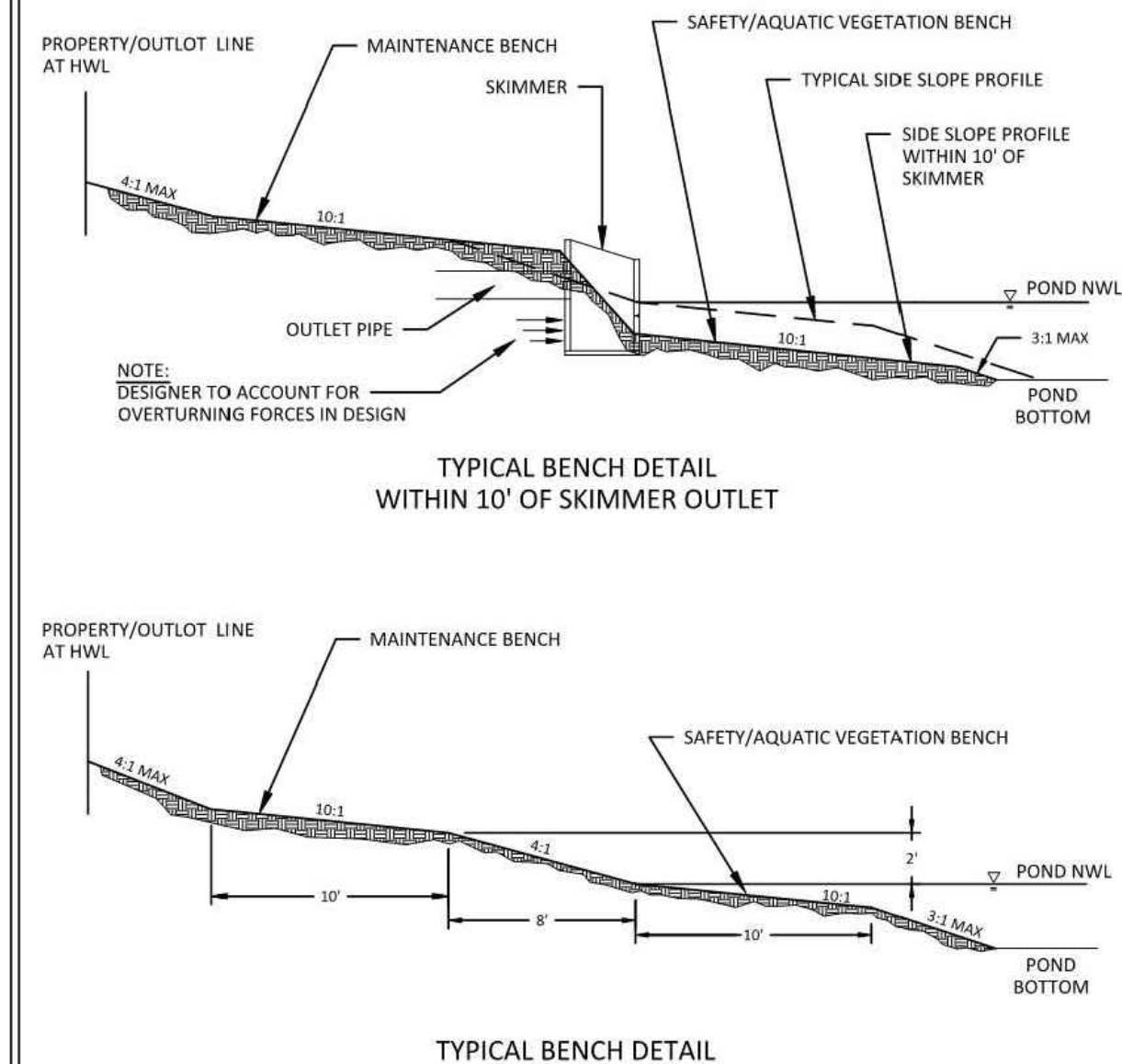
LIC. NO. 43963

ADAM GINKEL

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
DETAILS
PREPARED FOR: ELMCREST VISTAS, LLC

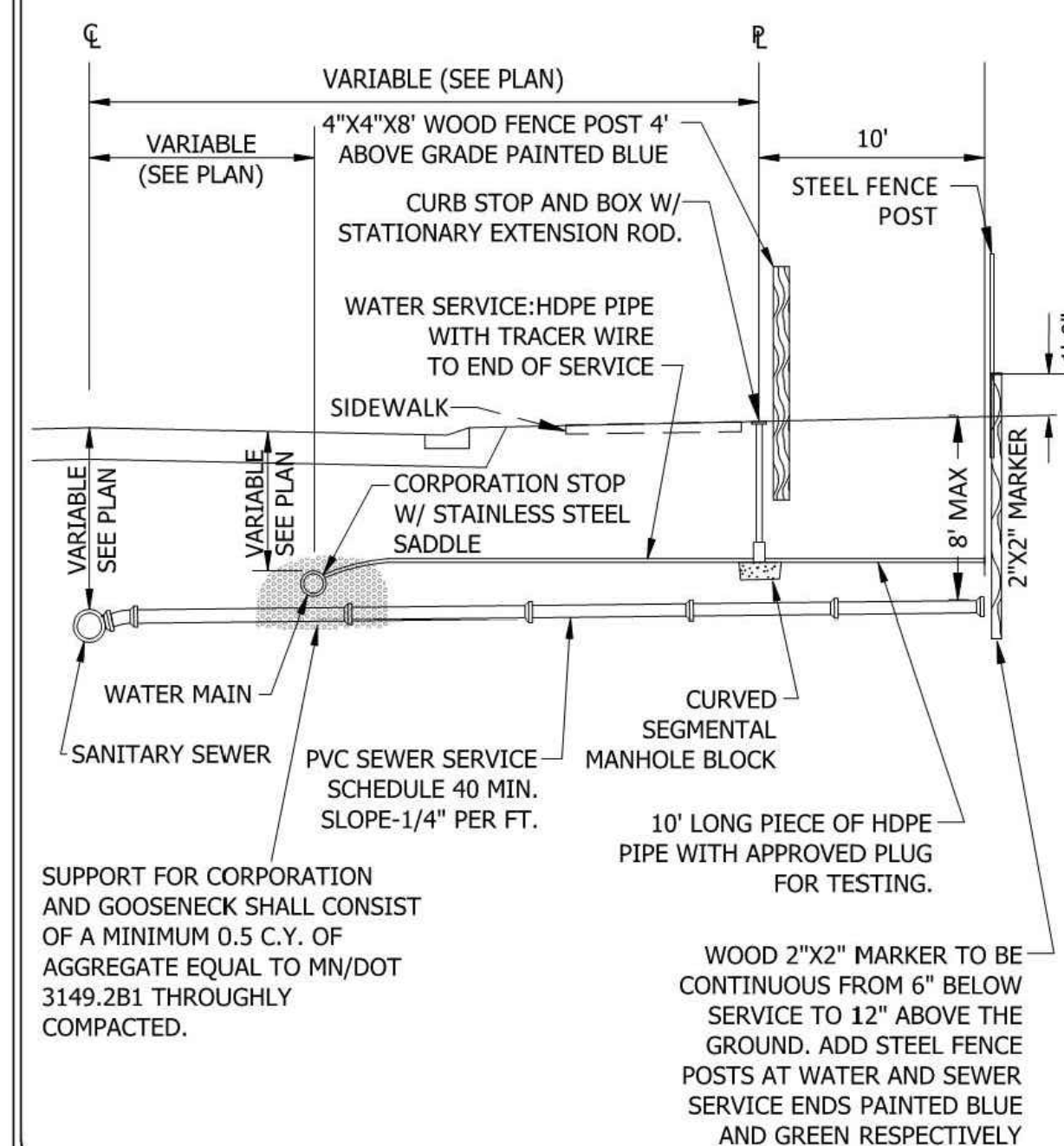
SHEET

C4.2



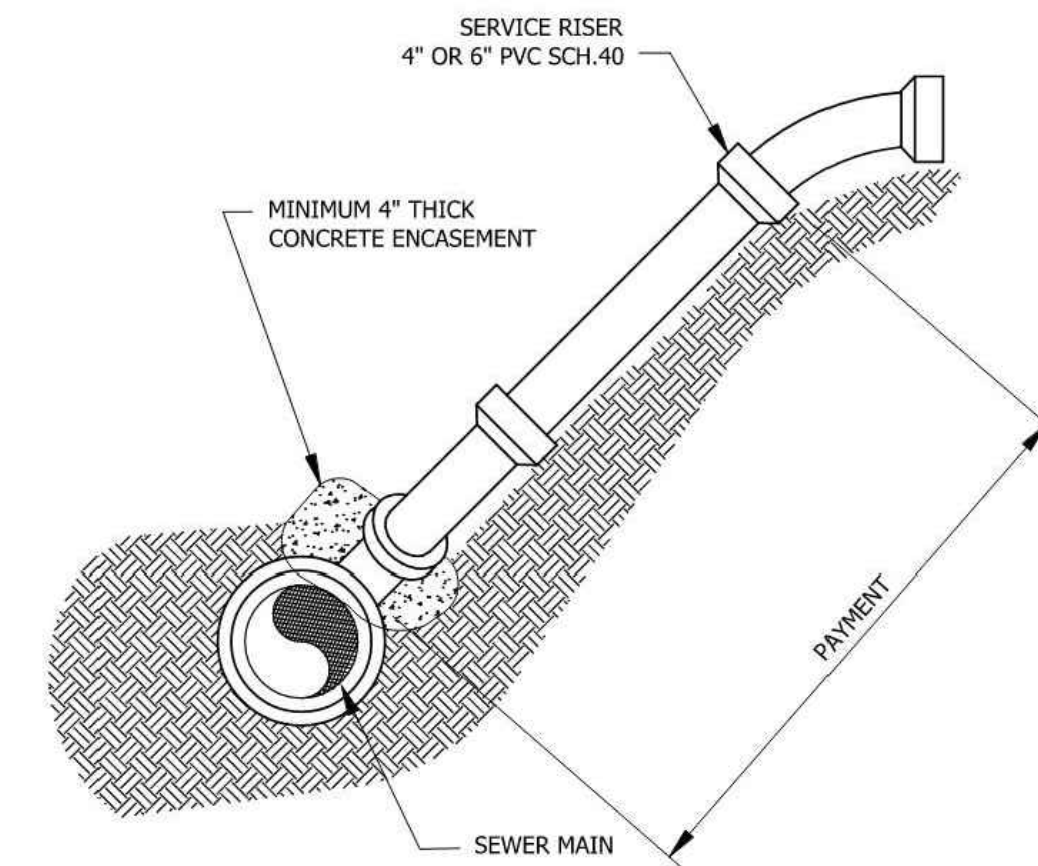
STANDARD DETAILS
TYPICAL BENCH DETAIL
FOREST LAKE, MINNESOTA

LAST REVISION:
APR 2016
CITY PLATE NO.
STO-32



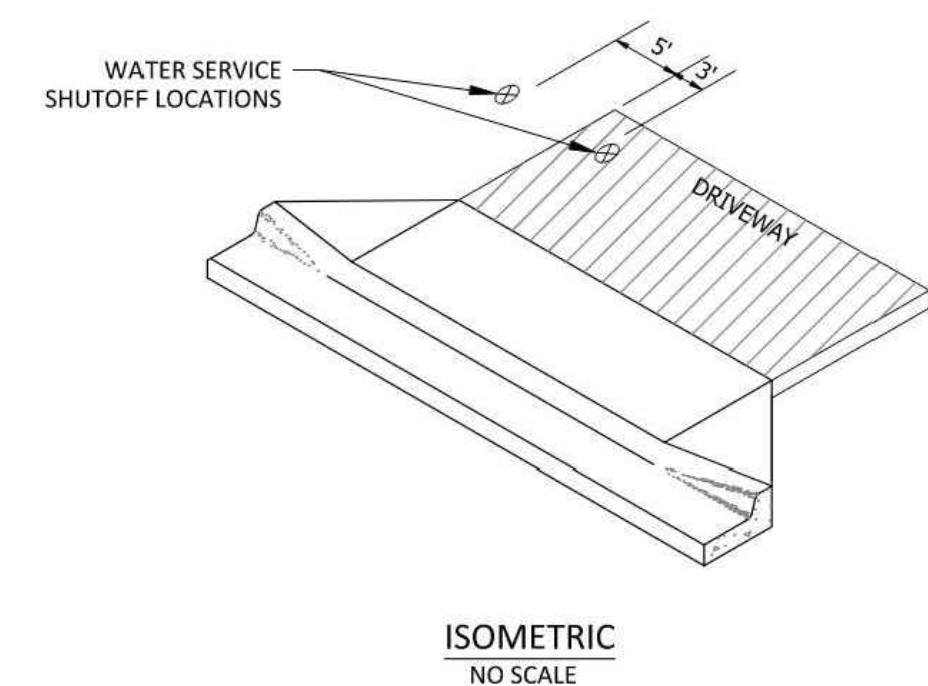
STANDARD DETAILS
SEWER AND WATER
SERVICE CONNECTIONS
FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2023
CITY PLATE NO.
SER-1



STANDARD DETAILS
SERVICE RISER
FOREST LAKE, MINNESOTA

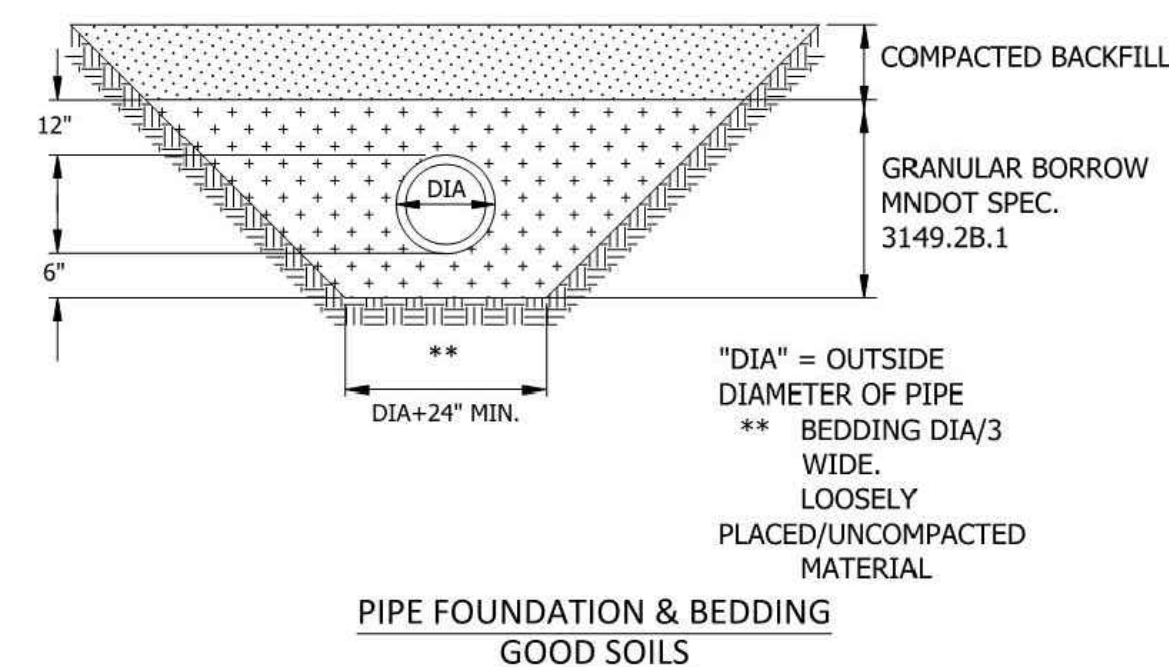
LAST REVISION:
MAR 2021
CITY PLATE NO.
SER-2



STANDARD DETAILS
WATER SERVICE SHUT OFF LOCATION
FOREST LAKE, MINNESOTA

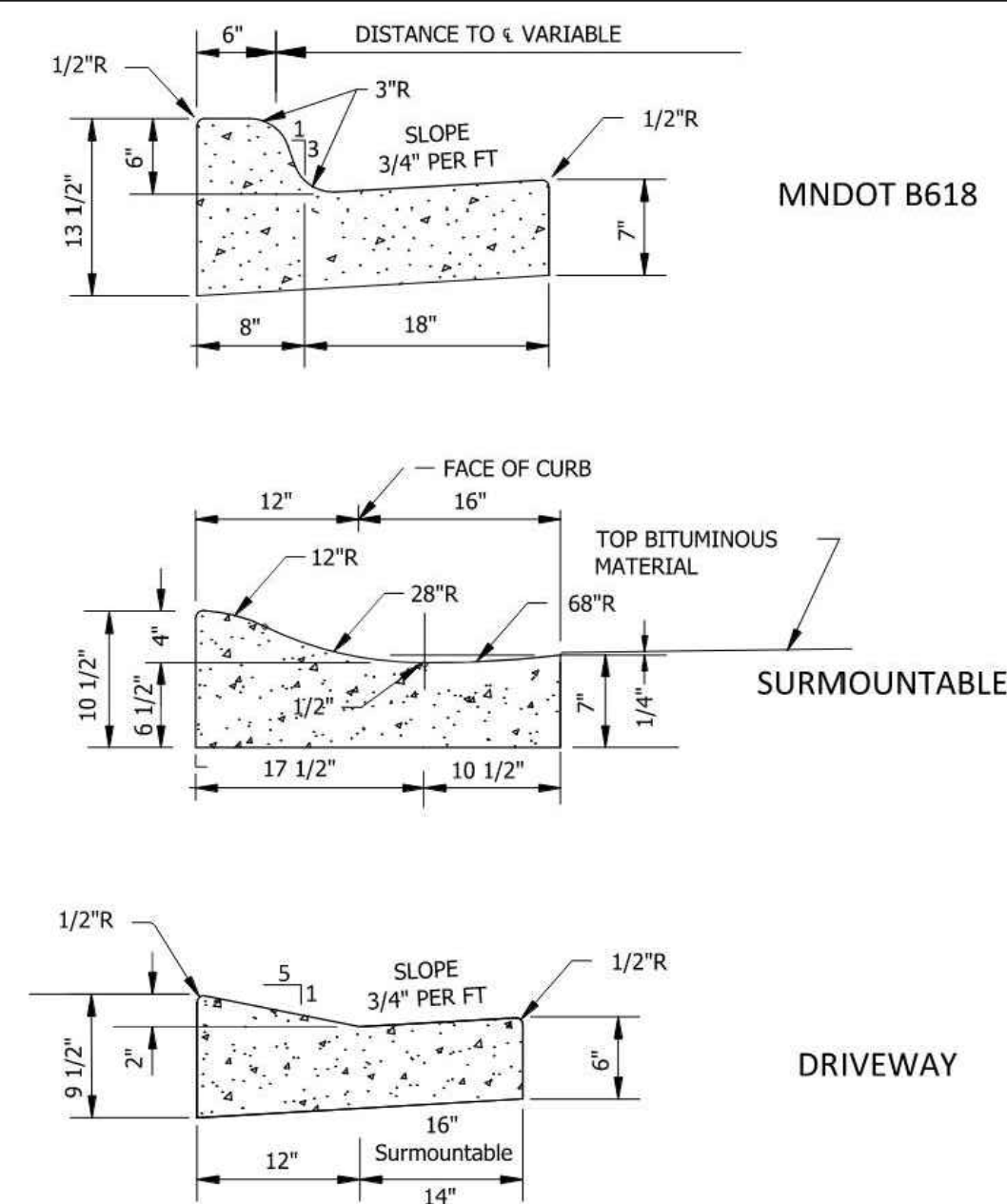
LAST REVISION:
MAR 2013
CITY PLATE NO.
SER-6

- NOTES:
1. WATER SERVICE SHUTOFF TO BE LOCATED A MINIMUM OF 5' OUTSIDE OF THE DRIVEWAY EDGE, OR A MINIMUM OF 3' INSIDE OF THE DRIVEWAY EDGE.
 2. SHUT OFFS LOCATED IN THE DRIVEWAY WILL REQUIRE A NEENAH R-1914-A CASTING WITH A LOCKING COVER OR APPROVED EQUAL.



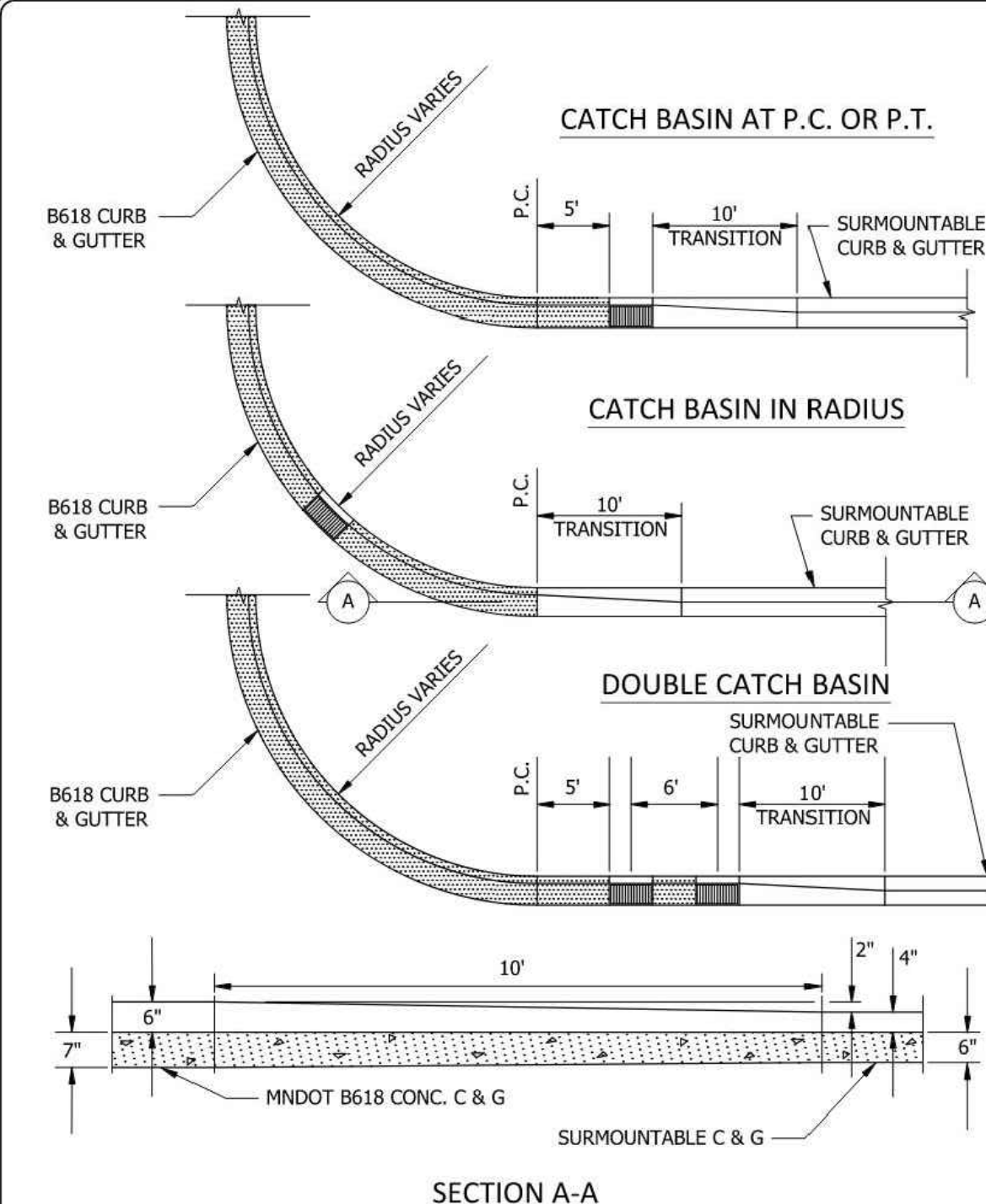
STANDARD DETAILS
PIPE FOUNDATION & BEDDING
METHODS FOR PVC SANITARY
FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2023
CITY PLATE NO.
BED-1



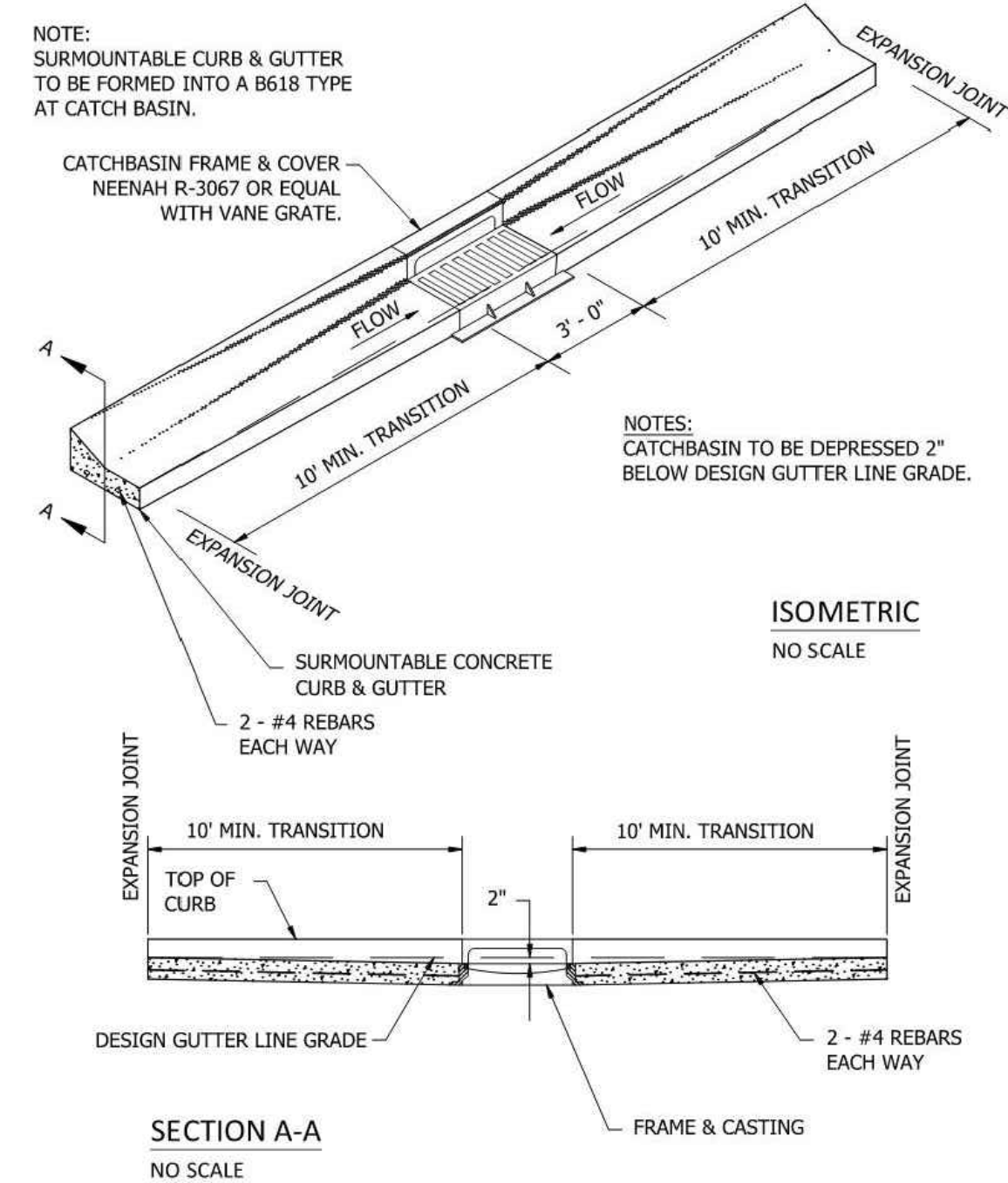
STANDARD DETAILS
CURB AND GUTTER
FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2021
CITY PLATE NO.
STR-1



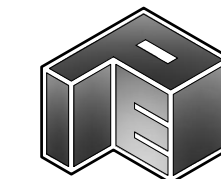
STANDARD DETAILS
CONCRETE CURB & GUTTER
FOREST LAKE, MINNESOTA

LAST REVISION:
APR 2000
CITY PLATE NO.
STR-2



STANDARD DETAILS
SURMOUNTABLE CURB & GUTTER
CONSTRUCTION AT CATCHBASIN
FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 1996
CITY PLATE NO.
STR-3



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY:	AG	CHECK BY:	CWP	DATE:	04-15-2022
1	12-12-22	CITY REVIEW COMMENTS			
2	6-26-23	CITY RCWD SUBMITTAL			
3					
4					
5					
6					
NO.	DATE	DESCRIPTION			

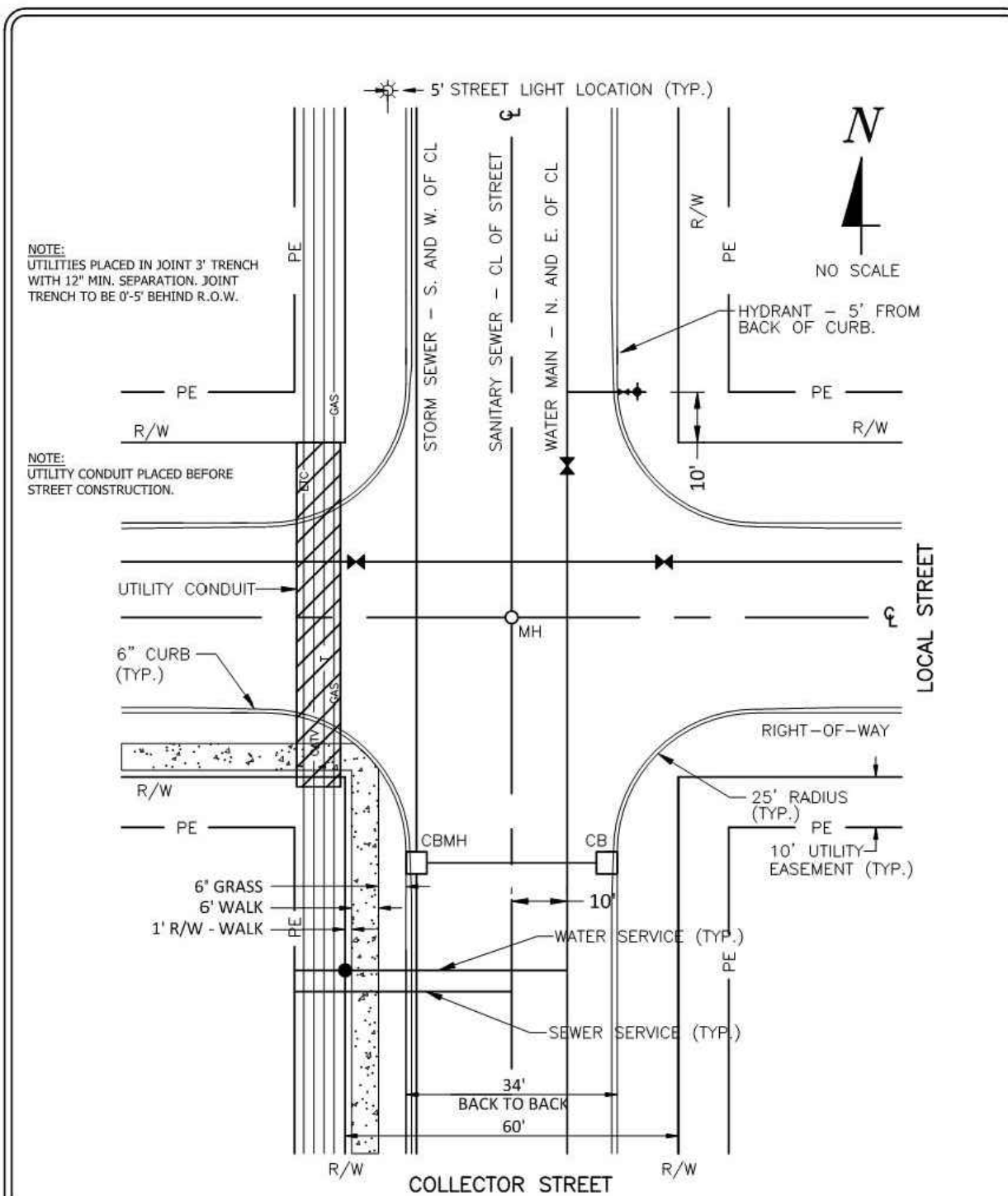
I hereby certify that this plan was prepared by me or by a Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
DETAILS
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C4.3

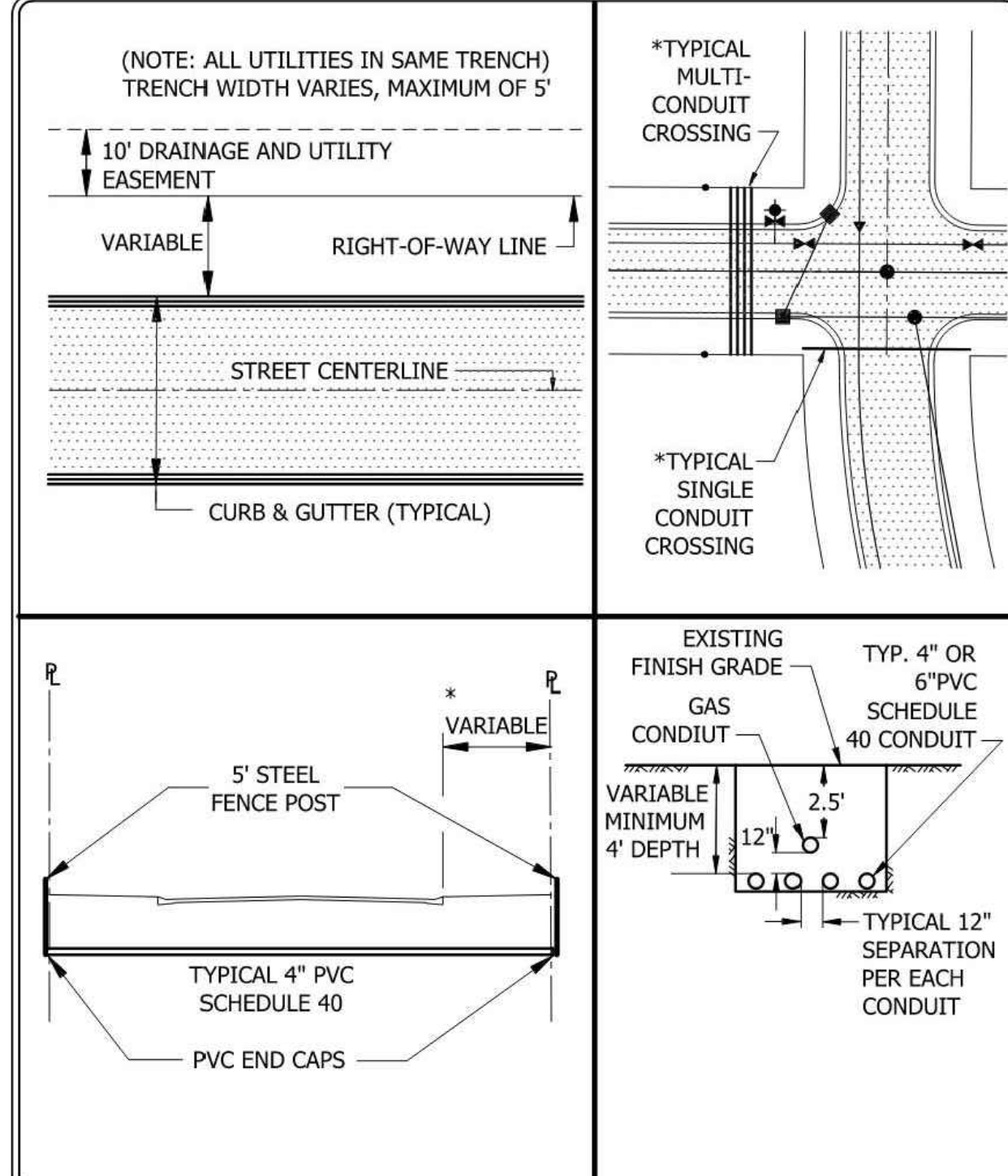


STANDARD DETAILS
TYPICAL UTILITY LOCATIONS
(PUBLIC AND PRIVATE)

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2023

CITY PLATE NO.
STR-6

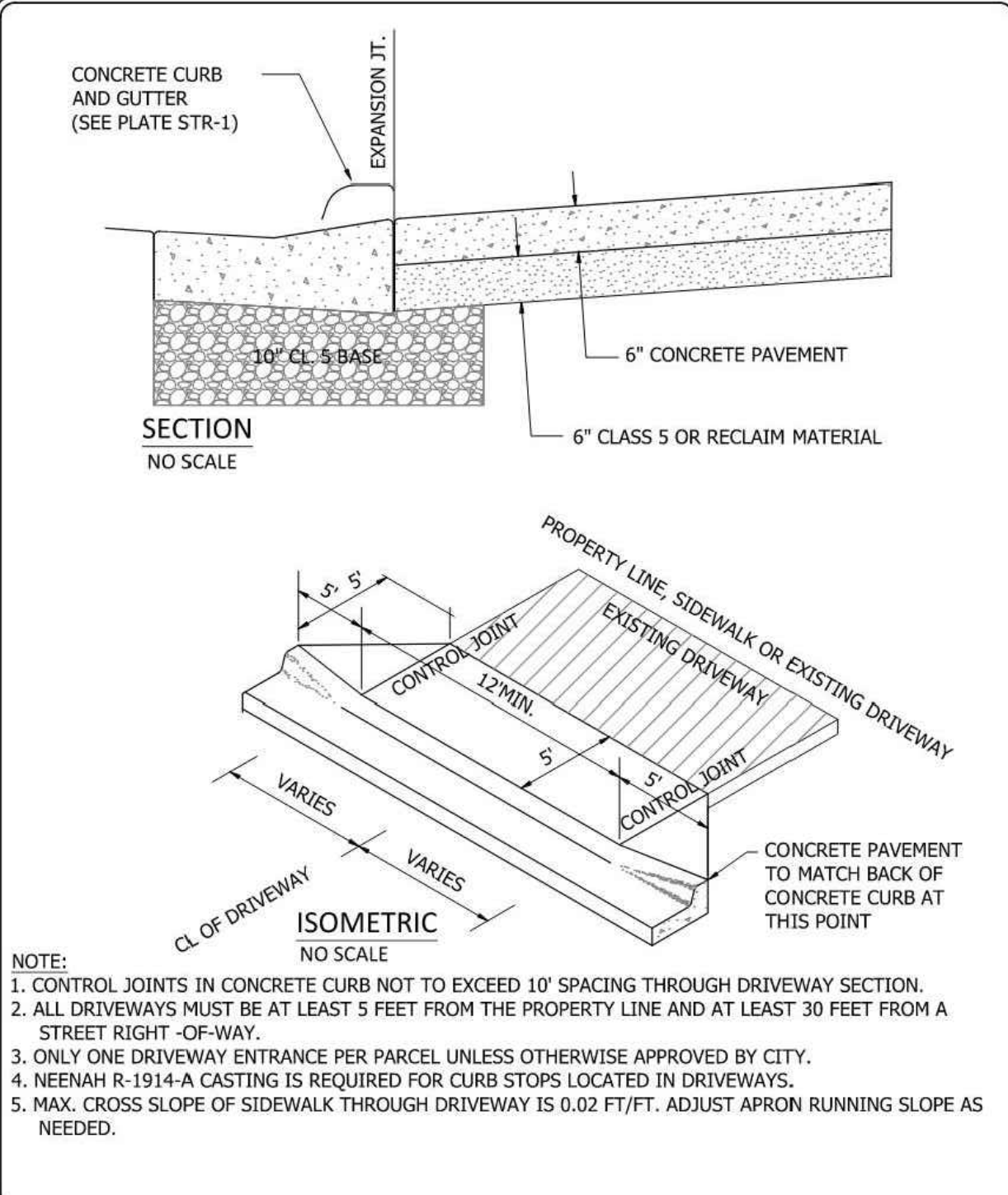


STANDARD DETAILS
PRIVATE UTILITY
CONDUIT CROSSING

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2021

CITY PLATE NO.
STR-7

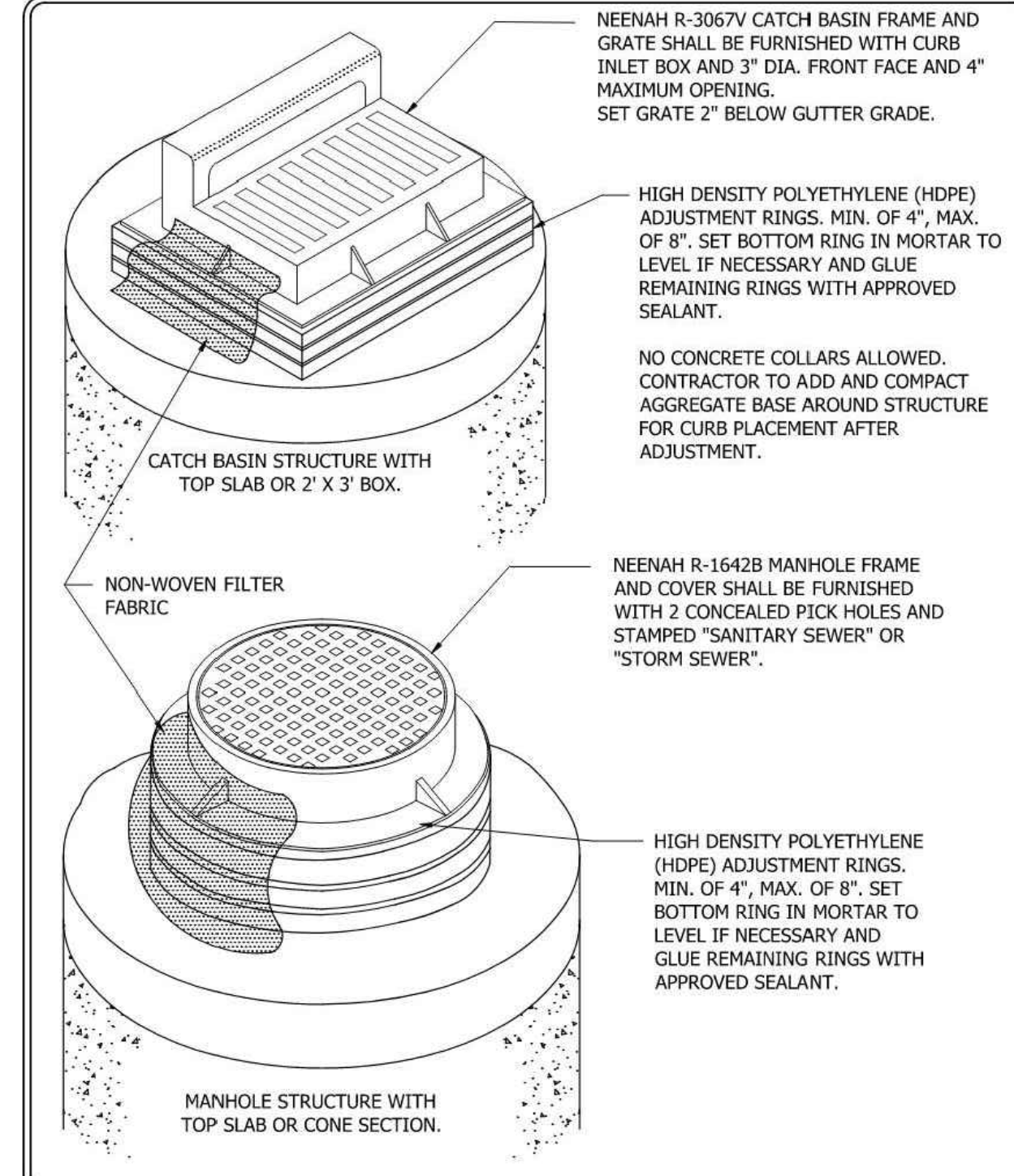


STANDARD DETAILS
URBAN RESIDENTIAL CONCRETE
DRIVEWAY APRON

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2022

CITY PLATE NO.
STR-9

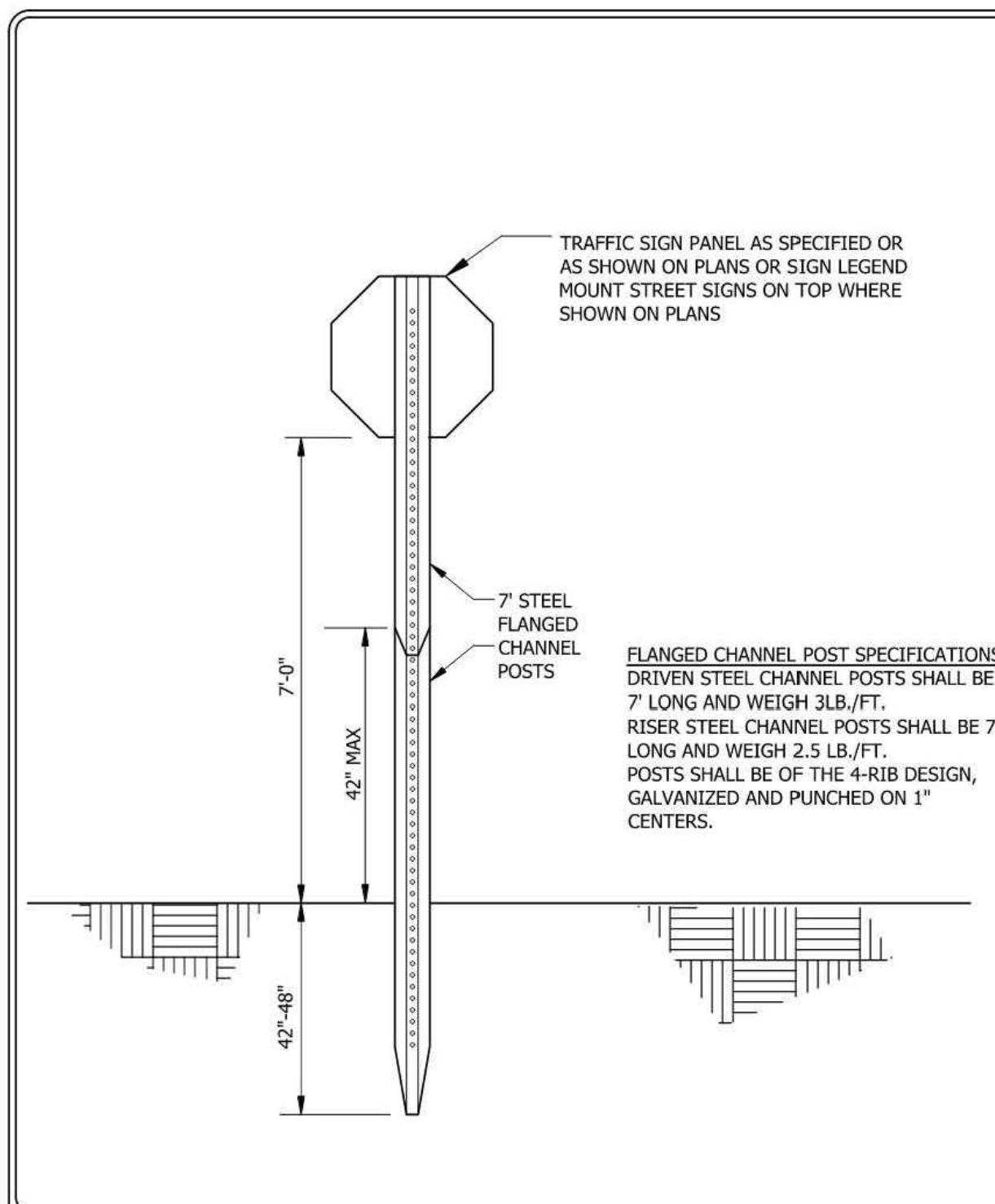


STANDARD DETAILS
CATCH BASIN AND MANHOLE ADJUSTMENT

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2022

CITY PLATE NO.
STR-14

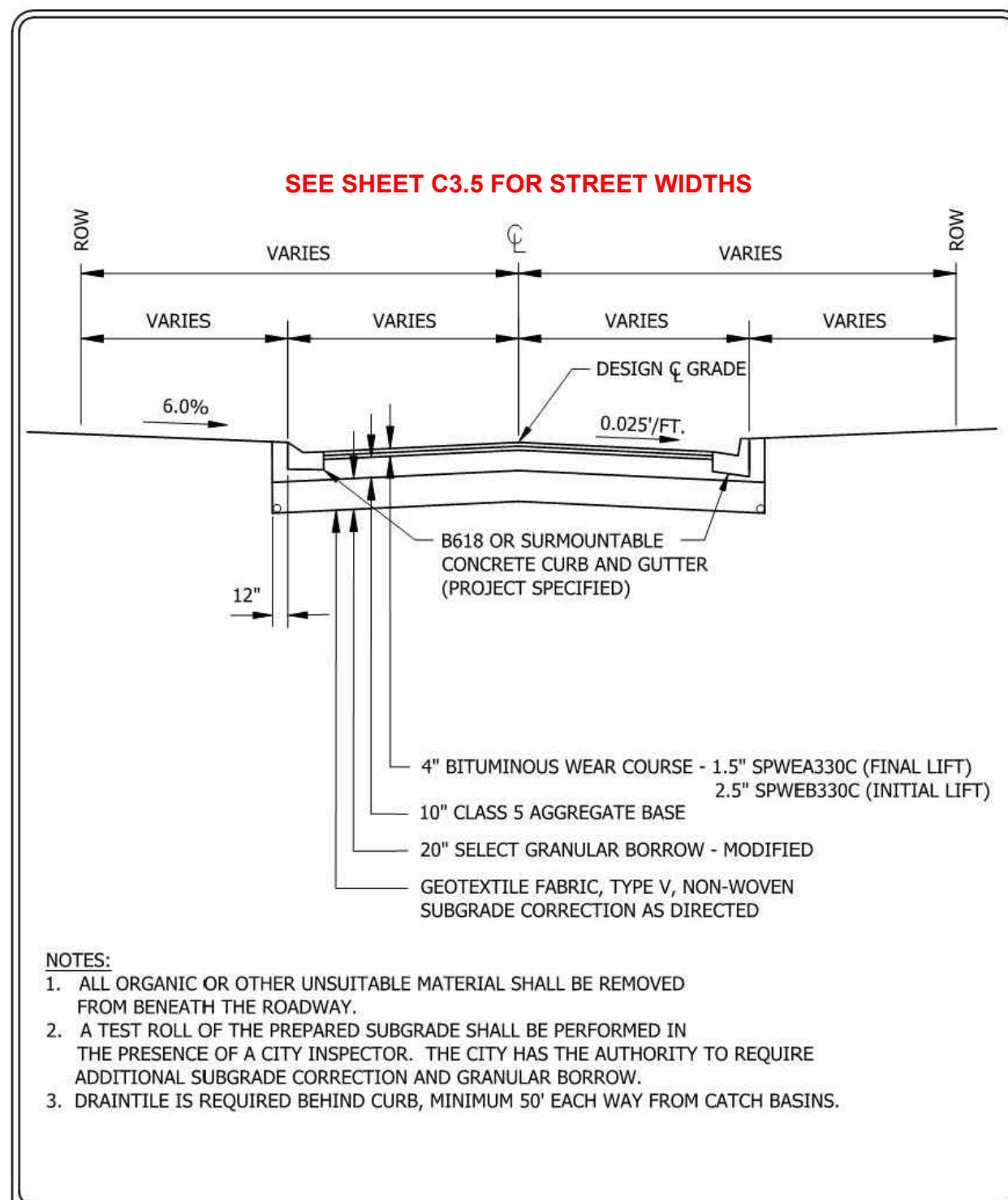


STANDARD DETAILS
TRAFFIC SIGN IN GROUND

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2019

CITY PLATE NO.
STR-18

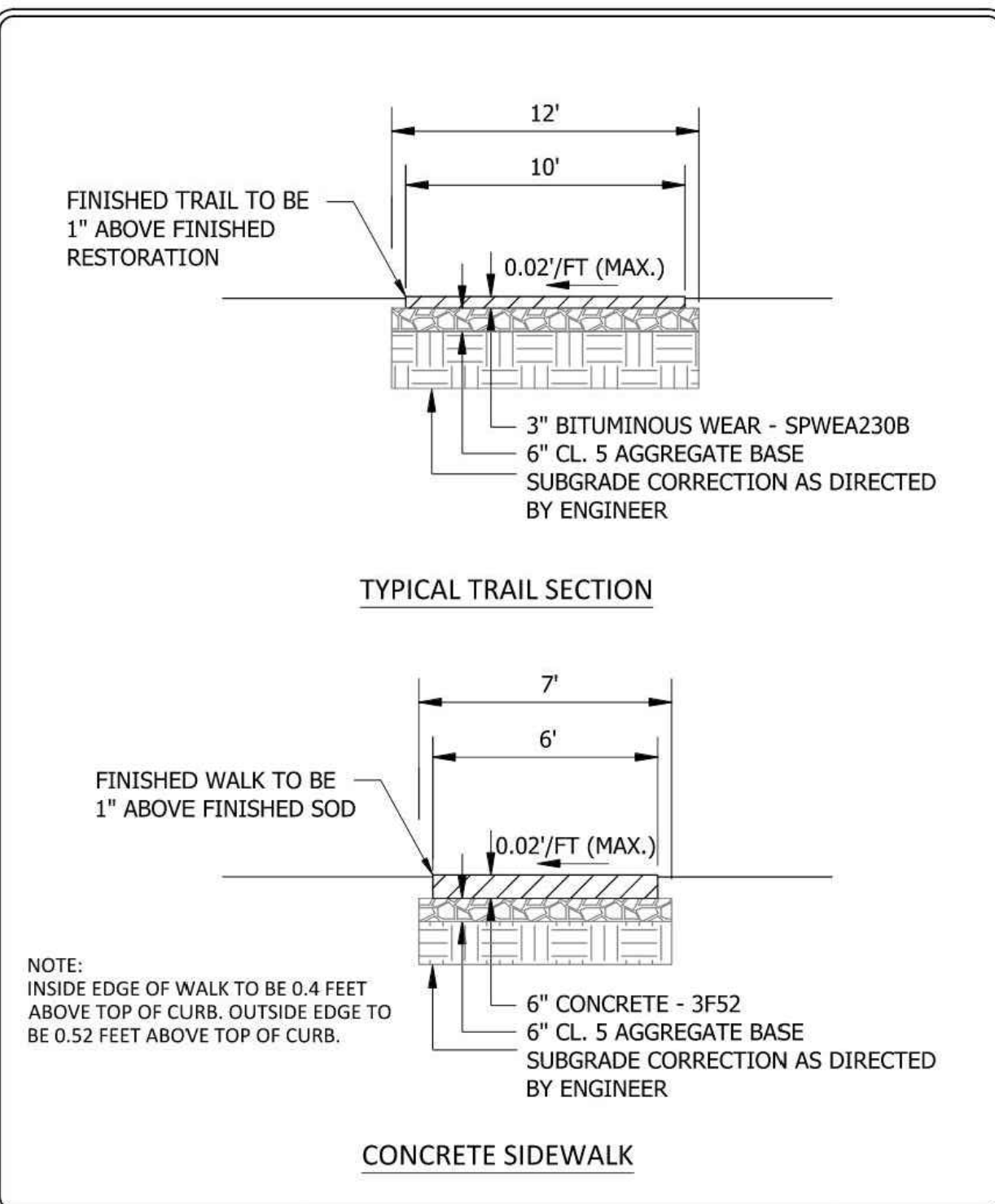


STANDARD DETAILS
TYPICAL URBAN ROAD SECTION
NON-COLLECTOR

FOREST LAKE, MINNESOTA

LAST REVISION:
FEB 2023

CITY PLATE NO.
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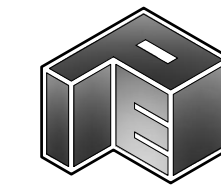


STANDARD DETAILS
TYPICAL BITUMINOUS TRAIL
AND CONCRETE SIDEWALK

FOREST LAKE, MINNESOTA

LAST REVISION:
MAR 2022

CITY PLATE NO.
STR-24



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: AG
1 12-12-22
2 6-26-23
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CHECK BY: CWP
12-12-22
6-26-23
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CITY REVIEW COMMENTS
CITYPCWD SUBMITTAL

DATE: 04-15-2022

JOB NO: 22-2034

DESCRIPTION

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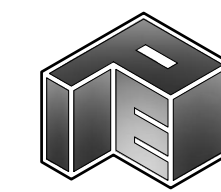
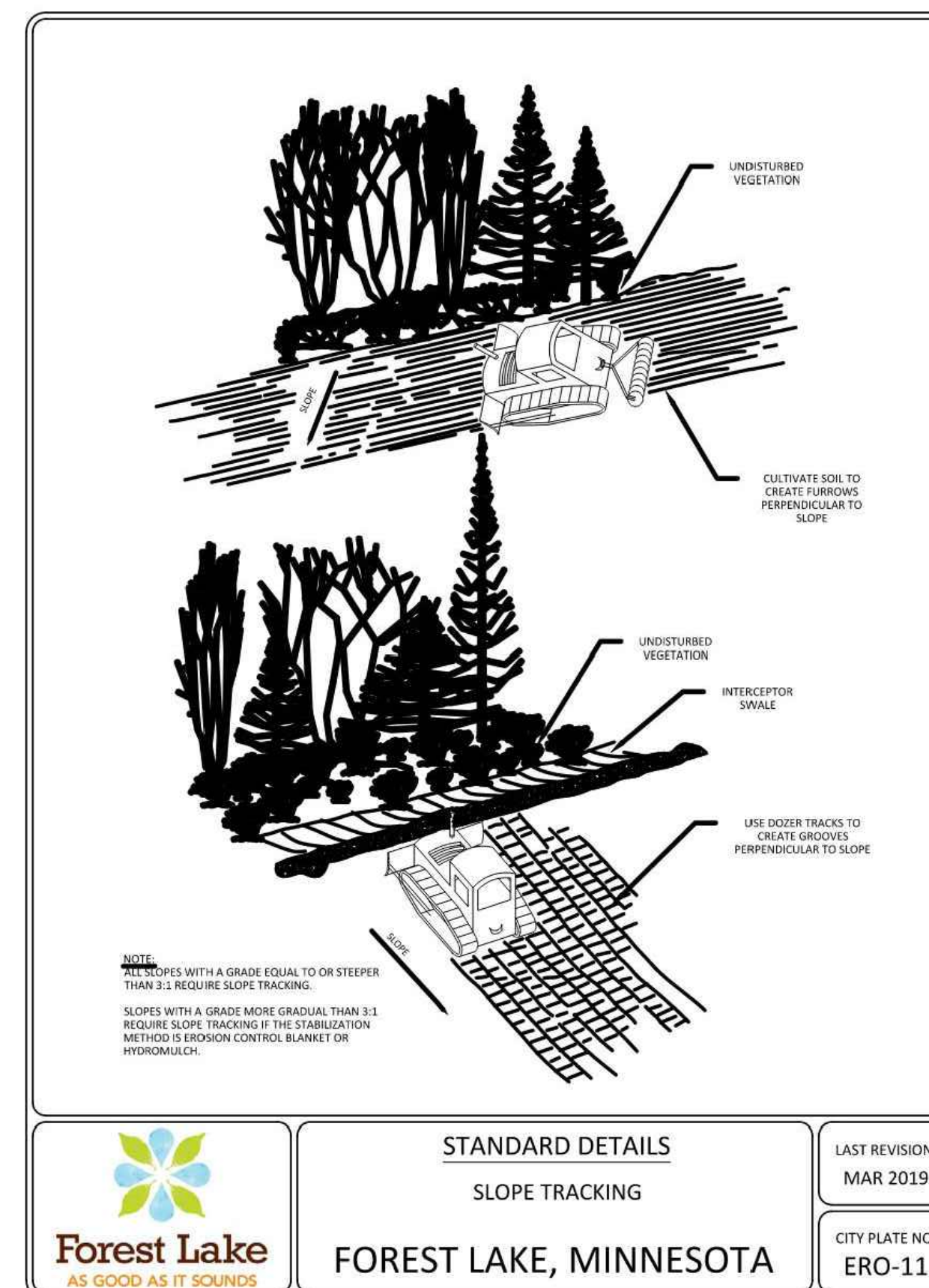
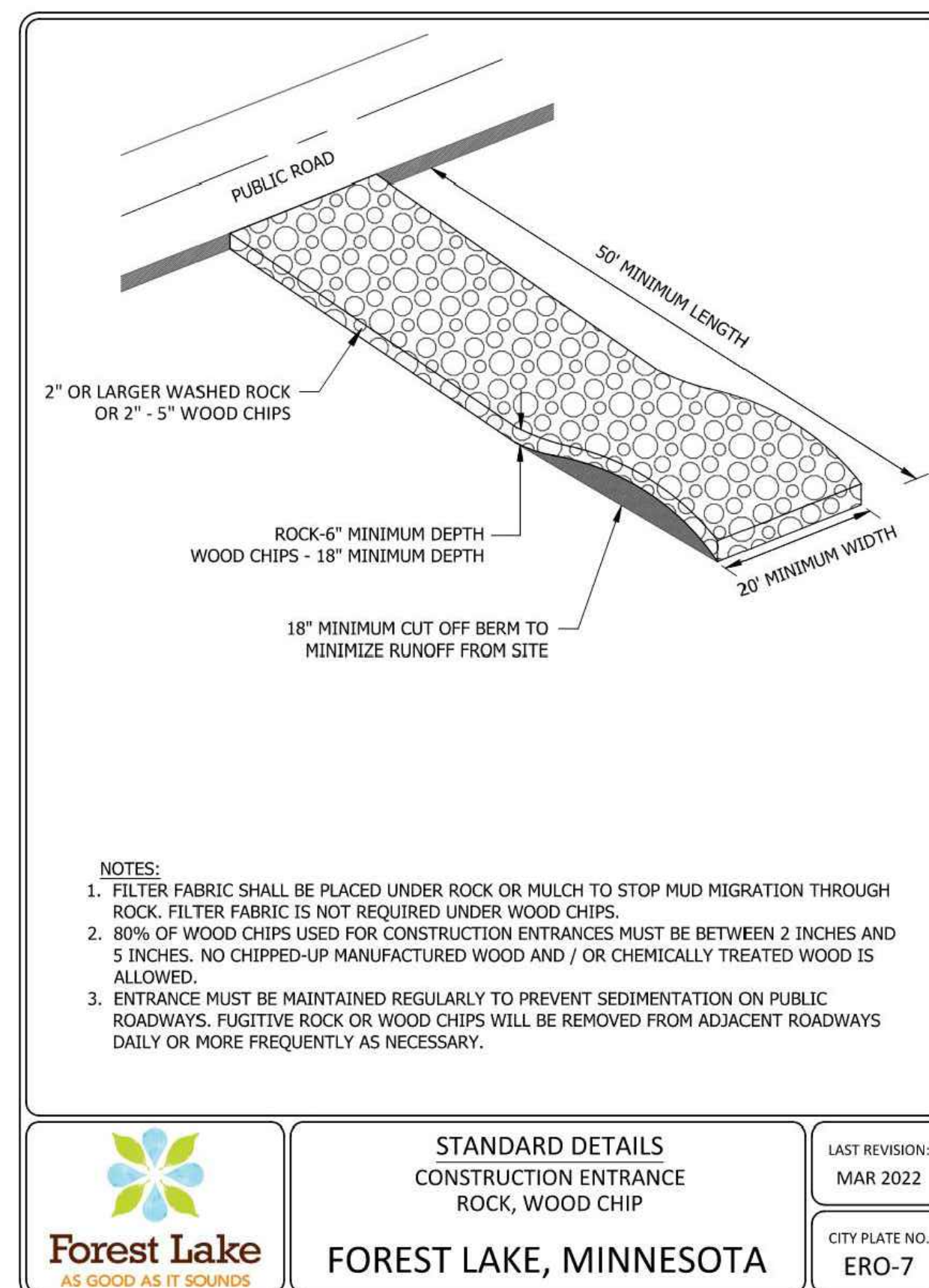
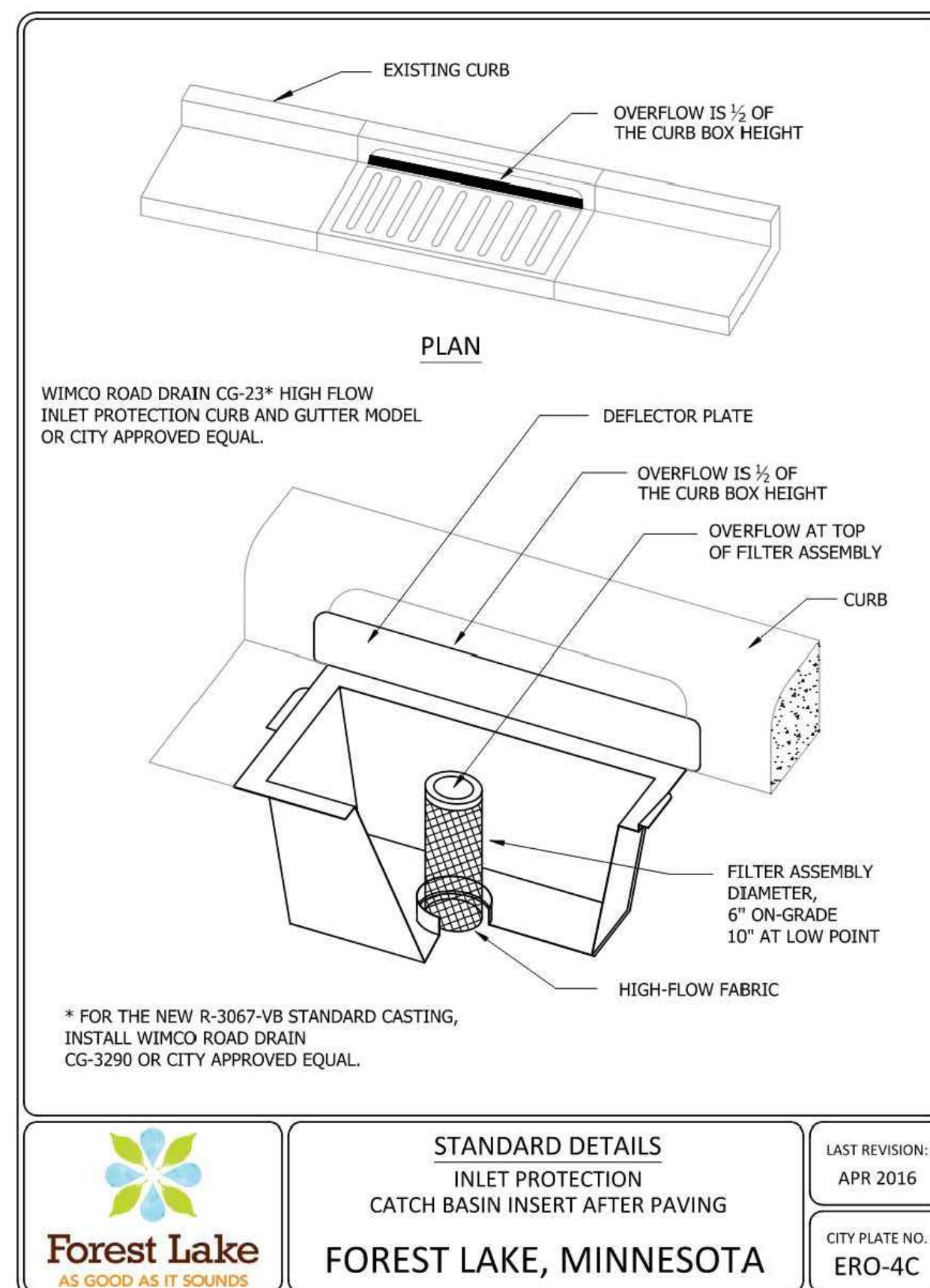
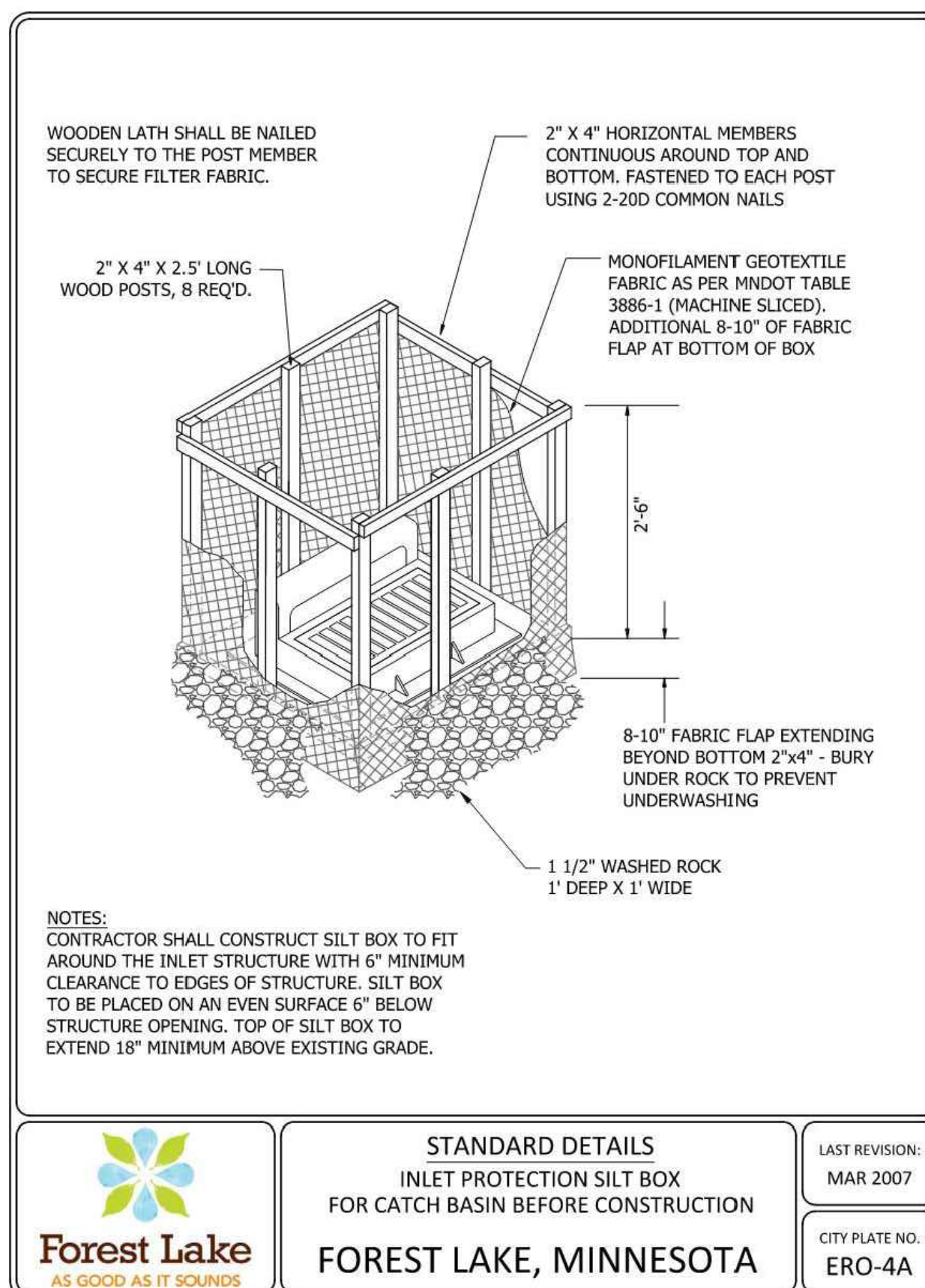
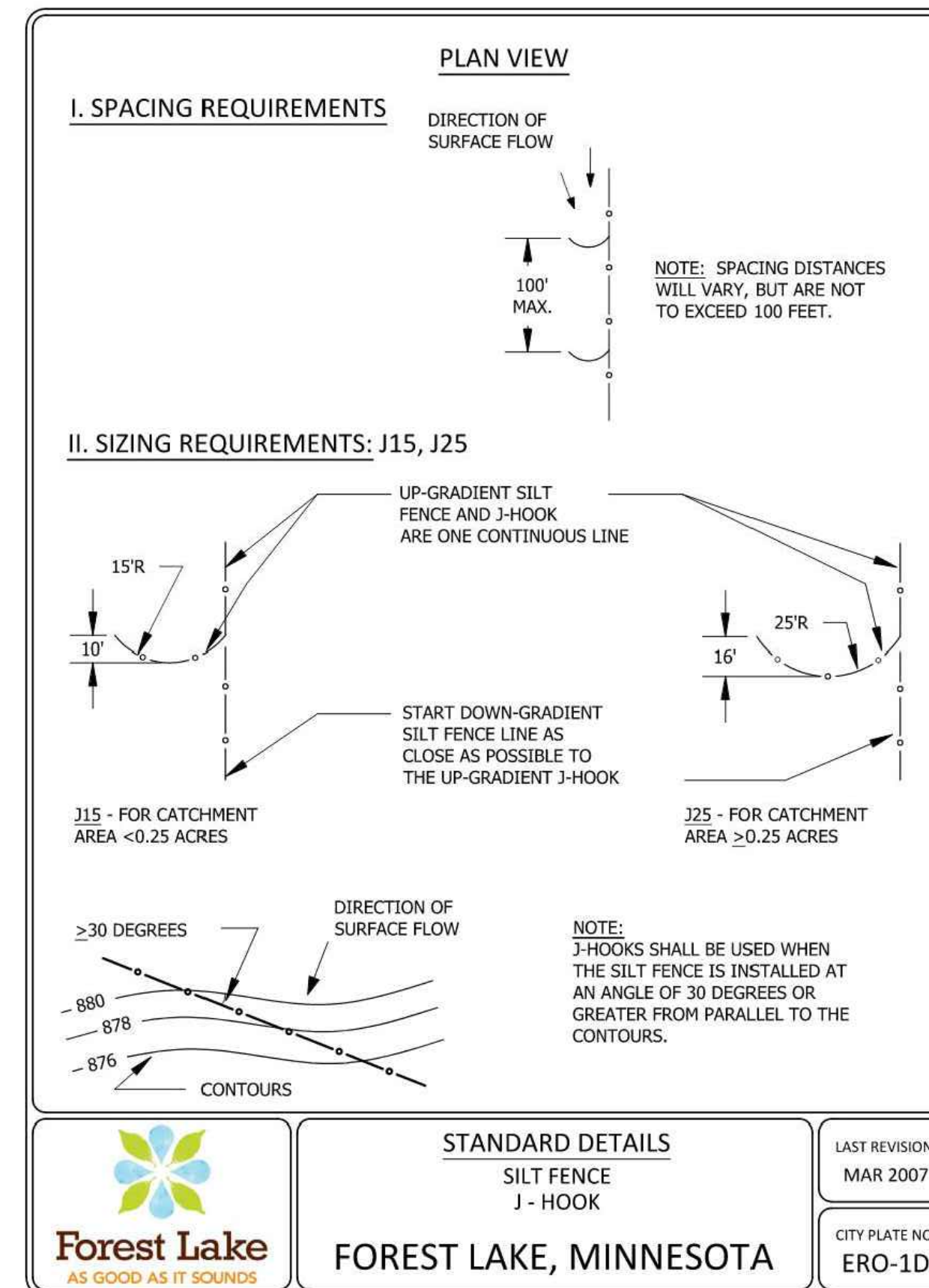
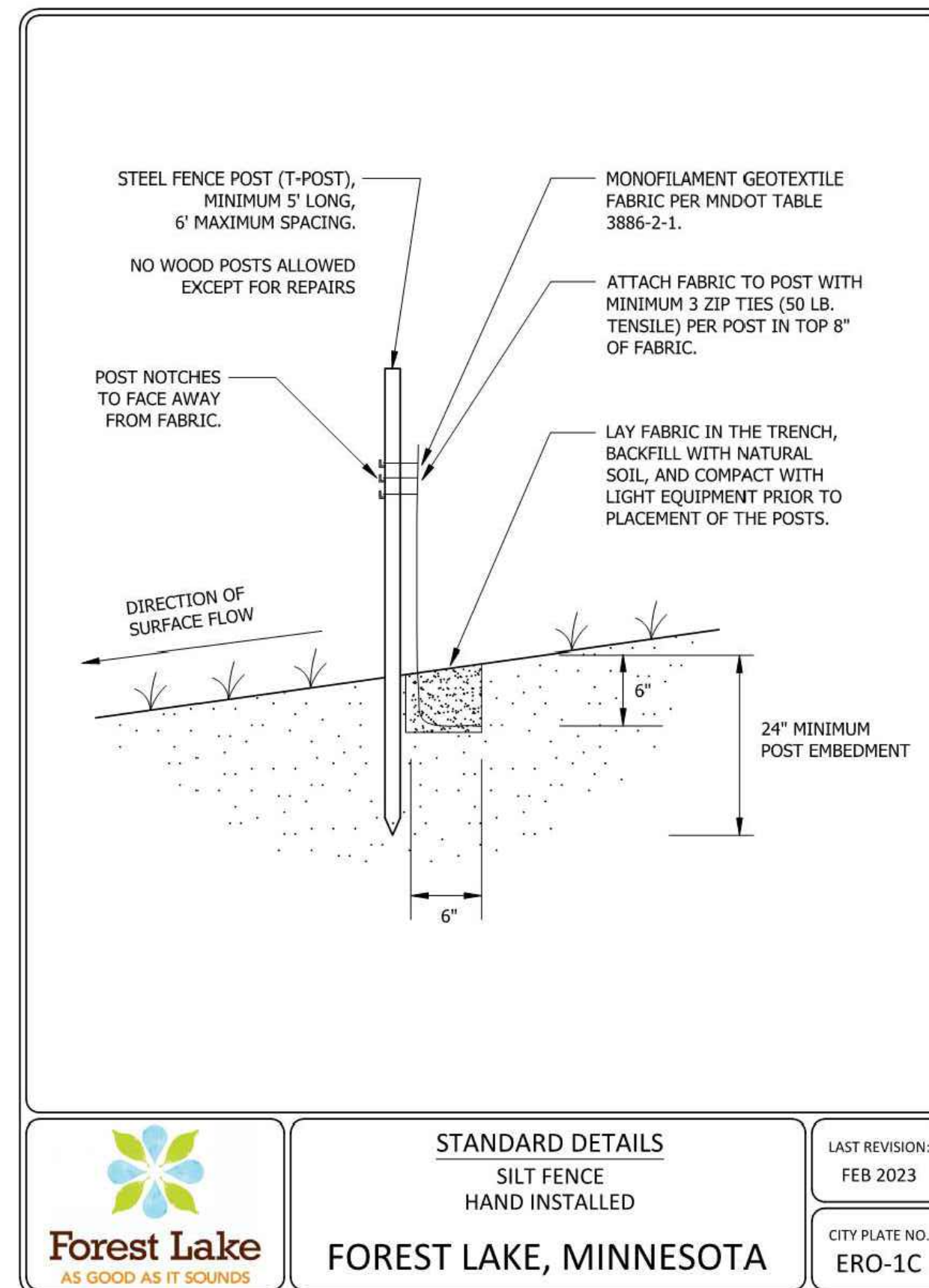
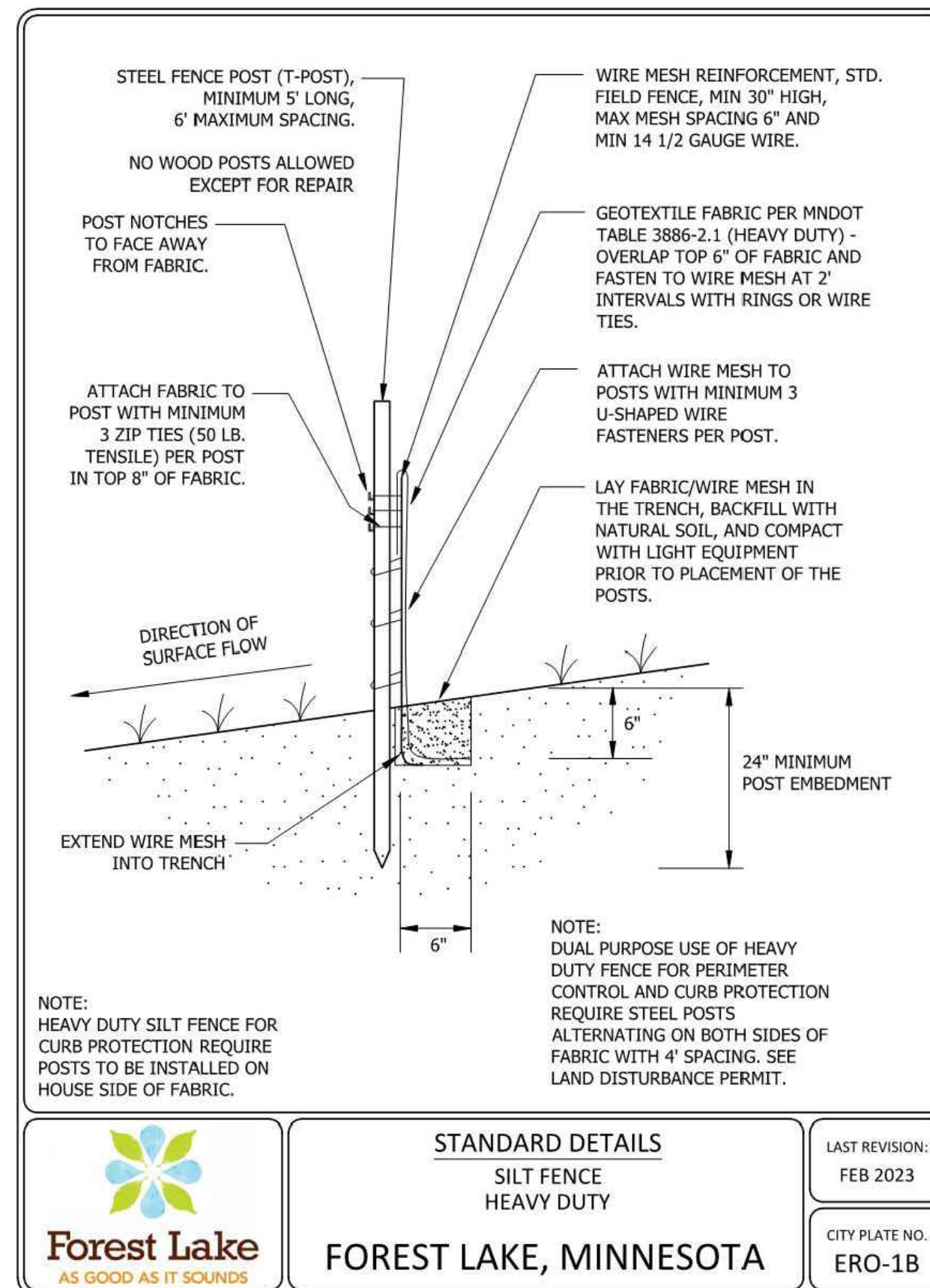
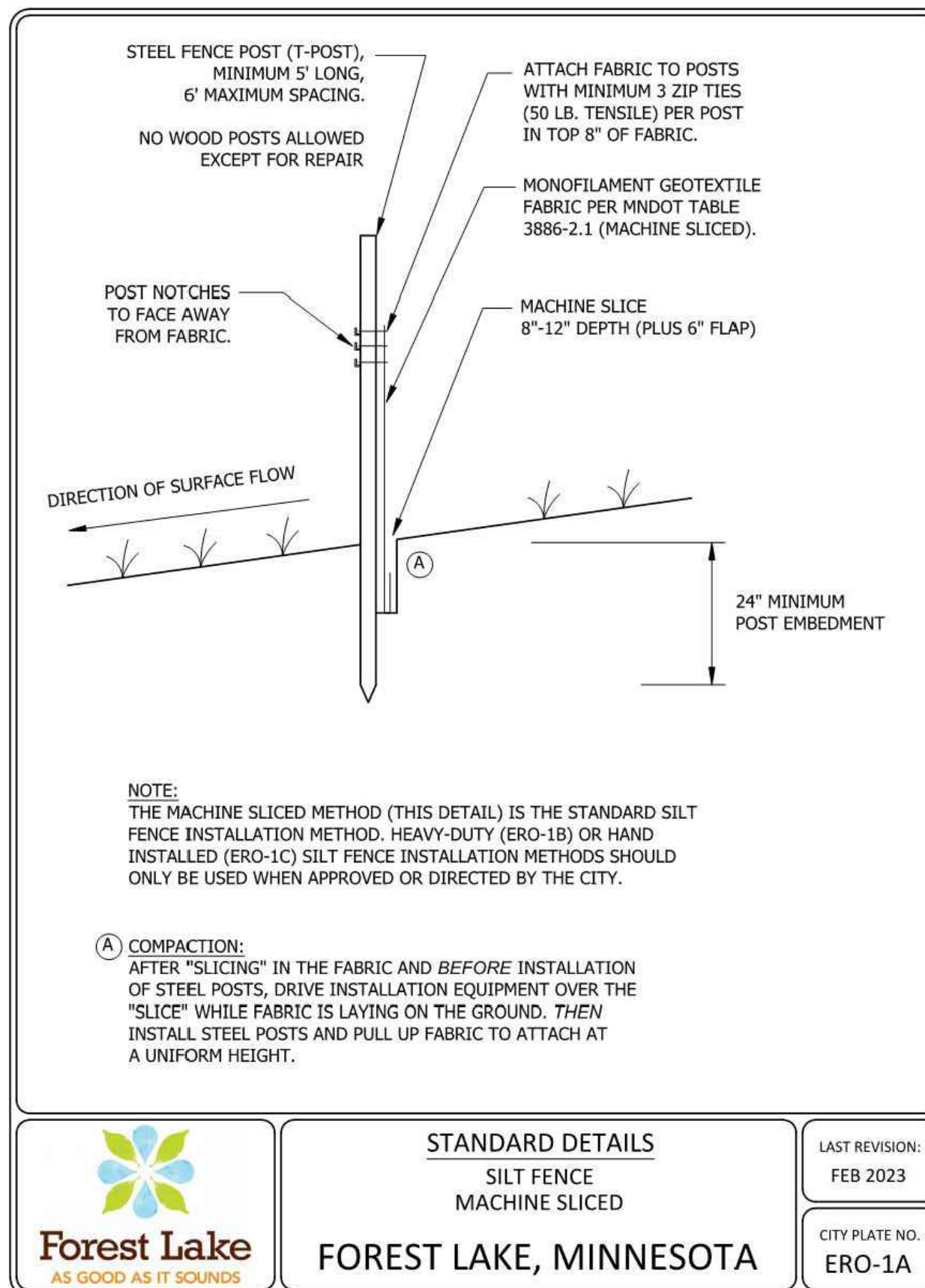
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SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

DRAWN BY: AG	CHECK BY: CWP	DATE: 04-15-2022
1	12-12-22	CITY REVIEW COMMENTS
2	6-26-23	CITY RCWD SUBMITTAL
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NO.	DATE	DESCRIPTION

I hereby certify that this plan was prepared by the or designed by, and sealed as a Professional Engineer under the laws of the State of Minnesota.

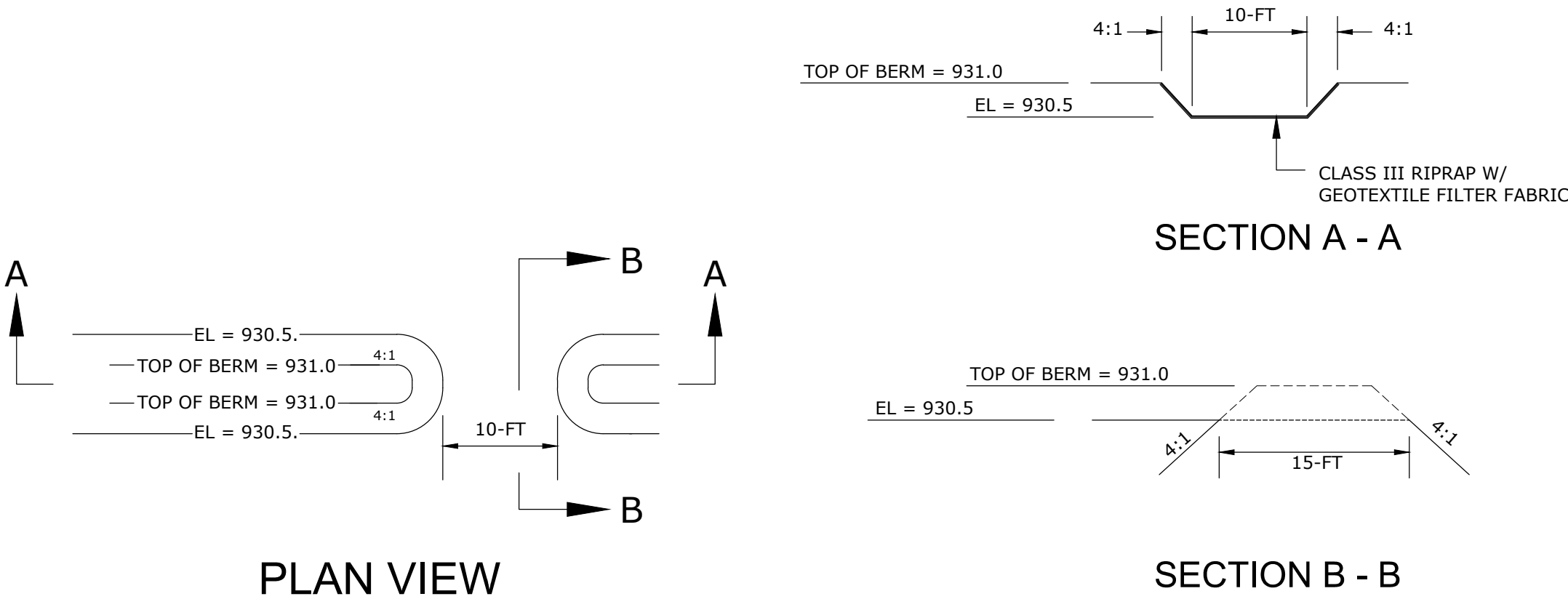
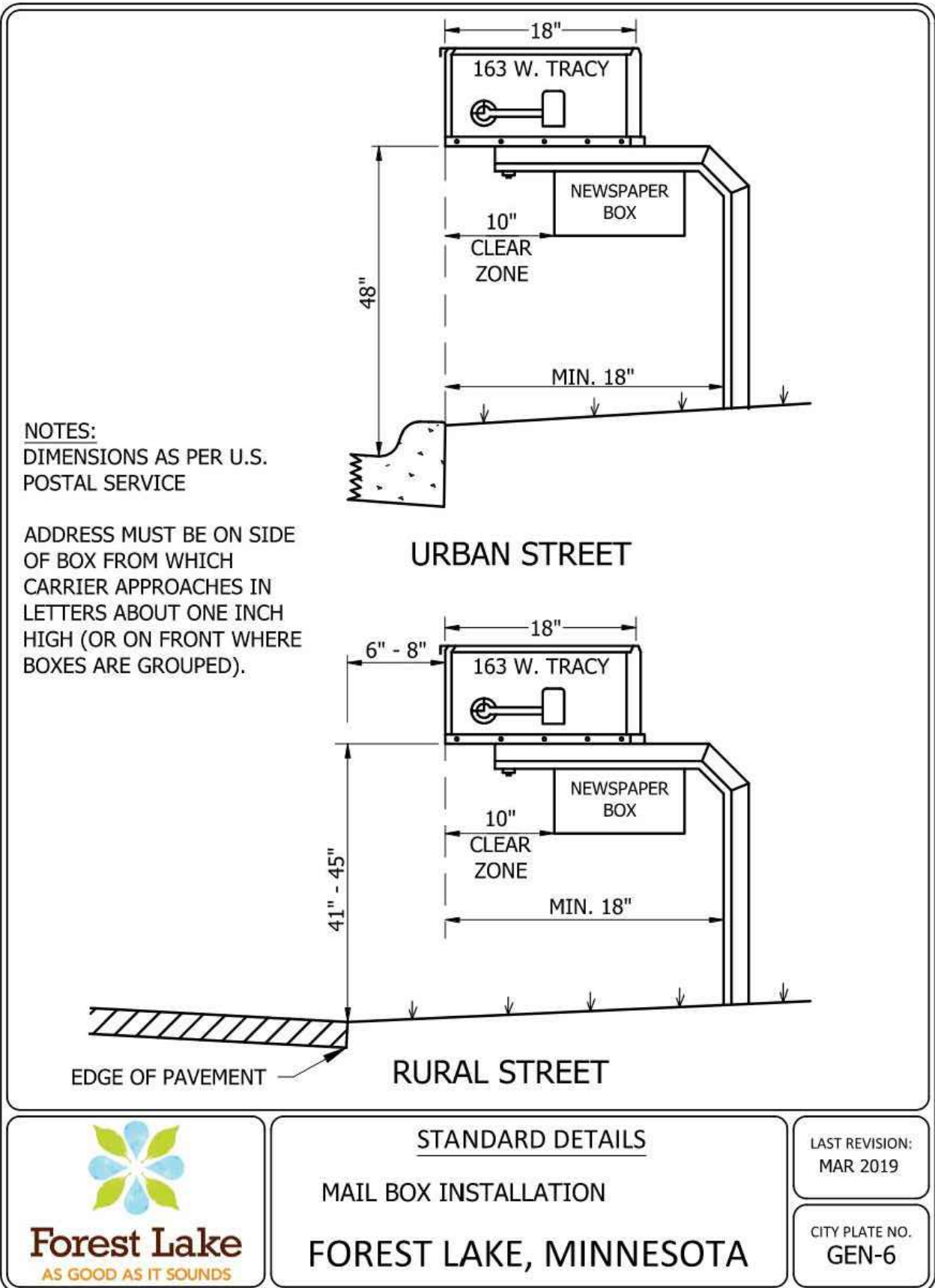
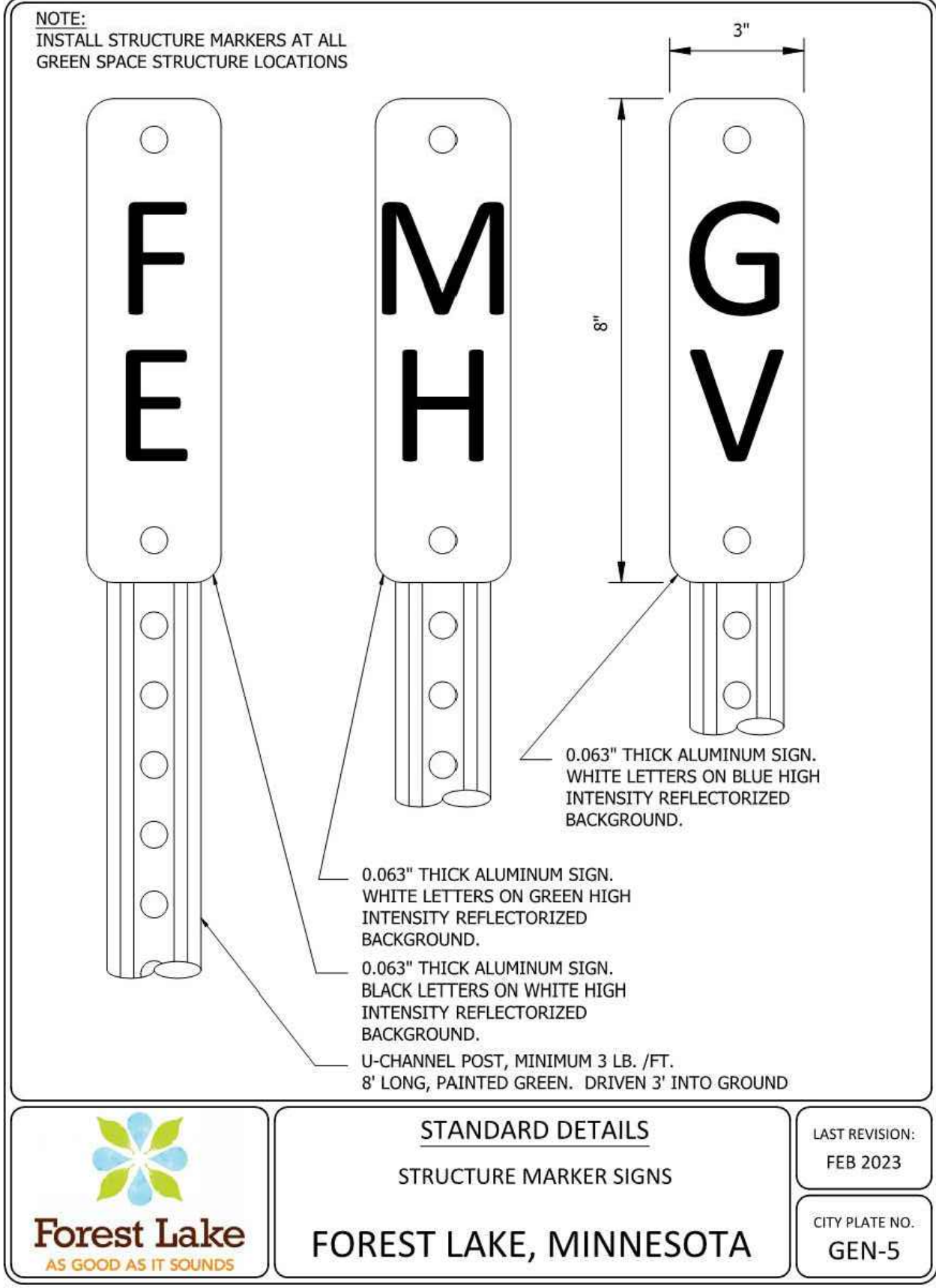
ADAM GINKEL

DATE: 08.07.2024 LIC. NO. 43963

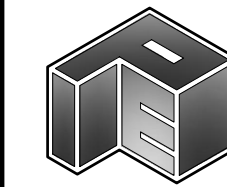
SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
DETAILS
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C4.5



RIPRAP OVERFLOWS
N.T.S.



SITE PLANNING
& ENGINEERING

PLOWE
ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
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DRAWN BY:	AG	CHECK BY:	CWP	JOB NO.:	22-2034	DATE:	04-15-2022
1	12-12-22	CITY REVIEW COMMENTS					
2	6-26-23	CITY RCWD SUBMITTAL					
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NO.	DATE	DESCRIPTION					

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

ADAM GINKEL
DATE: 08.07.2024 LIC. NO. 43963

SHADOW CREEK ESTATES
CITY OF FOREST LAKE, MN
DETAILS
PREPARED FOR: ELMCREST VISTAS, LLC

SHEET

C4.6

4.1 TERMINATION OF COVERAGE [MINN. R. 7090]

4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]

4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITIES (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]

4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:

- CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND
- AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
- ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND
- THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELLED THE PROJECT. [MINN. R. 7090]

5.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONTENT [MINN. R. 7090]

5.3 THE SWPPP MUST INCORPORATE SPECIFIC BEST MANAGEMENT PRACTICES (BMP) USED TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT. [MINN. R. 7090]

5.4 THE SWPPP MUST INCLUDE A NARRATIVE DESCRIBING THE TIMING FOR INSTALLATION OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND A DESCRIPTION OF THE PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

5.5 THE SWPPP MUST INCLUDE THE LOCATION AND TYPE OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs ALONG WITH PROCEDURES USED TO ESTABLISH ADDITIONAL TEMPORARY BMPs AS NECESSARY FOR THE SITE CONDITIONS DURING CONSTRUCTION. STANDARD DETAILS AND/OR SPECIFICATIONS FOR BMPs MUST BE INCLUDED IN THE FINAL PLANS AND SPECIFICATIONS FOR THE PROJECT. [MINN. R. 7090]

5.6 THE SWPPP MUST INCLUDE THE CALCULATIONS AND OTHER INFORMATION USED FOR THE DESIGN OF TEMPORARY SEDIMENT BASINS AND ANY OF THE PERMANENT STORMWATER TREATMENT SYSTEMS REQUIRED IN SECTION 15. [MINN. R. 7090]

5.7 THE SWPPP MUST INCLUDE ESTIMATED QUANTITIES ANTICIPATED AT THE START OF THE PROJECT FOR THE LIFE OF THE PROJECT FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs (E.G., LINEAR FEET OF SILT FENCE OR SQUARE FEET OF EROSION CONTROL BLANKET). [MINN. R. 7090]

5.8 THE SWPPP MUST INCLUDE THE NUMBER OF ACRES OF IMPERVIOUS SURFACE FOR BOTH PRE- AND POST-CONSTRUCTION. [MINN. R. 7090]

5.9 THE SWPPP MUST INCLUDE A SITE MAP WITH EXISTING AND FINAL GRADES, INCLUDING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW AND ALL DISCHARGE POINTS WHERE STORMWATER IS LEAVING THE SITE OR ENTERING A SURFACE WATER.

THE SITE MAP MUST INDICATE THE AREAS OF STEEP SLOPES. THE SITE MAP MUST ALSO INCLUDE IMPERVIOUS SURFACES, SOIL TYPES AND LOCATIONS OF POTENTIAL POLLUTION-GENERATING ACTIVITIES AS IDENTIFIED IN SECTION 12. [MINN. R. 7090]

5.10 THE SWPPP MUST INCLUDE A MAP OF ALL SURFACE WATERS, EXISTING WETLANDS, AND STORMWATER PONDS OR BASINS THAT CAN BE IDENTIFIED ON MAPS SUCH AS UNITED STATES GEOLOGICAL SURVEY 7.5 MINUTE QUADRANGLE MAPS, THE NATIONAL WETLAND INVENTORY MAP OR EQUIVALENT MAPS AND ARE WITHIN ONE MILE (AERIAL RADIUS MEASUREMENT) FROM THE PROJECT BOUNDARIES THAT WILL RECEIVE STORMWATER FROM THE CONSTRUCTION SITE. DURING OR AFTER CONSTRUCTION, THE SWPPP MUST IDENTIFY IF THE SURFACE WATERS ARE SPECIAL OR IMPAIRED WATERS. [MINN. R. 7090]

5.11 THE SWPPP MUST INCLUDE A SITE MAP SHOWING CONSTRUCTION ACTIVITY AREAS THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS FOR WHICH THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES. [MINN. R. 7090]

5.12 PERMITTEES MUST IDENTIFY LOCATIONS OF 50' BUFFER ZONES AS REQUIRED IN ITEM 9.17 AND 100' PERMANENT BUFFER ZONES AS REQUIRED IN ITEM 23.11. ON PLAN SHEETS IN THE SWPPP. [MINN. R. 7090]

5.13 IF PERMITTEES DETERMINE COMPLIANCE WITH THE FOLLOWING REQUIREMENTS IS INFEASIBLE, THEY MUST DOCUMENT THE DETERMINATION IN THE SWPPP:

- TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14; AND
- FOR LINEAR PROJECTS, IF THE PERMANENT STORMWATER TREATMENT SYSTEM CANNOT BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY, A REASONABLE ATTEMPT MUST BE MADE TO OBTAIN ADDITIONAL RIGHT-OF-WAY (ITEM 15.9); AND
- BUFFER ZONES AS DESCRIBED IN ITEM 9.17 AND ITEM 23.11. [MINN. R. 7090]

5.14 IF PERMITTEES DETERMINE THAT A TEMPORARY SEDIMENT BASIN IS INFEASIBLE AS DESCRIBED IN ITEM 14.10, THE SWPPP MUST DESCRIBE THE BMP TO BE USED. [MINN. R. 7090]

5.15 WHERE SYSTEMS CANNOT MEET THE FULL VOLUME REDUCTION REQUIREMENT ON SITE, (E.G., THE SITE HAS INFILTRATION PROHIBITIONS, SEE ITEM 16.14 THROUGH ITEM 16.21) THE PERMITTEE MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

5.16 THE SWPPP MUST INCLUDE ANY STORMWATER MITIGATION MEASURES PROPOSED TO BE PART OF THE FINAL PROJECT IN ANY ENVIRONMENTAL REVIEW DOCUMENT, ENDANGERED SPECIES REVIEW, ARCHEOLOGICAL OR OTHER REQUIRED LOCAL, STATE OR FEDERAL REVIEW CONDUCTED FOR THE PROJECT. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECTS CONSTRUCTION ACTIVITY. [MINN. R. 7090]

5.17 THE SWPPP MUST DESCRIBE THE METHODS USED FOR PERMANENT COVER OF ALL EXPOSED SOIL AREAS. [MINN. R. 7090]

5.18 PERMITTEES MUST IDENTIFY THE LOCATIONS OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE THE DURATION OF EXPOSED SOIL AREAS IN THE SWPPP. [MINN. R. 7090]

5.19 FOR PROJECTS WITH A DISCHARGE POINT ON THE PROJECT WITHIN ONE (1) MILE (AERIAL RADIUS MEASUREMENT) OF AND WHICH FLOWS TO AN IMPAIRED WATER, PERMITTEES MUST IDENTIFY THE IMPAIRED WATER(S), AND ANY UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA)-APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL) FOR THE POLLUTANT(S) OR STRESSOR(S) DESCRIBED IN ITEM 23.7. PERMITTEES' IDENTIFICATION MUST INCLUDE THOSE TMDLs APPROVED AT ANY TIME PRIOR TO PERMIT APPLICATION SUBMITTAL AND ARE STILL IN EFFECT. [MINN. R. 7090]

5.20 PERMITTEES MUST DOCUMENT IN THE SWPPP, ALL TRAINED INDIVIDUALS IDENTIFIED IN ITEM 21.2. DOCUMENTATION MUST INCLUDE:

- NAMES OF PERSONNEL REQUIRED TO BE TRAINED; AND
- DATES OF TRAINING AND NAME OF INSTRUCTOR(S) AND ENTITY PROVIDING TRAINING; AND
- CONTENT OF TRAINING COURSE.

IF PERMITTEES DO NOT KNOW THE NAMES OF THE INDIVIDUALS AT THE TIME OF APPLICATION, THE PERMITTEES MUST ENSURE THEY DOCUMENT TRAINING BEFORE CONSTRUCTION ACTIVITY COMMENCES. [MINN. R. 7090]

5.21 THE SWPPP MUST IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS, AND OPERATORS ON-SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP. [MINN. R. 7090]

5.22 THE SWPPP MUST DESCRIBE ANY SPECIFIC CHEMICALS AND CHEMICAL TREATMENT SYSTEMS USED FOR ENHANCING THE SEDIMENTATION PROCESS AND HOW IT ACHIEVES COMPLIANCE WITH ITEM 9.18. [MINN. R. 7090]

5.23 THE SWPPP MUST IDENTIFY THE PERSON(S), ORGANIZATIONS, OR ENTITIES RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

5.24 THE SWPPP MUST DESCRIBE METHODS TO MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES COMPACTION. [MINN. R. 7090]

5.25 THE SWPPP MUST INCLUDE ANY SITE ASSESSMENTS FOR GROUNDWATER OR SOIL CONTAMINATION REQUIRED IN ITEM 16.15. [MINN. R. 7090]

5.26 THE SWPPP MUST ACCOUNT FOR THE FOLLOWING FACTORS IN DESIGNING TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs:

- THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION OF PRECIPITATION; AND
- THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE, INCLUDING FACTORS SUCH AS EXPECTED FLOW FROM IMPERVIOUS SURFACES, SLOPES, AND SITE DRAINAGE FEATURES; AND
- THE STORMWATER VOLUME, VELOCITY, AND PEAK FLOWRATES TO MINIMIZE DISCHARGE OF POLLUTANTS IN STORMWATER AND TO MINIMIZE CHANNEL AND STREAM-BANK EROSION AND SOIL IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS; AND
- THE RANGE OF SOIL PARTICLES SIZES EXPECTED TO BE PRESENT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS [MINN. R. 7090]

6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP MEETS THE SITE'S CHARACTERISTICS. [MINN. R. 7090]

6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]

6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDC. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]

8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]

8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090]

8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). [MINN. R. 7090]

8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY SLOPES OF GREATER THAN 2 PERCENT. [MINN. R. 7090]

8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. [MINN. R. 7090]

8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 7 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]

8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-CHECK DAMS) MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]

8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]

8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT EROSION DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADIENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER. [MINN. R. 7090]

9.3 IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3. [MINN. R. 7090]

9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS. [MINN. R. 7090]

9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER. [MINN. R. 7090]

9.6 PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETE, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]

9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]

9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. [MINN. R. 7090]

9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER. [MINN. R. 7090]

9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. [MINN. R. 7090]

9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]

9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING OUT TO THE STREET. [MINN. R. 7090]

9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]

9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]

9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]

9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]

9.17 PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) BUFFER AREAS. WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER, PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL, CITIES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT DEPOSITED IN SURFACE WATERS. IF PRESERVING A BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]

9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOING SO WITHOUT SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES. [MINN. R. 7050.0210]

10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE. [MINN. R. 7090]

10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR NUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND. [MINN. R. 7090]

10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]

11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs. [MINN. R. 7090]

11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs OR PORTIONS OF THE NEXT BUSINESS DAY AFTER THE INSPECTION. IF A BMP FAILS OR DOES NOT MEET ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6, PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]

11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DEBRIS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND REESTABLISH THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY AND WHENEVER ACCESS TO THE AREAS IS AVAILABLE. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]

11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]

11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED EXCEEDS THE BASIN CAPACITY 1/2 THE STORAGE VOLUME. [MINN. R. 7090]

11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. [MINN. R. 7090]

11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:

- INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
 - WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
 - WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]
- 11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
- DATE AND TIME OF INSPECTIONS; AND
 - NAME OF PERSONS CONDUCTING INSPECTIONS; AND
 - ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
 - CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
 - DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMERS; AND
 - IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E. COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
 - ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES. [MINN. R. 7090]

12.2 PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]

12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]

12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, (INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]

12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7035]

12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041]

12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS. PERMITTEES MUST IMMEDIATELY CLEAN UP SPILLS AND WASHES. PERMITTEES MUST WEAR PROTECTIVE CLOTHING AND GLOVES. DRIPS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061. USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]

12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]

12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS. PERMITTEES MUST DECONTAMINATE THE WASHOUT AREA AND DISPOSE WASTE IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

18.1 WET SEDIMENTATION BASIN. [MINN. R. 7090]

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. [MINN. R. 7090]

18.3 PERMITTEES MUST DESIGN THE BASIN TO HAVE A PERMANENT VOLUME OF 1,800 CUBIC FEET OF STORAGE BELOW THE OUTLET PIPE FOR EACH ACRE THAT DRAINS TO THE BASIN. THE BASIN'S PERMANENT VOLUME MUST REACH A MINIMUM DEPTH OF AT LEAST THREE (3) FEET AND MUST HAVE NO DEPTH GREATER THAN 10 FEET. PERMITTEES MUST CONFIGURE THE BASIN TO MINIMIZE SCOUR OR RESUSPENSION OF SOLIDS. [MINN. R. 7090]

18.4 PERMITTEES MUST DESIGN THE BASIN TO PROVIDE LIVE STORAGE FOR A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

18.5 PERMITTEES MUST DESIGN BASIN OUTLETS SO THE WATER QUALITY VOLUME DISCHARGES AT NO MORE THAN 5.66 CUBIC FEET PER SECOND (CFS) PER ACRE OF SURFACE AREA OF THE BASIN. [MINN. R. 7090]

18.6 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. BASIN OUTLETS MUST HAVE ENERGY DISSIPATION. [MINN. R. 7090]

18.7 PERMITTEES MUST DESIGN THE BASIN TO INCLUDE A STABILIZED EMERGENCY OVERFLOW TO ACCOMMODATE STORM EVENTS IN EXCESS OF THE BASIN'S HYDRAULIC DESIGN. [MINN. R. 7090]

18.8 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE BASIN. [MINN. R. 7090]

18.9 PERMITTEES MUST LOCATE BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. PERMITTEES MUST DESIGN BASINS TO AVOID DRAINING WATER FROM WETLANDS UNLESS THE IMPACT TO THE WETLAND COMPLIES WITH THE REQUIREMENTS OF SECTION 22. [MINN. R. 7090]

18.10 PERMITTEES MUST DESIGN BASINS USING AN IMPERMEABLE LINER IF LOCATED WITHIN ACTIVE KARST TERRAIN. [MINN. R. 7090]

19.1 REGIONAL WET SEDIMENTATION BASINS. [MINN. R. 7090]

19.2 WHEN THE ENTIRE WATER QUALITY VOLUME CANNOT BE RETAINED ONSITE, PERMITTEES CAN USE OR CREATE REGIONAL WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED BASINS, NOT A NATURAL WETLAND OR WATER BODY, (WETLANDS USED AS REGIONAL BASINS MUST BE MITIGATED FOR, SEE SECTION 22). THE OWNER MUST ENSURE THE REGIONAL BASIN CONFORMS TO ALL REQUIREMENTS FOR A WET SEDIMENTATION BASIN AS DESCRIBED IN ITEMS 18.3 THROUGH 18.10 AND MUST BE LARGE ENOUGH TO ACCOUNT FOR THE ENTIRE AREA THAT DRAINS TO THE REGIONAL BASIN. PERMITTEES MUST VERIFY THAT THE REGIONAL BASIN WILL DISCHARGE AT NO MORE THAN 5.66 CFS PER ACRE OF SURFACE AREA OF THE BASIN AND MUST PROVIDE A LIVE STORAGE VOLUME OF ONE INCH TIMES ALL THE IMPERVIOUS AREA DRAINING TO THE BASIN. PERMITTEES CANNOT SIGNIFICANTLY DEGRADE WATERWAYS BETWEEN THE PROJECT AND THE REGIONAL BASIN. THE OWNER MUST OBTAIN WRITTEN AUTHORIZATION FROM THE APPLICABLE LGU OR PRIVATE ENTITY THAT OWNS AND MAINTAINS THE REGIONAL BASIN. [MINN. R. 7090]

20.1 SWPPP AVAILABILITY. [MINN. R. 7090]

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. [MINN. R. 7090]

21.1 TRAINING REQUIREMENTS. [MINN. R. 7090]

21.2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT OF THE TRAINING IS COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT:

- INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT.
- INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]
- PERMITTEES MUST ENSURE INDIVIDUALS IDENTIFIED IN SECTION 21 RECEIVE TRAINING FROM LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER TREATMENT AND THE MINNESOTA NPDES/SDS CONSTRUCTION STORMWATER PERMIT. PERMITTEES MUST ENSURE THESE INDIVIDUALS ATTEND A REFRESHER-TRAINING COURSE EVERY THREE (3) YEARS. [MINN. R. 7090]

23.1 ADDITIONAL REQUIREMENTS FOR DISCHARGES TO SPECIAL (PROHIBITED, RESTRICTED, OTHER) AND IMPAIRED WATERS. [MINN. R. 7090]

23.2 DISCHARGES TO THE TROUT STREAMS (OTHER SPECIAL WATER) LISTED IN MINN. R. 6264.0050, SUBP. 4 MUST INCORPORATE THE BMPS OUTLINED IN ITEMS 23.8, 23.10, 23.11, AND 23.12. [MINN. R. 6264.0050, SUBP. 4]

23.9 PERMITTEES MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 AND COMPLETE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]

23.10 PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14 FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME. [MINN. R. 7090]

23.11 PERMITTEES MUST INCLUDE AN UNDISTURBED BUFFER ZONE OF NOT LESS THAN 100 LINEAR FEET FROM A SPECIAL WATER NOT INCLUDING TRIBUTARIES) AND MUST MAINTAIN THIS BUFFER ZONE AT ALL TIMES. BOTH DURING CONSTRUCTION AND AS A PERMANENT FEATURE POST CONSTRUCTION, EXCEPT WHERE A WATER CROSSING OR OTHER ENCROACHMENT IS NECESSARY TO COMPLETE THE PROJECT. PERMITTEES MUST FULLY DOCUMENT THE CIRCUMSTANCE AND REASONS THE BUFFER ENCROACHMENT IS NECESSARY TO COMPLETE THE PROJECT. PERMITTEES MUST MINIMIZE ALL POTENTIAL WATER QUALITY, SCENIC AND OTHER ENVIRONMENTAL IMPACTS OF THESE EXCEPTIONS BY THE USE OF ADDITIONAL OR REDUNDANT (DOUBLE) BMPS AND MUST DOCUMENT THIS IN THE SWPPP FOR THE PROJECT. [MINN. R. 7090]

23.12 PERMITTEES MUST DESIGN THE PERMANENT STORMWATER TREATMENT SYSTEM SO THE DISCHARGE FROM THE PROJECT MINIMIZES ANY INCREASE IN THE TEMPERATURE OF TROUT STREAMS RESULTING FROM THE ONE (1) AND TWO (2) YEAR 24-HOUR PRECIPITATION EVENTS. THIS INCLUDES ALL TRIBUTARIES OF DESIGNATED TROUT STREAMS LOCATED WITHIN THE SAME PUBLIC LAND SURVEY SYSTEM (PLSS) SECTION. PERMITTEES MUST INCORPORATE ONE OR MORE OF THE FOLLOWING MEASURES, IN ORDER OF PREFERENCE:

- PROVIDE STORMWATER INFILTRATION OR OTHER VOLUME REDUCTION PRACTICES AS DESCRIBED IN ITEM 15.4 AND 15.5, TO REDUCE RUNOFF. INFILTRATION SYSTEMS MUST DISCHARGE ALL STORMWATER ROUTED TO THE SYSTEM WITHIN 24 HOURS.
- PROVIDE STORMWATER FILTRATION AS DESCRIBED IN SECTION 17. FILTRATION SYSTEMS MUST DISCHARGE ALL STORMWATER ROUTED TO THE SYSTEM WITHIN 24 HOURS.
- MINIMIZE THE DISCHARGE FROM CONNECTED IMPERVIOUS SURFACED BY DISCHARGING TO VEGETATED AREAS, OR GRASS SWALES, AND THROUGH THE USE OF NON-STRUCTURAL CONTROLS.
- IF PONDING IS USED, THE DESIGN MUST INCLUDE AN APPROPRIATE COMBINATION OF MEASURES SUCH AS SHADING, VEGETATED SWALE DISCHARGES, OR CONSTRUCTED WETLAND TREATMENT CELLS THAT LIMIT TEMPERATURE INCREASES. THE POND MUST BE DESIGNED AS A DRY POND AND SHOULD DRAIN DOWN IN 24 HOURS OR LESS.
- OTHER METHODS THAT MINIMIZE ANY INCREASE IN THE TEMPERATURE OF THE TROUT STREAM. [MINN. R. 7090]

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL REMAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT. [MINN. R. 7001.0210, SUBP. 6]

24.3 IF THE PERMITTEE CANNOT MEET THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, AN OWNER MAY REQUEST AN INDIVIDUAL PERMIT, IN ACCORDANCE WITH MINN. R. 7001.0210 SUBP. 6. [MINN. R. 7001.0210, SUBP. 6]

24.4 ANY INTERESTED PERSON MAY PETITION THE MPCA TO REQUIRE AN INDIVIDUAL NPDES/SDS PERMIT IN ACCORDANCE WITH 40 CFR 122.28(b)(3). [40 CFR 122.29(b)(3)]

24.5 PERMITTEES MUST MAKE THE SWPPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING RECORDS AND OTHER INFORMATION REQUIRED BY THIS PERMIT, AVAILABLE TO FEDERAL, STATE, AND LOCAL OFFICIALS WITHIN THREE (3) DAYS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE (3) YEARS FOLLOWING THE NOT. [MINN. R. 7090]

24.6 PERMITTEES MAY NOT ASSIGN OR TRANSFER THIS PERMIT EXCEPT WHEN THE TRANSFER OCCURS IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8. [MINN. R. 7090]

24.7 NOTHING IN THIS PERMIT MUST BE CONSTRUED TO RELIEVE THE PERMITTEES FROM CIVIL OR CRIMINAL PENALTIES FOR NONCOMPLIANCE WITH THE TERMS AND CONDITIONS PROVIDED HEREIN. NOTHING IN THIS PERMIT MUST BE CONSTRUED TO PRECLUDE THE INITIATION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEES FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEES IS/ARE OR MAY BE SUBJECT TO UNDER SECTION 311 OF THE CLEAN WATER ACT AND MINN. STAT. SECT. 115 AND 116, AS AMENDED. PERMITTEES ARE NOT LIABLE FOR PERMIT REQUIREMENTS FOR ACTIVITIES OCCURRING ON THOSE PORTIONS OF A SITE WHERE THE TRANSFERS HAVE BEEN TRANSFERRED TO ANOTHER PARTY AS REQUIRED IN ITEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4. [MINN. R. 7090]

24.8 THE PROVISIONS OF THIS PERMIT ARE SEVERABLE. IF ANY PROVISION OF THIS PERMIT OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCES IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT MUST NOT BE AFFECTED THEREBY. [MINN. R. 7090]

24.9 THE PERMITTEES MUST COMPLY WITH THE PROVISIONS OF MINN. R. 7001.0150, SUBP. 3 AND MINN. R. 7001.1090, SUBP. 1(A), 1(B), 1(C), 1(F), 1(G), 1(I), 1(K), AND 1(L). [MINN. R. 7090]

24.10 THE PERMITTEES MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(I) AND MINN. STAT. SECT. 115.04. THE PERMITTEES MUST ALLOW REPRESENTATIVES OF THE MPCA OR ANY MEMBER, EMPLOYEE OR AGENT THEREOF, WHEN AUTHORIZED BY IT, UPON PRESENTATION OF CREDENTIALS, TO ENTER UPON ANY PROPERTY, PUBLIC OR PRIVATE, FOR THE PURPOSE OF OBTAINING INFORMATION OR EXAMINATION OF RECORDS OR CONDUCTING SURVEYS OR INVESTIGATIONS. [40 CFR 122.41(I)]

24.11 FOR THE PURPOSES OF MINN. R. 7090 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS PERMIT, "STORMWATER DISCHARGE DESIGN REQUIREMENTS" CORRESPONDS TO SECTIONS 5, 6 AND 14 THROUGH 21; "CONSTRUCTION ACTIVITY REQUIREMENTS" CORRESPONDS TO SECTIONS 7 THROUGH 13; AND "APPENDIX A" CORRESPONDS TO SECTIONS 22 AND 23. [MINN. R. 7090]

PROJECT NAME

SHADOW CREEK ESTATES

PROJECT LOCATION

6150 202ND ST N, FOREST LAKE, MN 55025

LATITUDE: 45.245
LONGITUDE: -92.981

DEVELOPER

ELMCREST VISTAS, LLC

6150 202ND ST N
FOREST LAKE, MN 55025

CONTACT NAME: TODD CHRISTENSON
CONTACT PHONE: 763-268-9442
CONTACT E-MAIL: TODD2414C@AOL.COM

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS

THE PROJECT INCLUDES A PUBLIC ROADWAY, PUBLIC SANITARY SEWER AND WATERMAIN, PUBLIC STORM SEWER, TOWNHOUSES, AND STORM WATER MANAGEMENT BMPS. PERMANENT STORMWATER MANAGEMENT SYSTEMS ARE PER MPCA, CITY OF FOREST LAKE, AND RICE CREEK WATERSHED DISTRICT STANDARDS.

SITE IMPERVIOUS AREAS

	BEFORE CONSTRUCTION	AFTER CONSTRUCTION
TOTAL AREA	22.14 ACRES	
TOTAL ESTIMATED IMPERVIOUS	1.60 ACRES	4.33 ACRES
TOTAL ESTIMATED PERVIOUS	20.51 ACRES	17.81 ACRES

TOTAL DISTURBED AREA

APPROX. 6.9 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DEMONSTRATING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

NAME OF WATER BODY	TYPE OF WATER BODY	SPECIAL WATER	IMPAIRED WATER
CLEAR LAKE	LAKE	NO	YES
ON-SITE WETLANDS	WETLAND	NO	NO
ON-SITE STORMWATER BASINS	BASIN	NO	NO

BUFFER TO SURFACE WATER

☐ YES ☒ NO ☐ N/A IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO WATER NOT INCLUDING TRIBUTARIES) AND MUST MAINTAIN THIS BUFFER ZONE AT ALL TIMES. BOTH DURING CONSTRUCTION AND AS A PERMANENT FEATURE POST CONSTRUCTION, EXCEPT WHERE A WATER CROSSING OR OTHER ENCRACHMENT IS NECESSARY TO COMPLETE THE PROJECT. PERMITTEES MUST FULLY DOCUMENT THE CIRCUMSTANCE AND REASONS THE BUFFER ENCRACHMENT IS NECESSARY TO COMPLETE THE PROJECT. PERMITTEES MUST MINIMIZE ALL POTENTIAL WATER QUALITY, SCENIC AND OTHER ENVIRONMENTAL IMPACTS OF THESE EXCEPTIONS BY THE USE OF ADDITIONAL OR REDUNDANT (DOUBLE) BMPS AND MUST DOCUMENT THIS IN THE SWPPP FOR THE PROJECT. [MINN. R. 7090]

NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

SINCE 50-FT OF UNDISTURBED BUFFER CANNOT BE PROVIDED FOR WETLANDS, REDUNDANT SEDIMENT CONTROL MEASURES (SECOND ROW OF SILT FENCE, BIOROLLS, OR EQUAL) ARE PROVIDED.

TEMPORARY SEDIMENTATION BASINS

☐ YES ☒ NO ☐ N/A IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

THE CONTRACTOR WILL PROVIDE TEMPORARY SEDIMENT CONTROL BASINS IF FIVE (5) OR MORE ACRES DRAIN TO A COMMON LOCATION.

INFILTRATION FEASIBILITY

☒ YES ☐ NO ☐ N/A ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?

THE IS DOMINATED BY CLAY SOILS (HSG D) - THIS MAKES INFILTRATION INFEASIBLE.

ADDITIONAL STORMWATER MITIGATION MEASURES

☐ YES ☒ NO ARE THERE ANY STORMWATER MITIGATION MEASURES PER:

- ENVIRONMENTAL REVIEW DOCUMENT?
- ENDANGERED SPECIES REVIEW?
- ARCHAEOLOGICAL REVIEW?
- OTHER LOCAL, STATE OR FEDERAL REVIEW?

IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

LONG TERM O & M OF PERMANENT STORMWATER FACILITIES

THE PERMANENT STORMWATER MANAGEMENT FACILITIES (FOR PHASE ONE) WILL BE OWNED AND MAINTAINED BY THE CITY OF FOREST LAKE.

REVEGETATION SPECIFICATIONS

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRINGS/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 0)

* MOW A MINIMUM OF:
RESIDENTIAL TURF - ONCE PER 2 WEEKS
COMMERCIAL TURF - ONCE PER 4 WEEKS

** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - EST. QUANTITIES FOR ESC MEASURES

TYPE	QTY	UNIT
SILT FENCE	5,584	LINEAR FEET
RIPRAP W. GEO-FABRIC	20	CUBIC YARDS
POND RIPRAP OVERFLOW	1	EACH
SEED & MULCH (GENERAL)	2.5	ACRE
ROCK CONSTRUCTION ENTRANCE	1	EACH
INLET PROTECTION	6	EACH

NARRATIVE - TIMING FOR INSTALLATION OF ESC MEASURES

- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
- CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN.
- 2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- 2.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
- 2.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
- CONTRACTOR SHALL INSTALL THE ROCK CONSTRUCTION ENTRANCE WHEREVER CONSTRUCTION TRAFFIC ENTERS ONTO EXISTING PAVED SURFACES.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION FENCES AS APPLICABLE.
- CONTRACTOR SHALL PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
- 5.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
- CONTRACTOR TO PROTECT PERMANENT STORMWATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF.
- 6.1. INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED.
- CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES INPLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.
- CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING.
- CONTRACTOR TO STABILIZE SOIL STOCKPILES: STABILIZATION SHALL BE INITIATED IMMEDIATELY.
- CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/LOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.
- COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, GAS, ETC.) AFTER CURB & GUTTER INSTALLATION.

LIST OF IMPAIRED WATERS:**CLEAR LAKE:**

THIS LAKE HAS AN EPA-APPROVED IMPAIRMENT FOR: MERCURY IN FISH TISSUE; PERFLUOROOCANE SULFONATE (PFOS) IN FISH TISSUE.

THESE IMPAIRMENTS ARE CONSIDERED NON-CONSTRUCTION RELATED AND DO NOT REQUIRE ANY ADDITIONAL BEST MANAGEMENT PRACTICES (BMPS) OR PLAN REVIEW FOR COMPLIANCE WITH THE NPDES/SDS CONSTRUCTION PERMIT.

DOCUMENTATION OF TRAINED INDIVIDUALS**A. INDIVIDUAL WHO PREPARED THE SWPPP:**

ADAM GINKEL
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
LINO LAKES MN 55014
(651) 361-8234
ADAM@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]

NAME _____
COMPANY _____
ADDRESS 1 _____
ADDRESS 2 _____
PHONE _____
EMAIL _____

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

NAME _____
COMPANY _____
ADDRESS 1 _____
ADDRESS 2 _____
PHONE _____
EMAIL _____

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7090]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE. PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7090]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7090]

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS, WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR. THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R. 7090]

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7090]

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY:

- PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR
- APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR
- SEEDING OR PLANTING THE EXPOSED AREA; OR
- STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR
- FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE

DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]

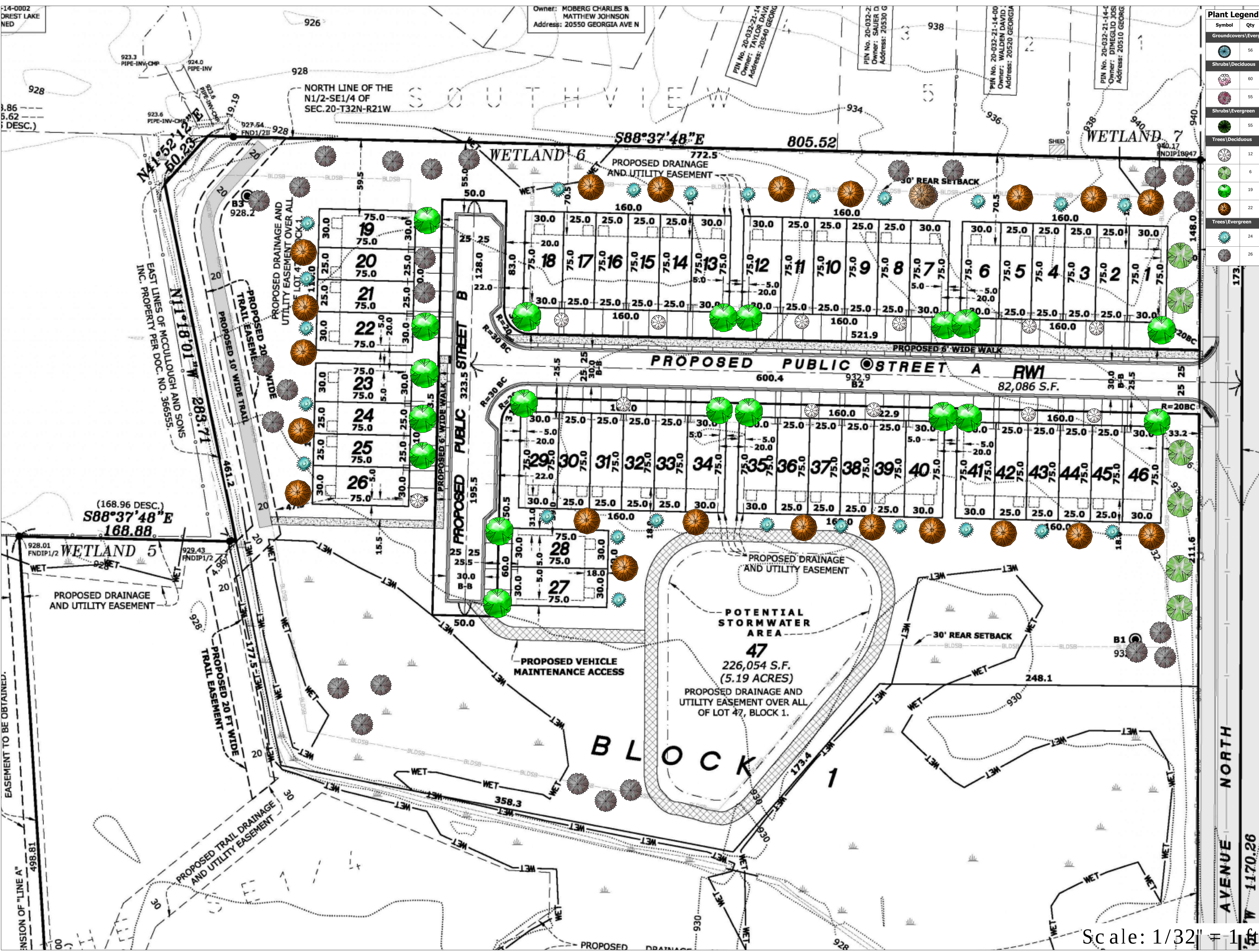
"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]

"NATURAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]

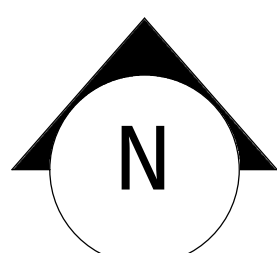
"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7090]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACT

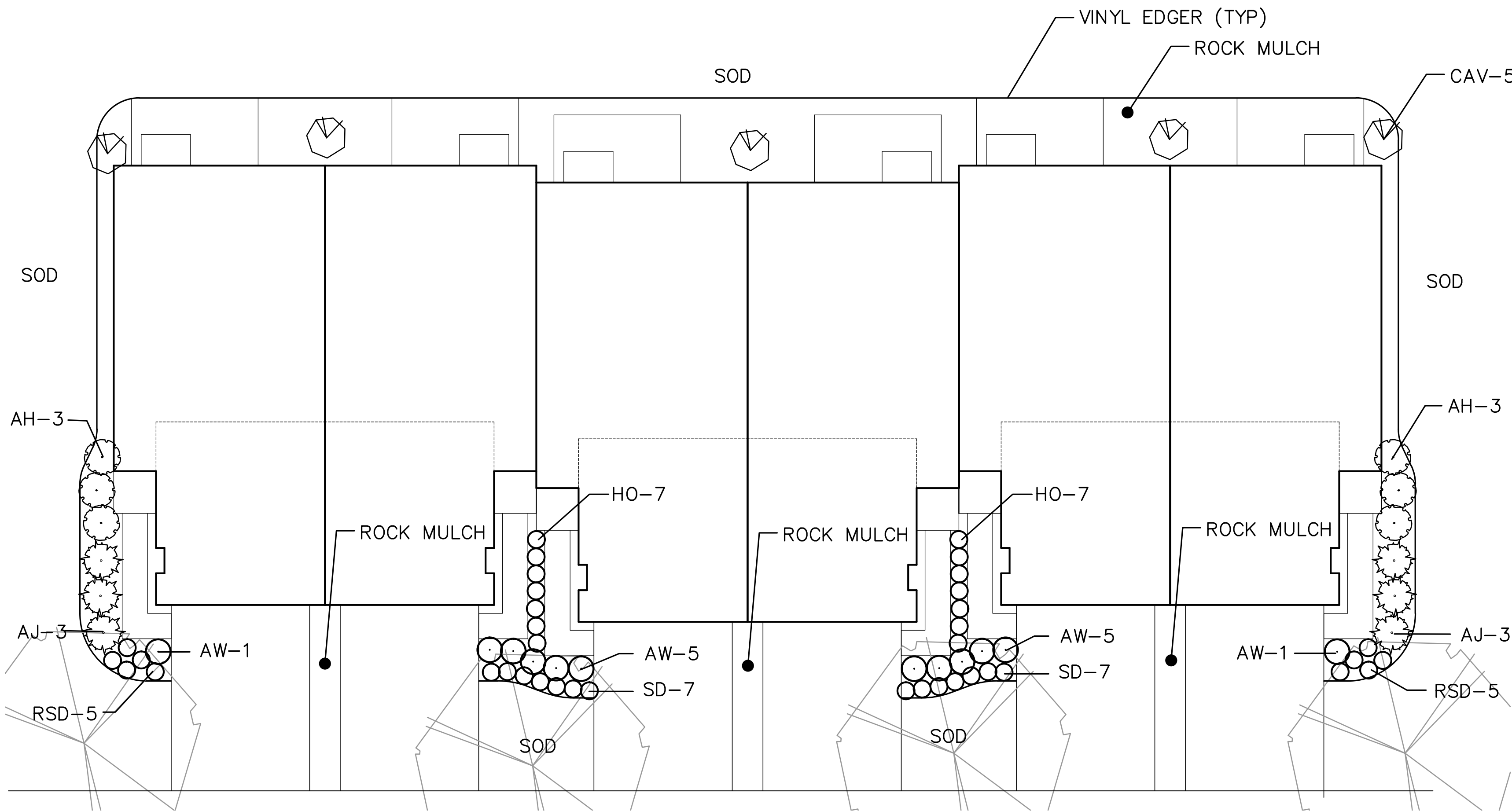


Plant Legend				
Symbol	Qty	Common Name	Botanical Name	Container
Groundcovers/Evergreen				
	56	Grey Owl Juniper	Juniperus Pfitzeriana	3 gal
Shrubs/Deciduous				
	60	Neon Flash Spirea	Spiraea 'Neon Flash'	3 gal
	55	Weigela f. Spilled Wine	Weigela florida	3 gal
Shrubs/Evergreen				
	55	Mr Bowling Ball Arborvitae	Thuja occidentalis 'Bobozan'	3 gal
Trees/Deciduous				
	12	Japanese Tree Lilac	Syringa reticulata	2 1/2' Cal
	6	Littleleaf Linden	Tilia cordata	1 1/2' Cal
	19	River Birch	Betula nigra	6' B&B
	22	Unity Sugar Maple, Mature Autumn	Acer saccharum 'Unity'	2 1/2' Cal
Trees/Evergreen				
	24	Black Hills Spruce	Picea glauca	8' B&B
	26	Norway Pine	Pinus resinosa	8' B&B



Project Info	
Project Name:	Shadow Creek Estates
Client Name:	Todd Chistenson
Client Email:	todd2412c@aol.com
Client Phone:	763-268-9442
Address:	Washington County
City:	MN
State/Province:	USA
Designer Name:	
Company Name:	Grunder Landscaping Co.

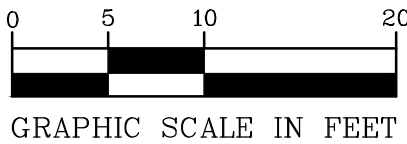
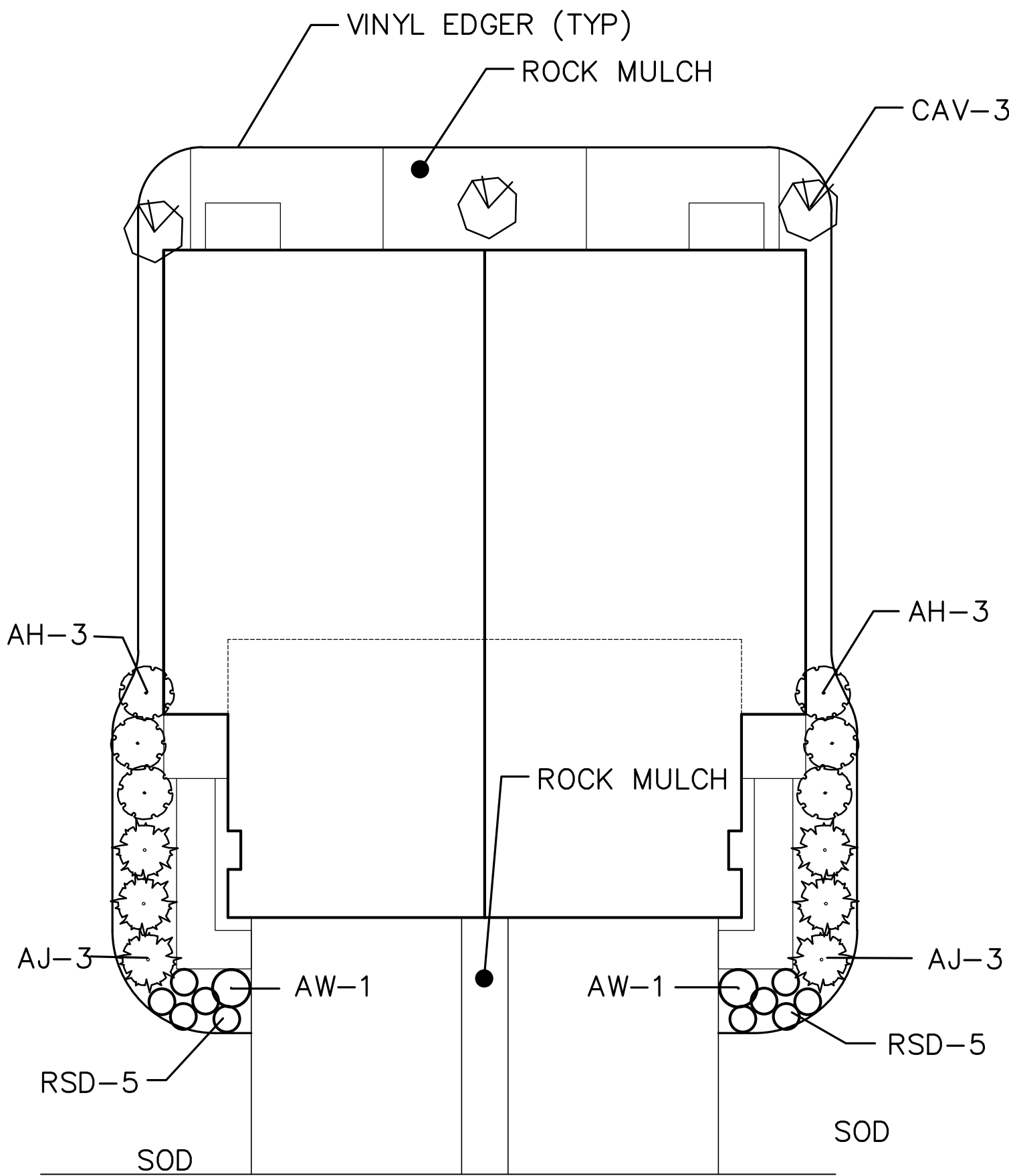
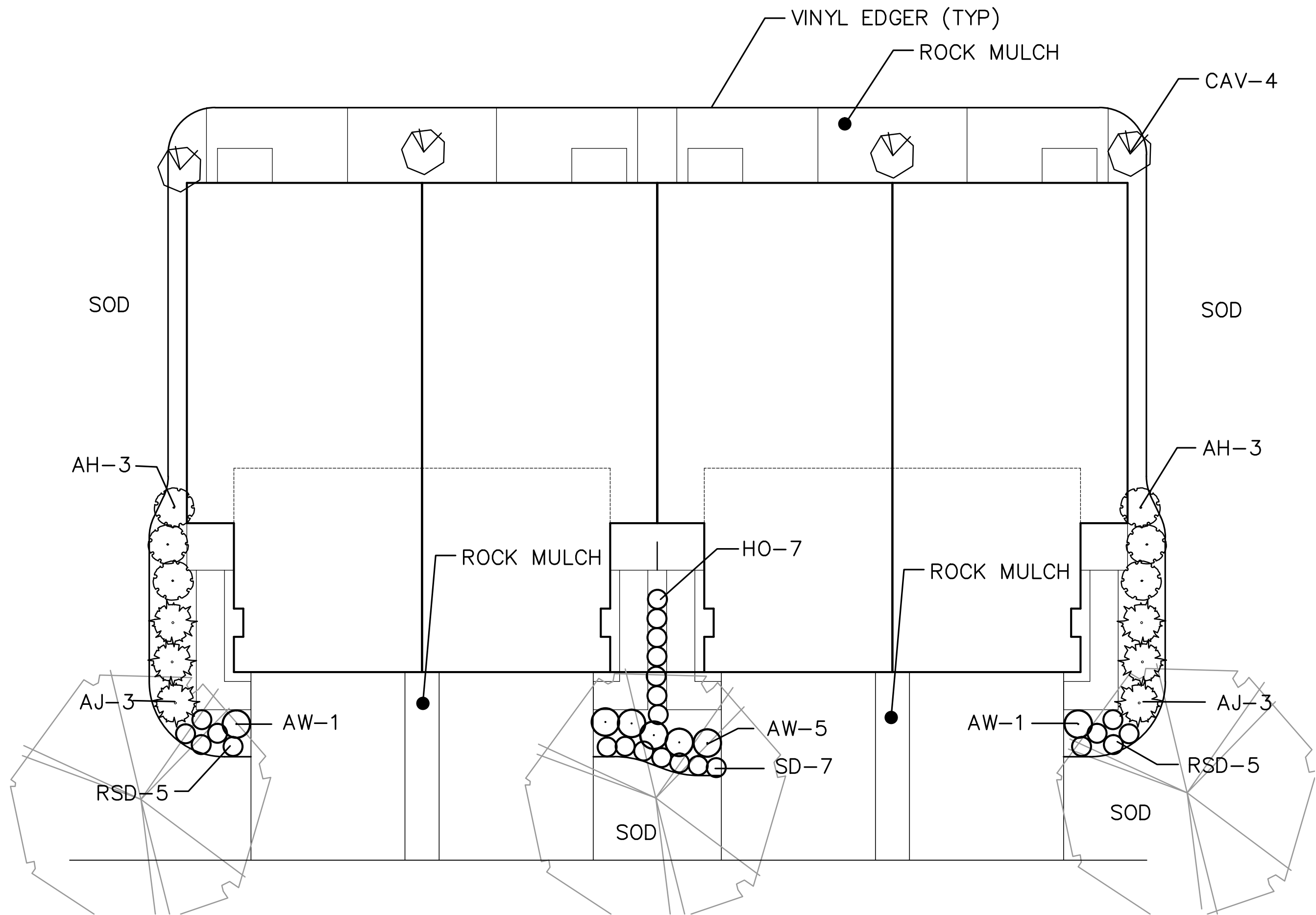
Scale: 1/32" = 1'



PLANT SCHEDULE			QUANTITY (PER BUILDING)			NOTES
KEY	COMMON NAME/Scientific name	ROOT	2-UNIT	4-UNIT	6-UNIT	
SHRUBS						
AH	ANNABELLE HYDRANGEA/Hydrangea arborescens 'Annabelle'	#5 pot	6	6	6	
AW	ANTHONY WATERER SPIREA/Spiraea x bumalda 'Anthony Waterer'	#5 pot	2	7	12	
AJ	ANDORRA JUNIPER/Juniperus horizontalis 'Youngstown Andorra'	#5 pot	6	6	6	
CAV	COMPACT AMERICAN VIBURNUM/Viburnum trilobum 'compacta'	#5 pot	3	4	5	
PERENNIALS						
SD	STELLA D'ORO DAYLILY/Hemerocallis 'Stella D'Oro'	#1 POT		7	14	
RSD	RUBY STELLA DAYLILY/Hemerocallis 'Ruby Stella'	#1 POT	10	10	10	
HO	HOSTA/HOSTA SPECIES (ONE VARIETY PER BED)	#1 POT		7	14	

NOTES:
QUANTITIES IN SCHEDULE ABOVE ARE PER BUILDING
PLANTING BEDS AROUND BUILDINGS TO BE MULCHED WITH GRAY TRAP ROCK TO A DEPTH OF 3" OVER 6MM BLACK POLY SHEETING.
BEDS TO BE EDGED WITH LANDSCAPE GRADE BLACK VINYL EDGING.
SODDED AREAS TO BE IRRIGATED.
IRRIGATION BY OTHERS.

SEE SHEET L1 FOR TREE LOCATIONS AND SCHEDULE



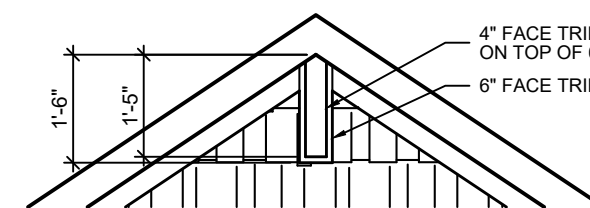
EXTERIOR ELEVATION NOTES

STRUCTURAL SHEATHING USED AT EXTERIOR WALLS TO PROVIDE LATERAL BRACING
BAND BOARD TRIM WILL STEP UP / DOWN WITH BUILDING IT IS ATTACHED TO WHEN UNITS STEP

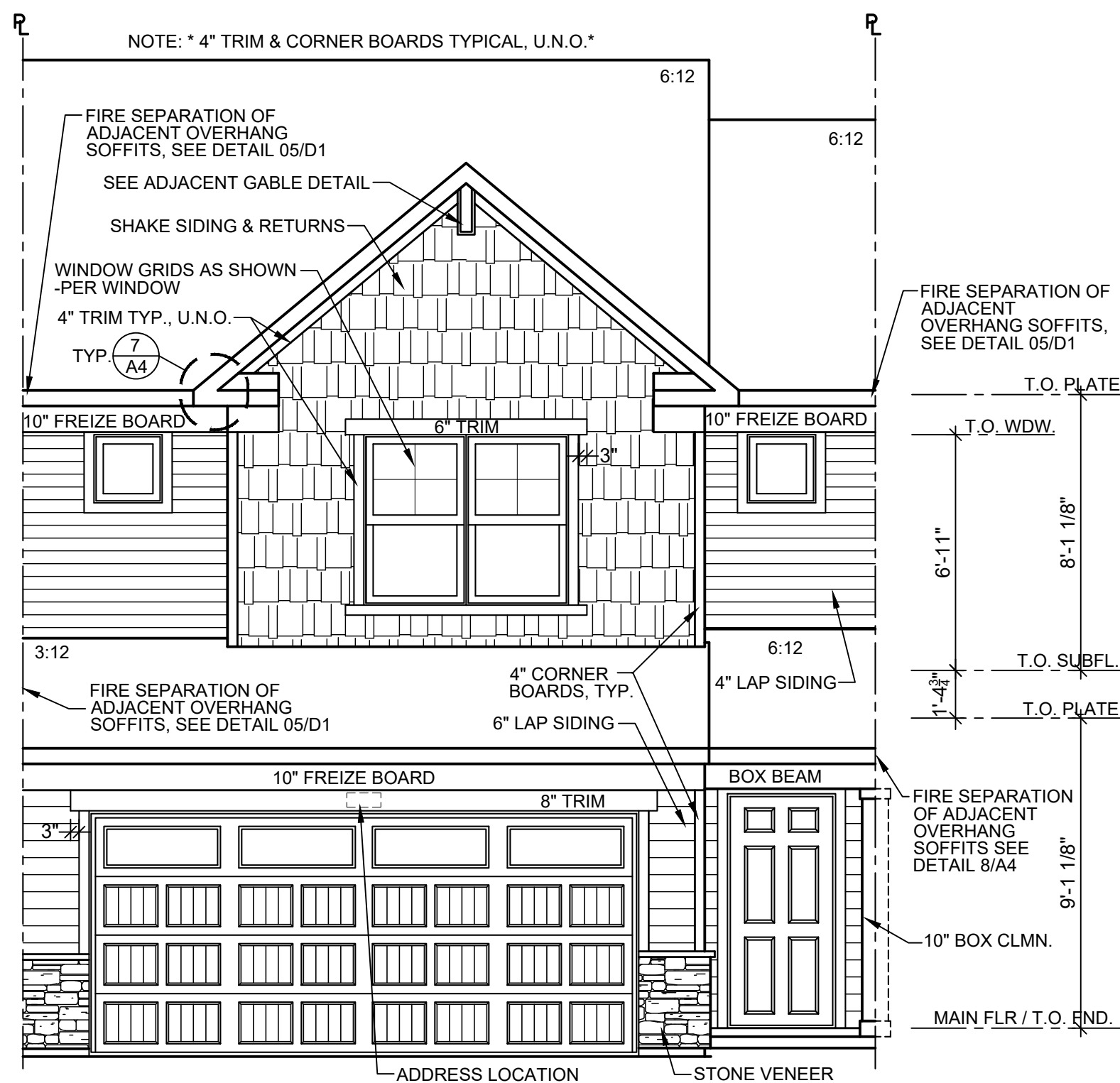
ROOF VENT INSTALLATION NOTES

ALL ROOF VENTS TO BE INSTALLED OVER 8" WIDE x 9" HIGH OPENINGS INTO THE ROOF SHEATHING.
STANDARD LOCATION OF ROOF VENTS ON GABLE ROOFS TO BE 12" DOWN FROM THE ROOF RIDGE TO THE TOP OF THE 8"x9" OPENING.
HIP ROOFS MAY REQUIRE THE OPENINGS TO BE CUT FURTHER DOWN FROM ROOF RIDGE TO ALIGN W/ REQUIRED SIDE ROOF VENTS.
ROOF SHEATHING TO BE REMOVED FROM UNDERNEATH OVER-FRAMED OR PERPENDICULAR ROOF SYSTEMS FOR PROPER AIR MOVEMENT.
NO ROOF VENT OPENINGS WITHIN 36" OF ANY VALLEY'S.

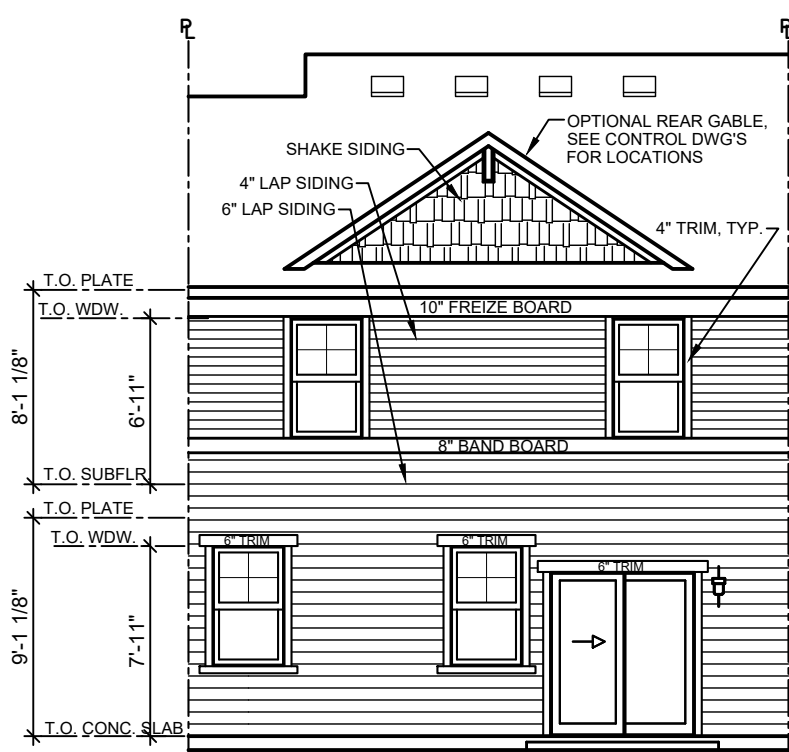
EXTERIOR TRIM KEY	
1	4" GARAGE INNER JAMBS, WINDOW SILLS, GABLE RAKE, FASCIA
2	6" GARAGE INNER JAMBS, WINDOW SILLS, GABLE RAKE, FASCIA
3	8" GARAGE INNER JAMBS, WINDOW SILLS, GABLE RAKE, FASCIA
4	10" FREIZE, RETURNS
KEYNOTE SYMBOL	
MATERIAL ON TRIM KEY	
LOCATION OF MATERIAL	



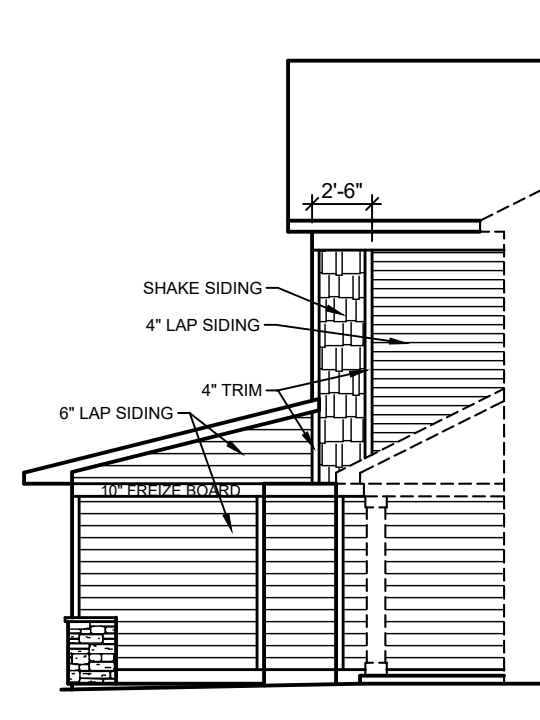
GABLE TRIM DETAIL



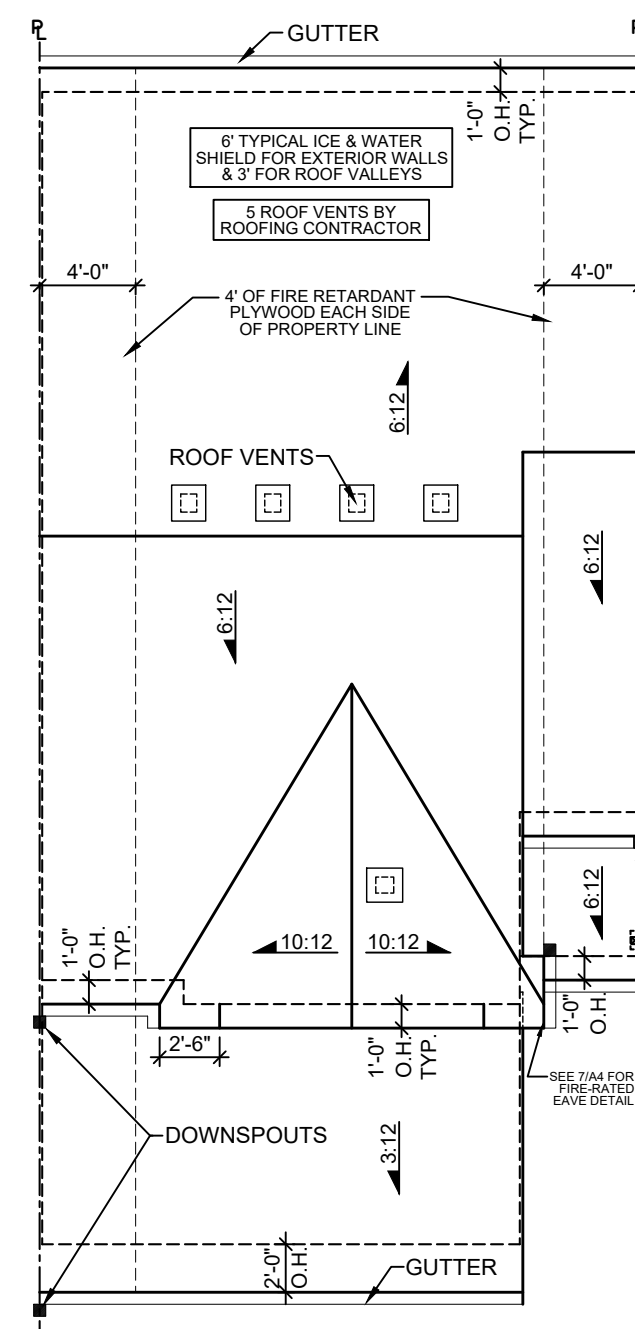
1 FRONT ELEVATION - INTERIOR UNIT A - GARAGE LEFT
SCALE: 1/4" = 1'-0"



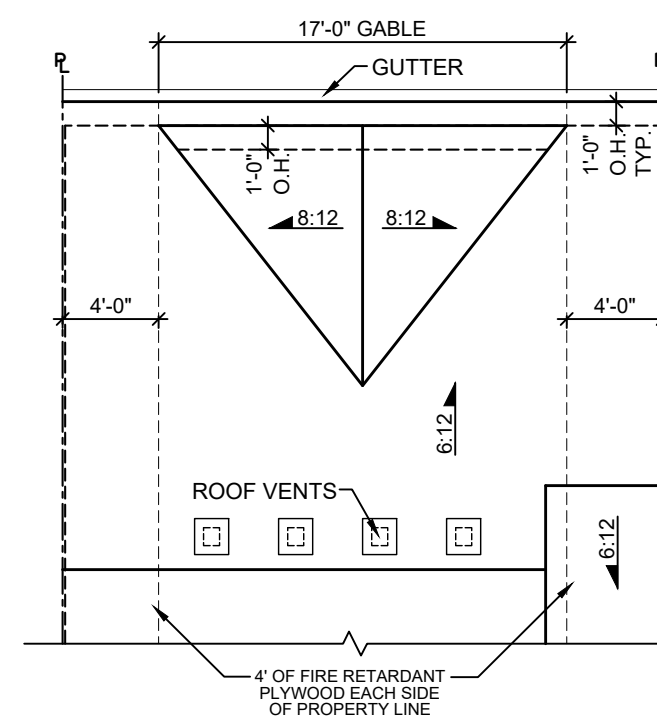
2 REAR ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



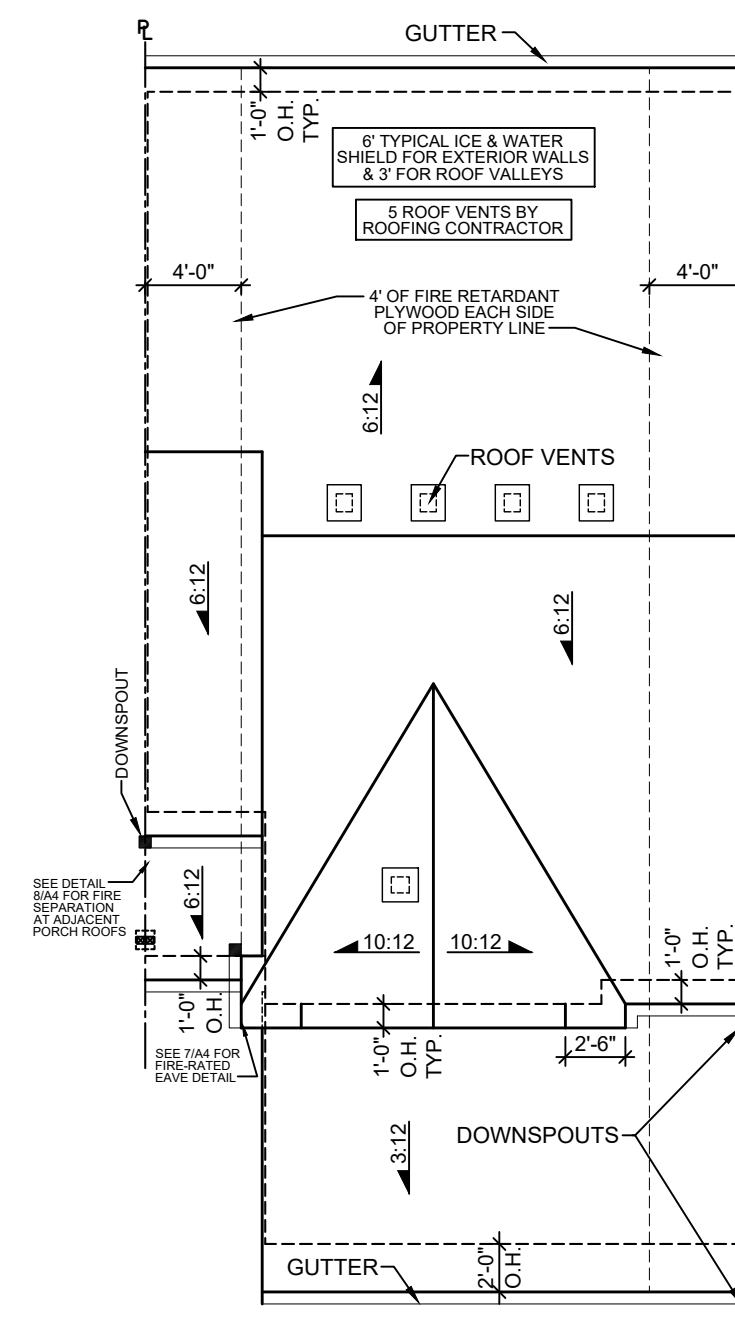
3 SIDE ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



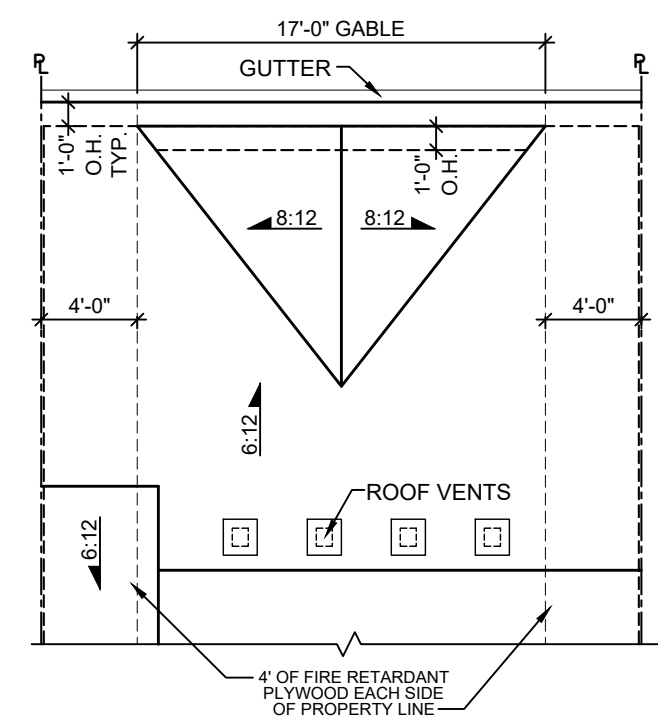
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SCALE: 1/8" = 1'-0"



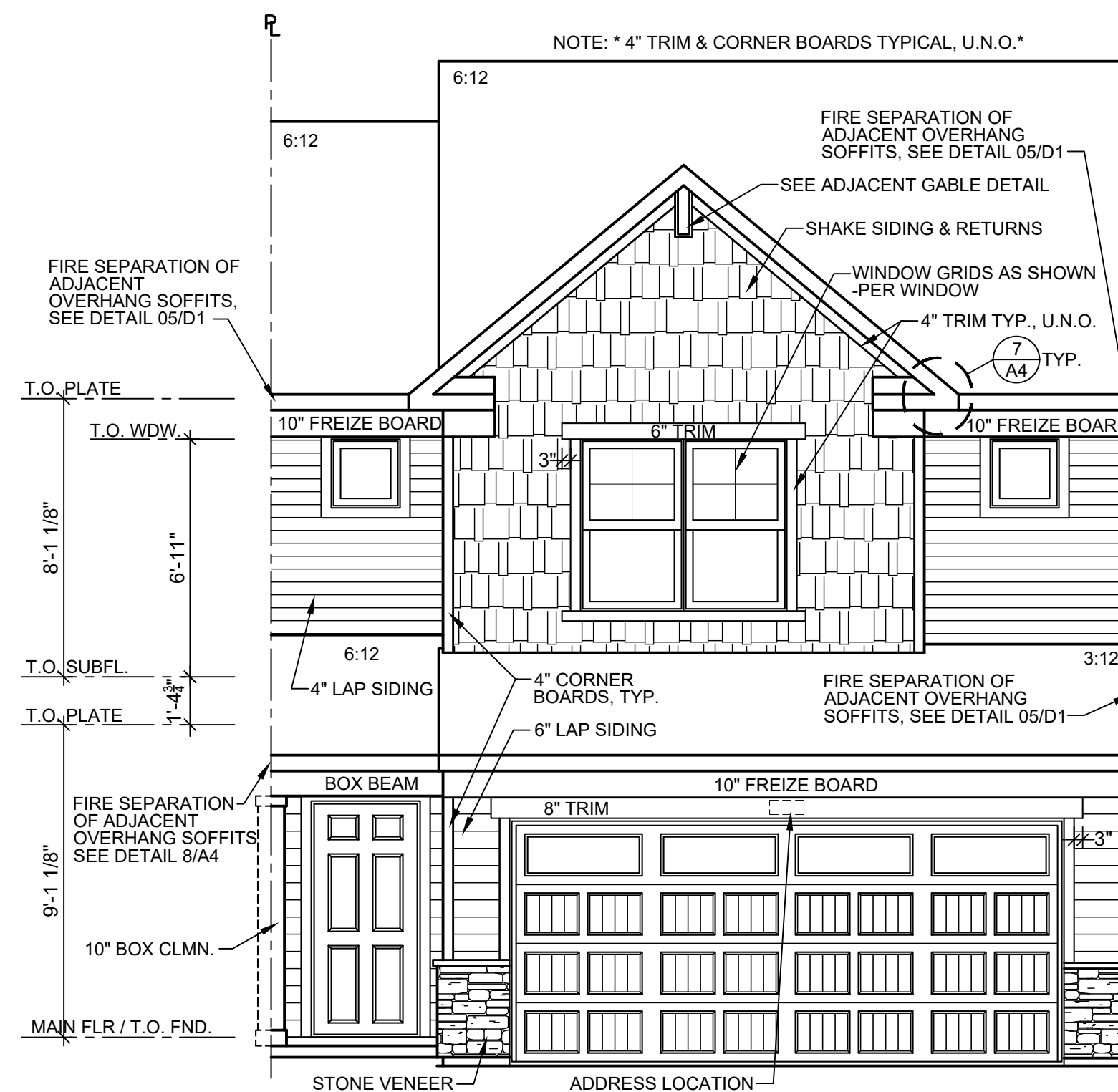
5 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



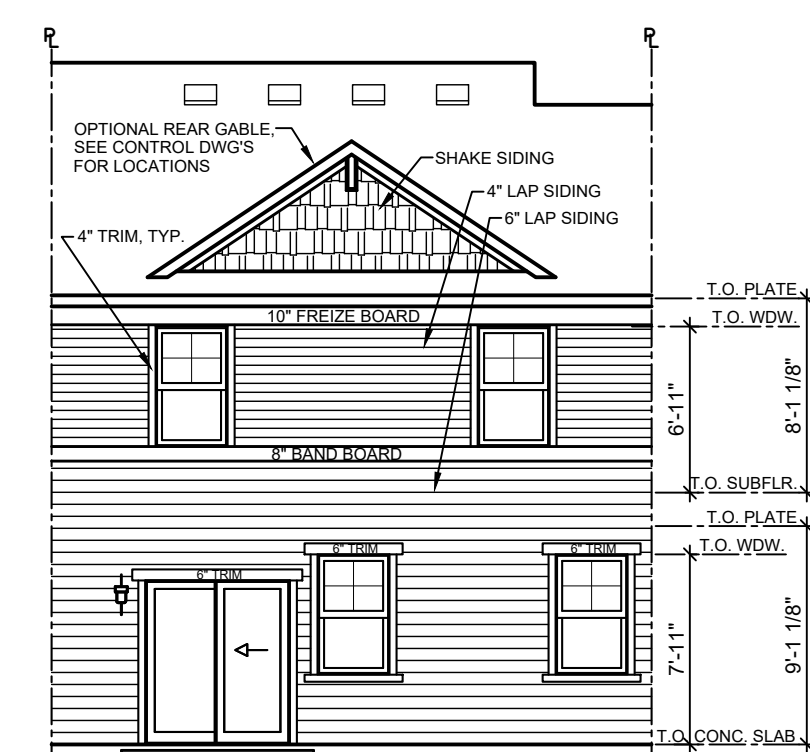
9 ROOF PLAN - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



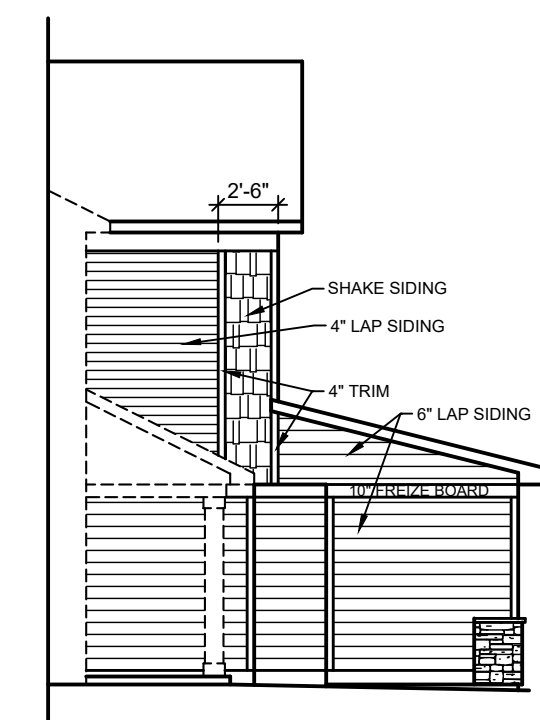
10 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - INTERIOR UNIT A - GARAGE RIGHT
SCALE: 1/4" = 1'-0"



7 REAR ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"

LENNAR

MODEL: **EC15 DAKOTA**
DESCRIPTION: **ELEVATIONS - INTERIOR UNIT A**
OPTIONAL INFO: **GARAGE LEFT & RIGHT**

PAGE NUMBER

A1.A

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CHANGE TO: #U347/ADD D&E ELEV.

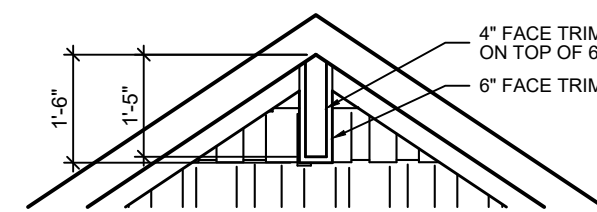
EXTERIOR ELEVATION NOTES

STRUCTURAL SHEATHING USED AT EXTERIOR WALLS TO PROVIDE LATERAL BRACING
BAND BOARD TRIM WILL STEP UP / DOWN WITH BUILDING IT IS ATTACHED TO WHEN UNITS STEP

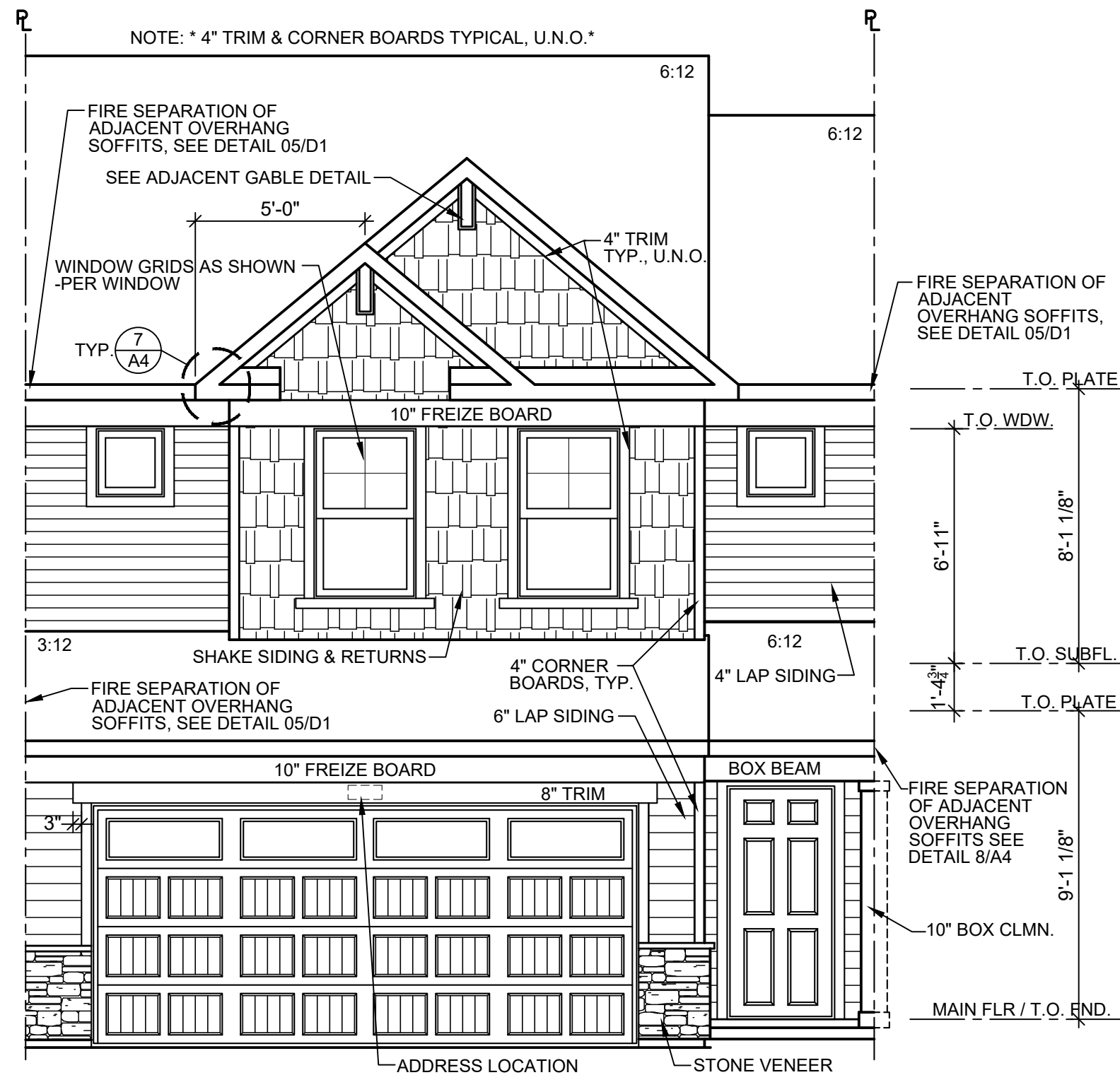
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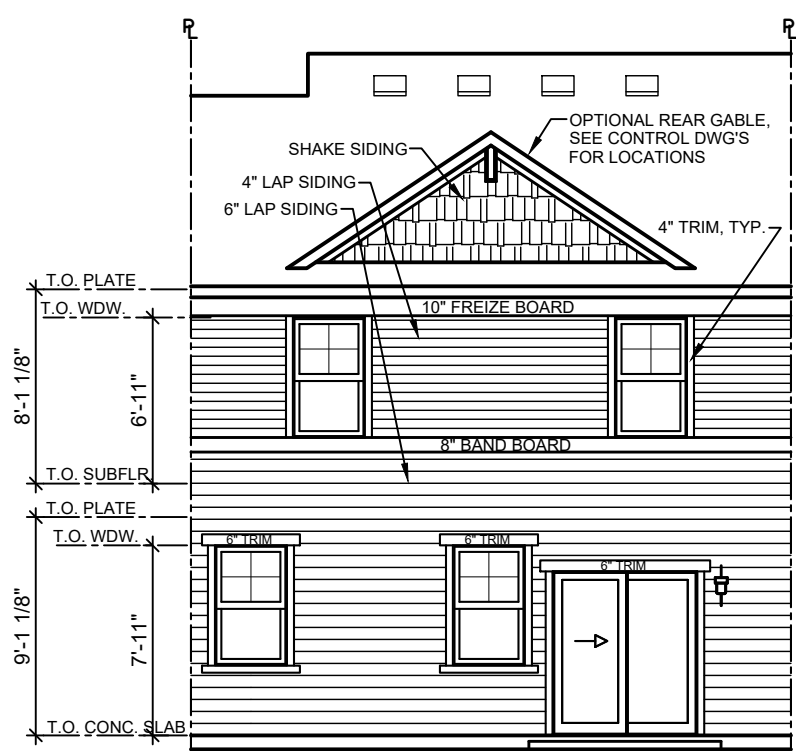
EXTERIOR TRIM KEY	
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4	10" FREIZE, RETURNS
KEYNOTE SYMBOL	
MATERIAL ON TRIM KEY	
LOCATION OF MATERIAL	



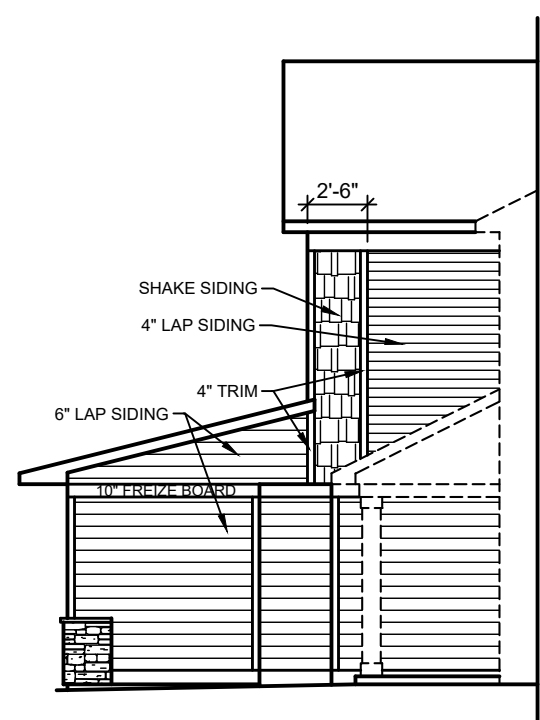
GABLE TRIM DETAIL



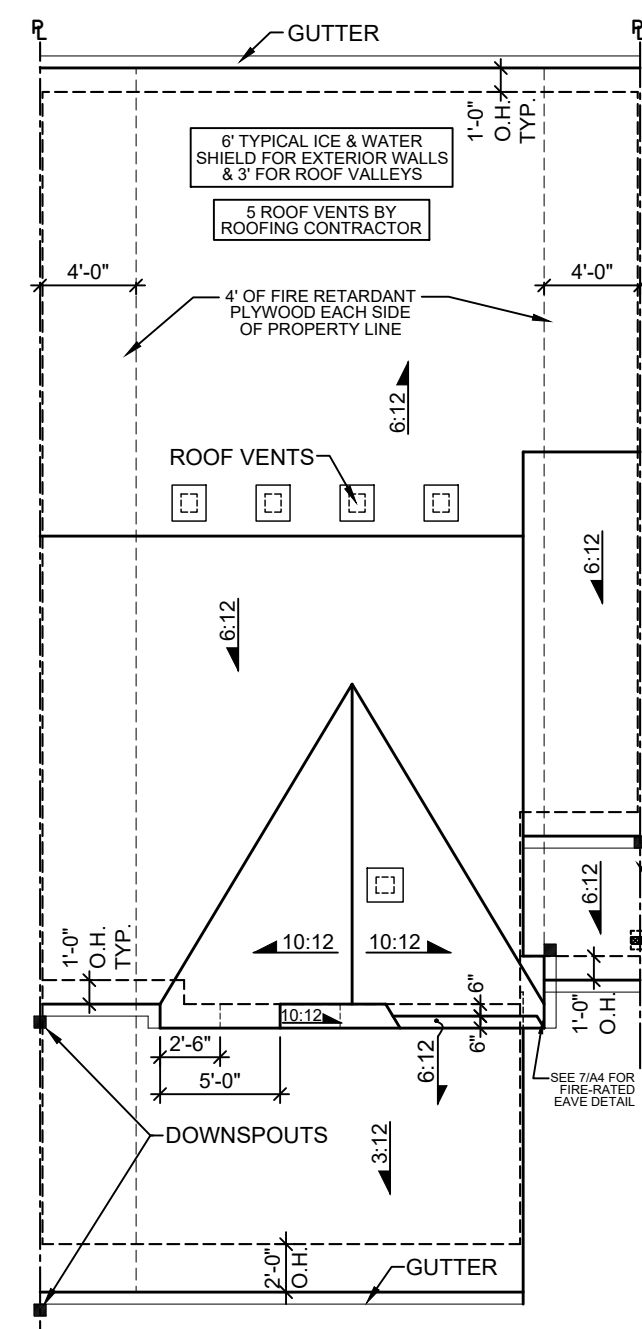
1 FRONT ELEVATION - INTERIOR UNIT B - GARAGE LEFT
SCALE: 1/4" = 1'-0"



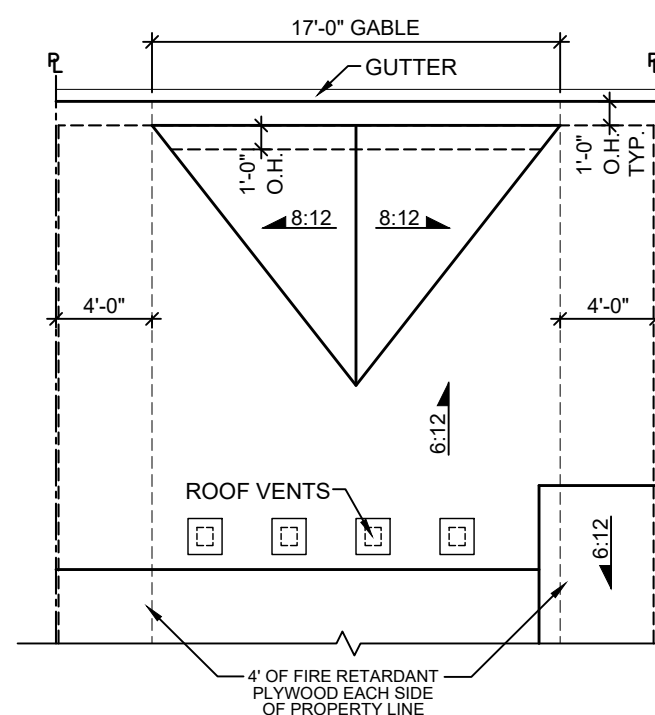
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SCALE: 1/8" = 1'-0"



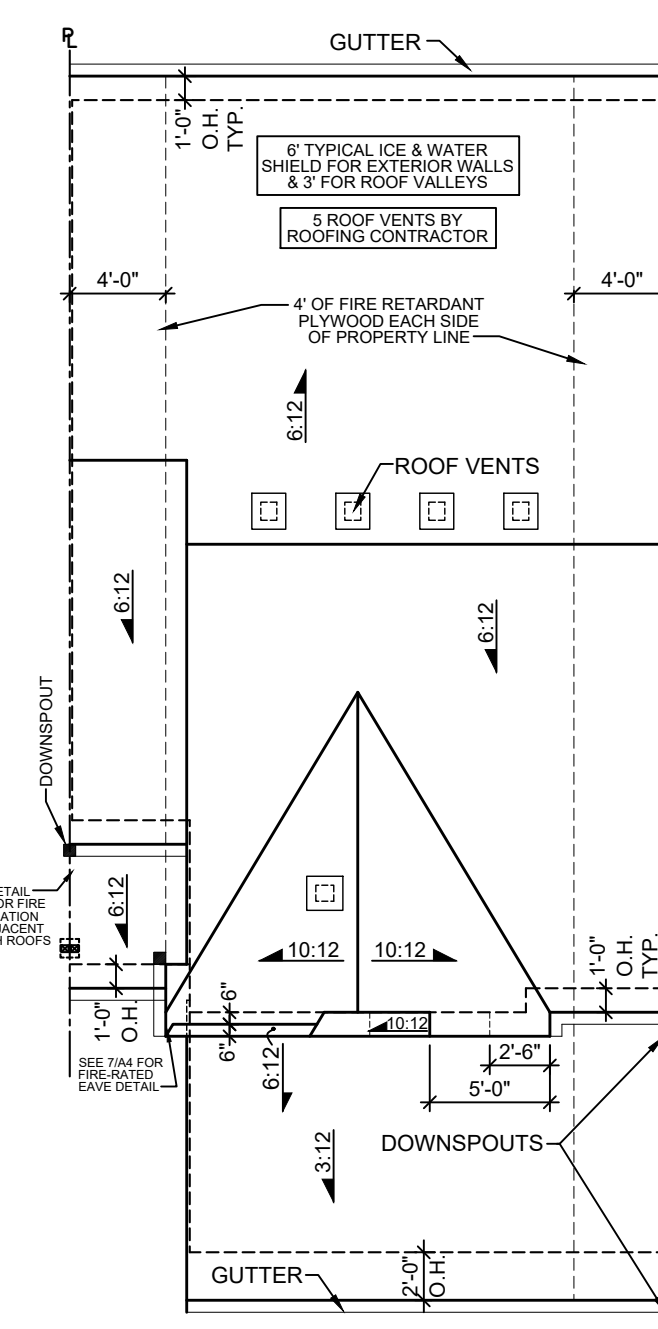
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SCALE: 1/8" = 1'-0"



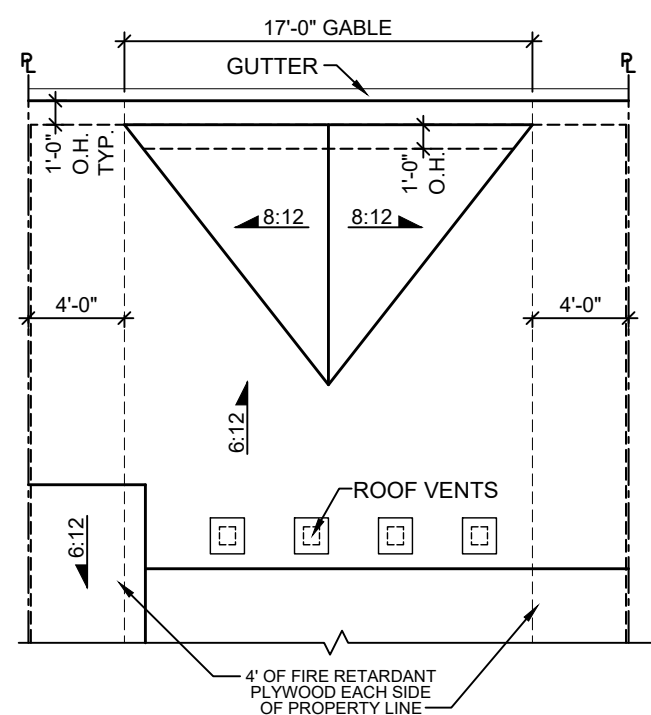
4 ROOF PLAN - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



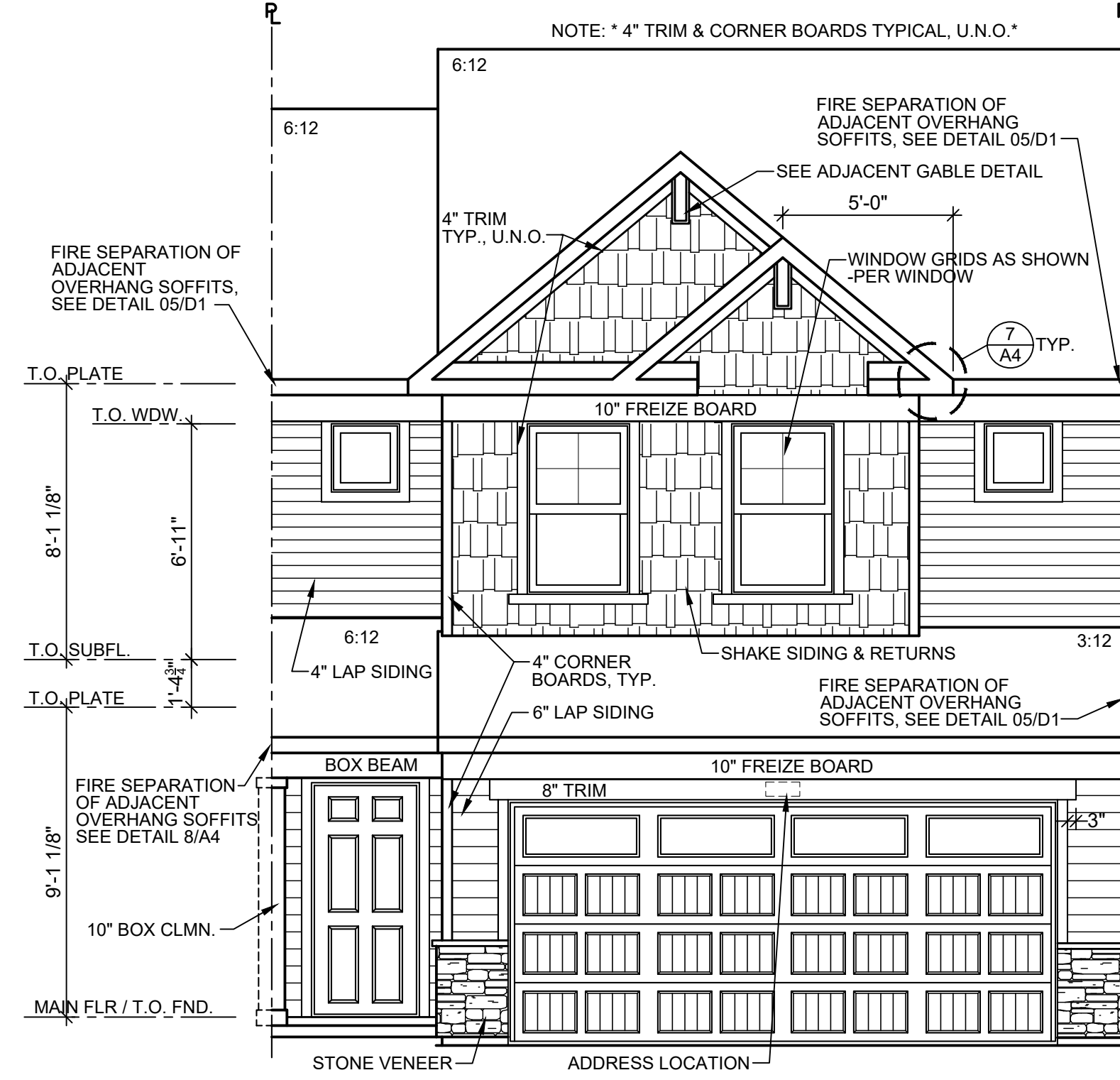
5 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



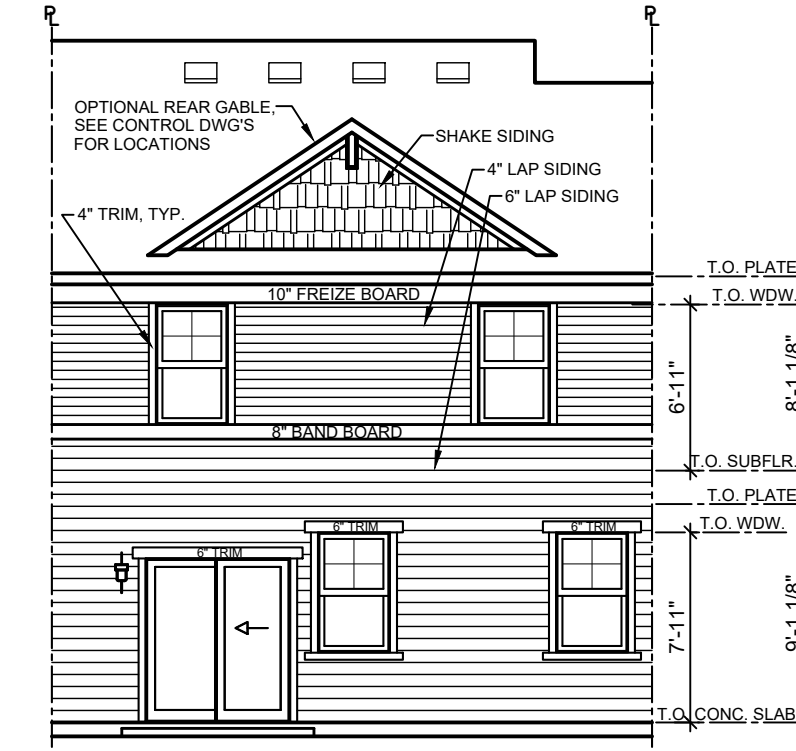
9 ROOF PLAN - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



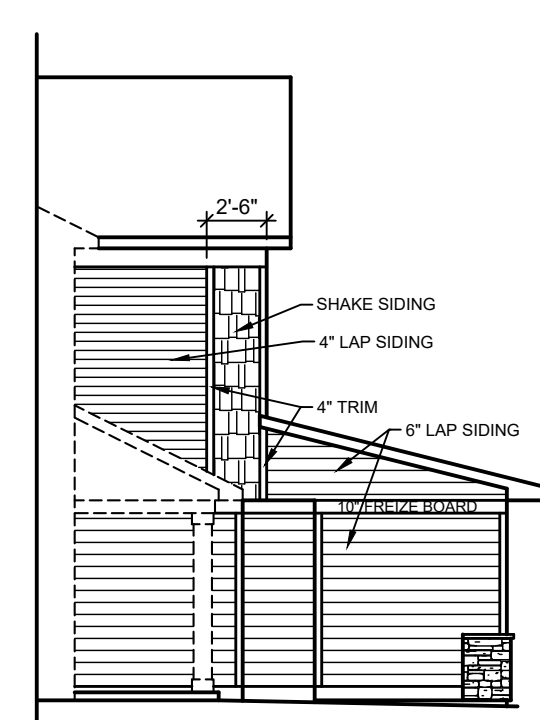
10 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - INTERIOR UNIT B - GARAGE RIGHT
SCALE: 1/4" = 1'-0"



7 REAR ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"

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MODEL: EC15 DAKOTA
DESCRIPTION: ELEVATIONS - INTERIOR UNIT B
OPTIONAL INFO: GARAGE LEFT & RIGHT

PAGE NUMBER

A1.B

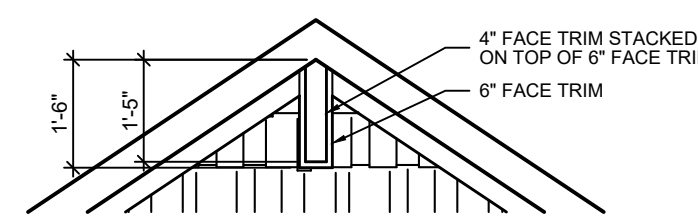
EXTERIOR ELEVATION NOTES

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BAND BOARD TRIM WILL STEP UP / DOWN WITH BUILDING IT IS ATTACHED TO WHEN UNITS STEP

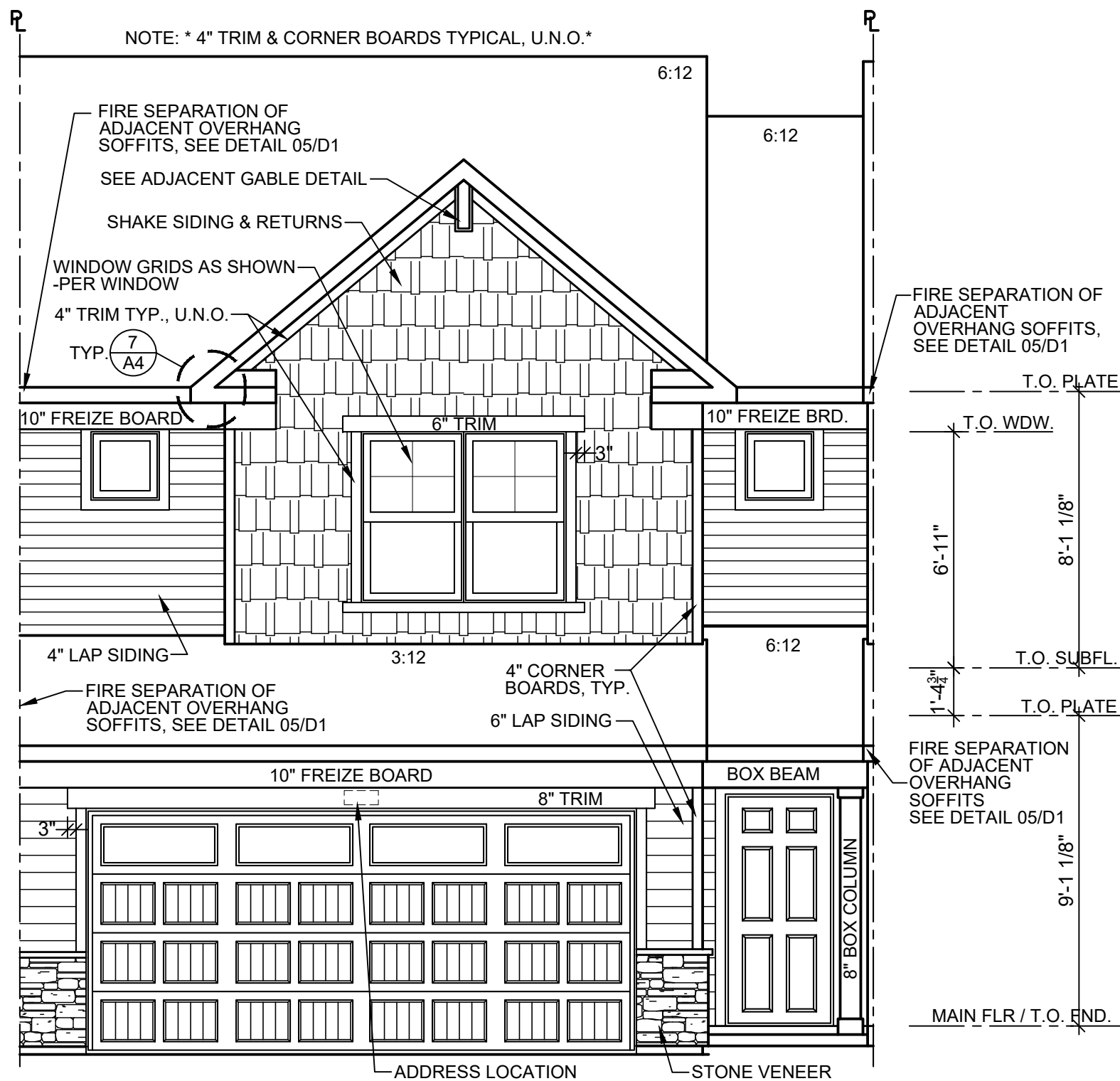
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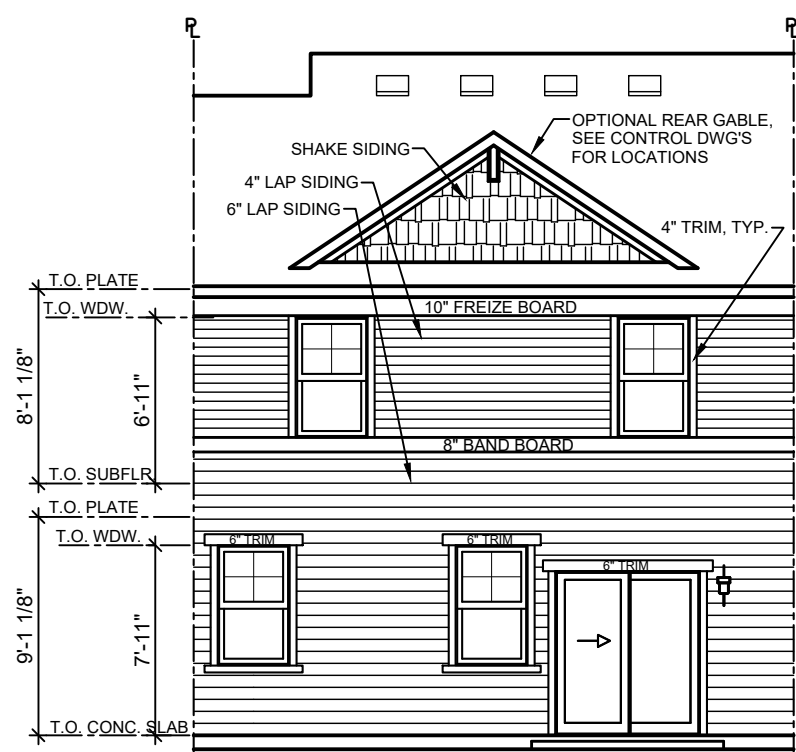
EXTERIOR TRIM KEY	
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4	10" GARAGE INNER JAMBS, WINDOW SILLS, GABLE RAKE, FASCIA
KEYNOTE SYMBOL	
MATERIAL ON TRIM KEY	
LOCATION OF MATERIAL	



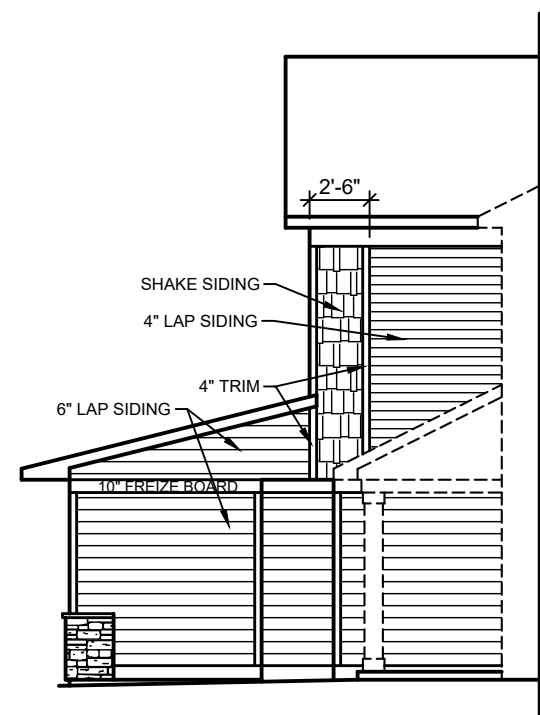
GABLE TRIM DETAIL



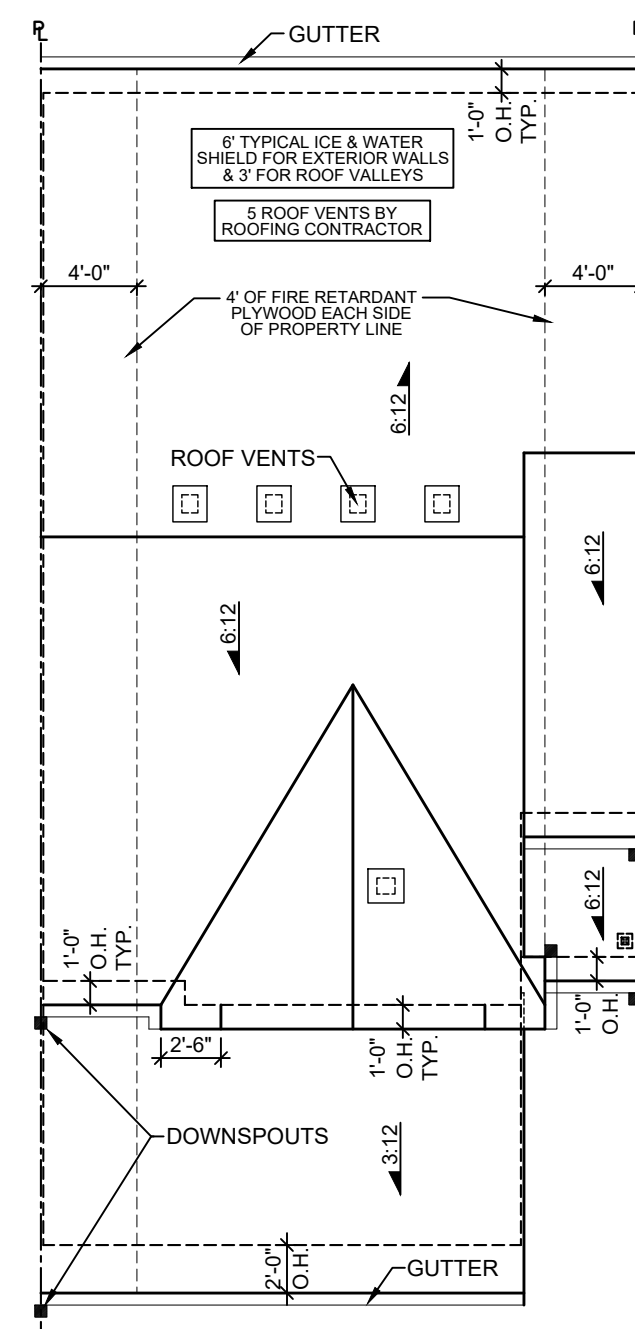
1 FRONT ELEVATION - INTERIOR UNIT D - GARAGE LEFT
SCALE: 1/4" = 1'-0"



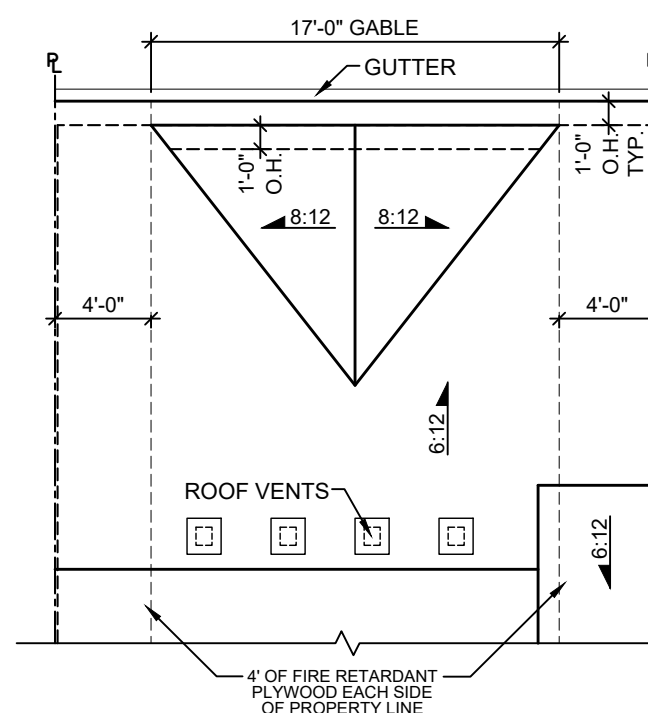
2 REAR ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



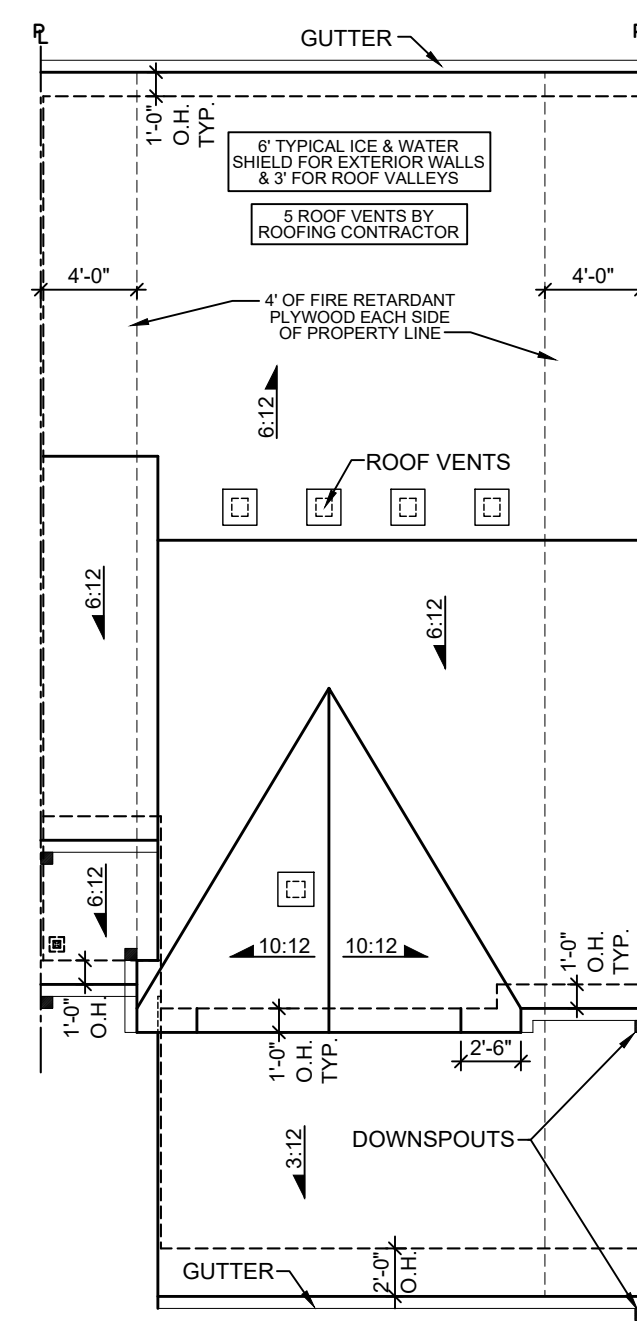
3 SIDE ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



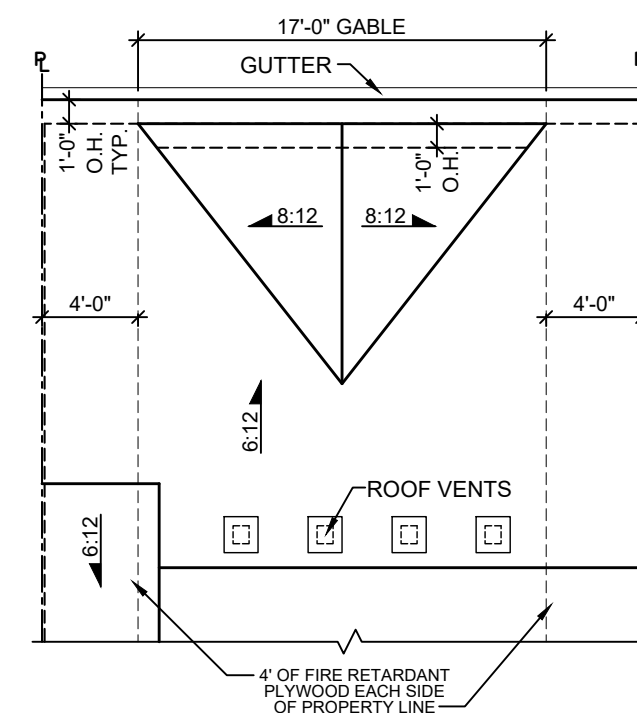
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SCALE: 1/8" = 1'-0"



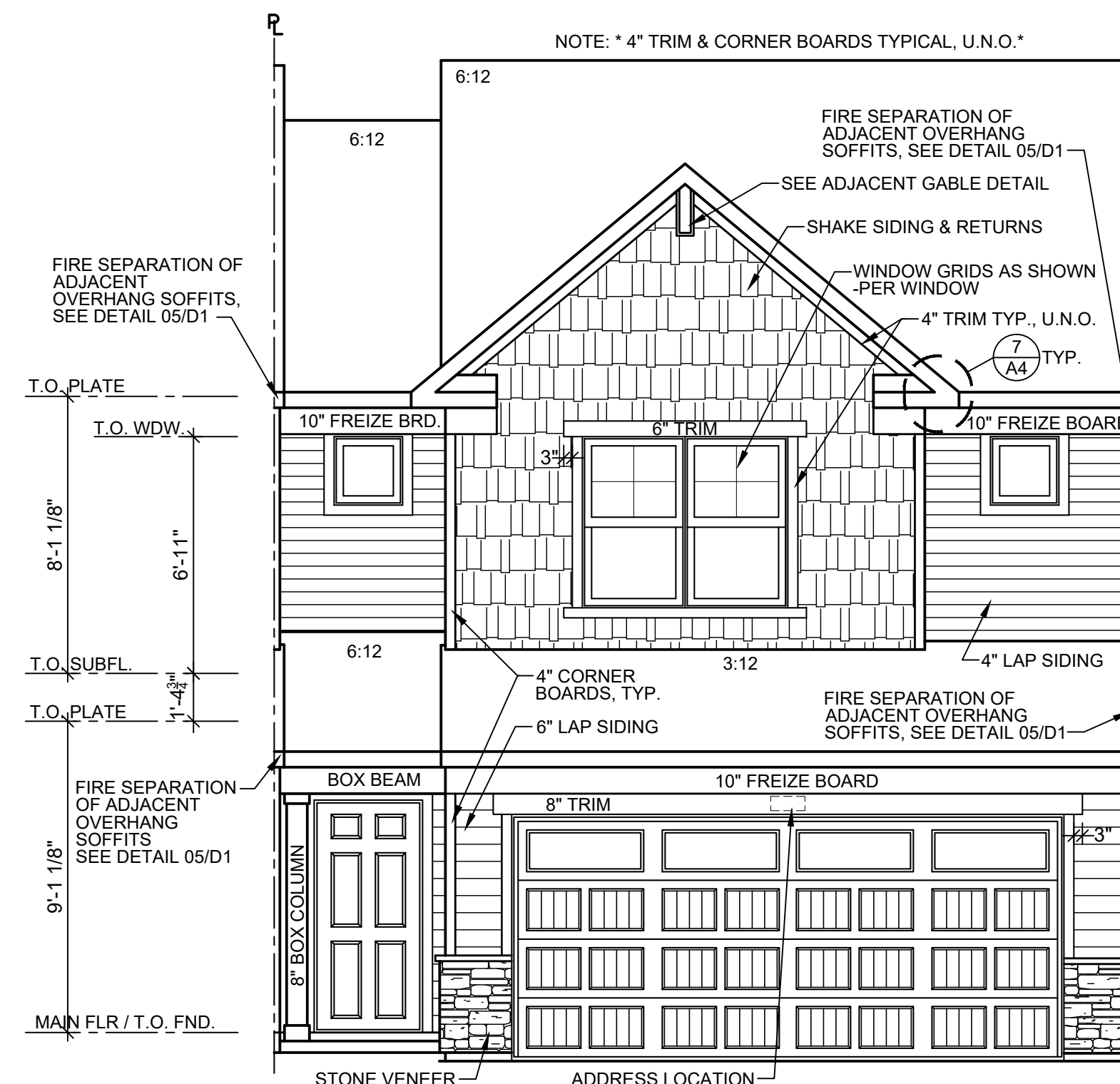
5 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



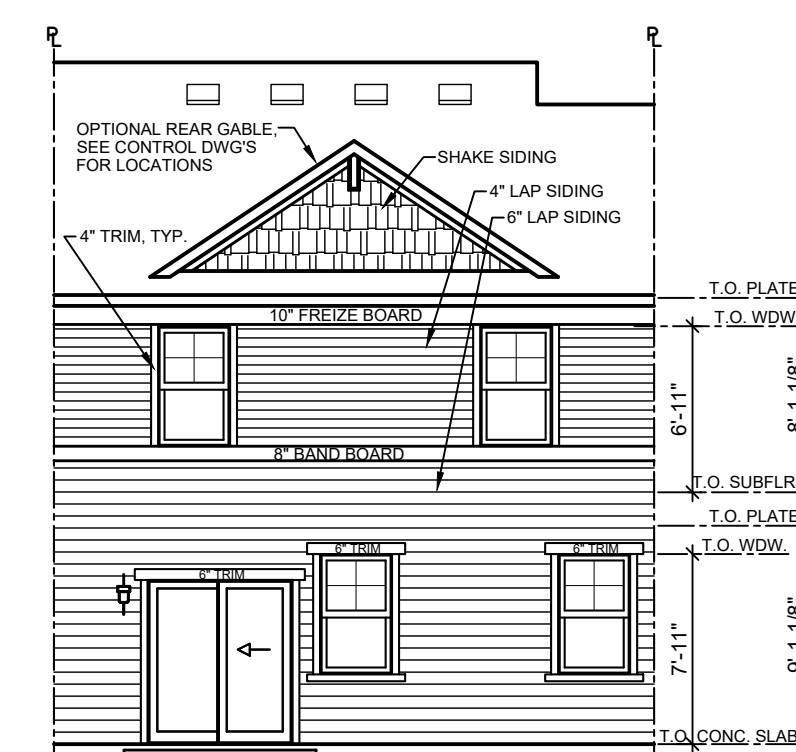
9 ROOF PLAN - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



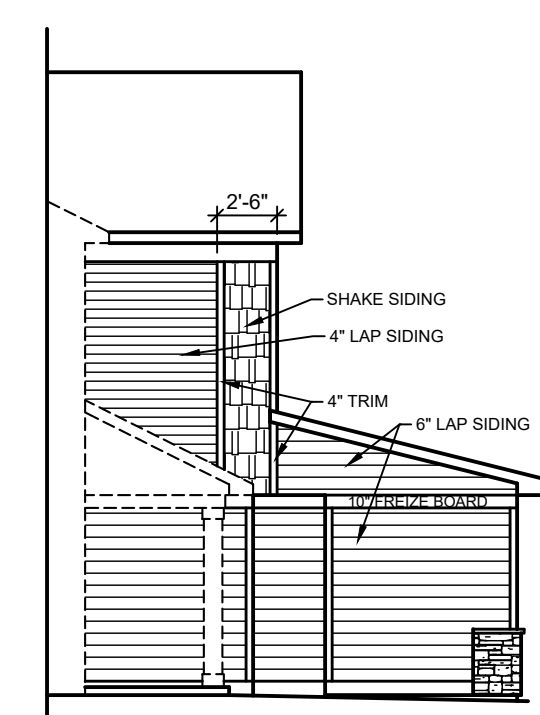
10 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - INTERIOR UNIT D - GARAGE RIGHT
SCALE: 1/4" = 1'-0"



7 REAR ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"

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		8/20/2024	CHANGE TO #U347/ADD D&E ELEV.

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MODEL: **EC15 DAKOTA**
DESCRIPTION: **ELEVATIONS - INTERIOR UNIT D**
OPTIONAL INFO: **GARAGE LEFT & RIGHT**

PAGE NUMBER

A1.D

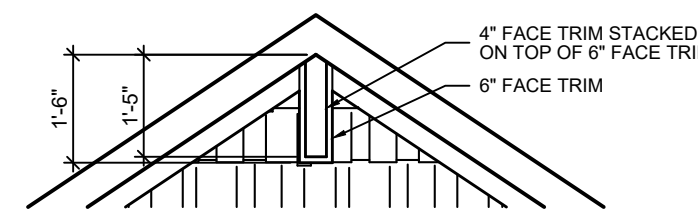
EXTERIOR ELEVATION NOTES

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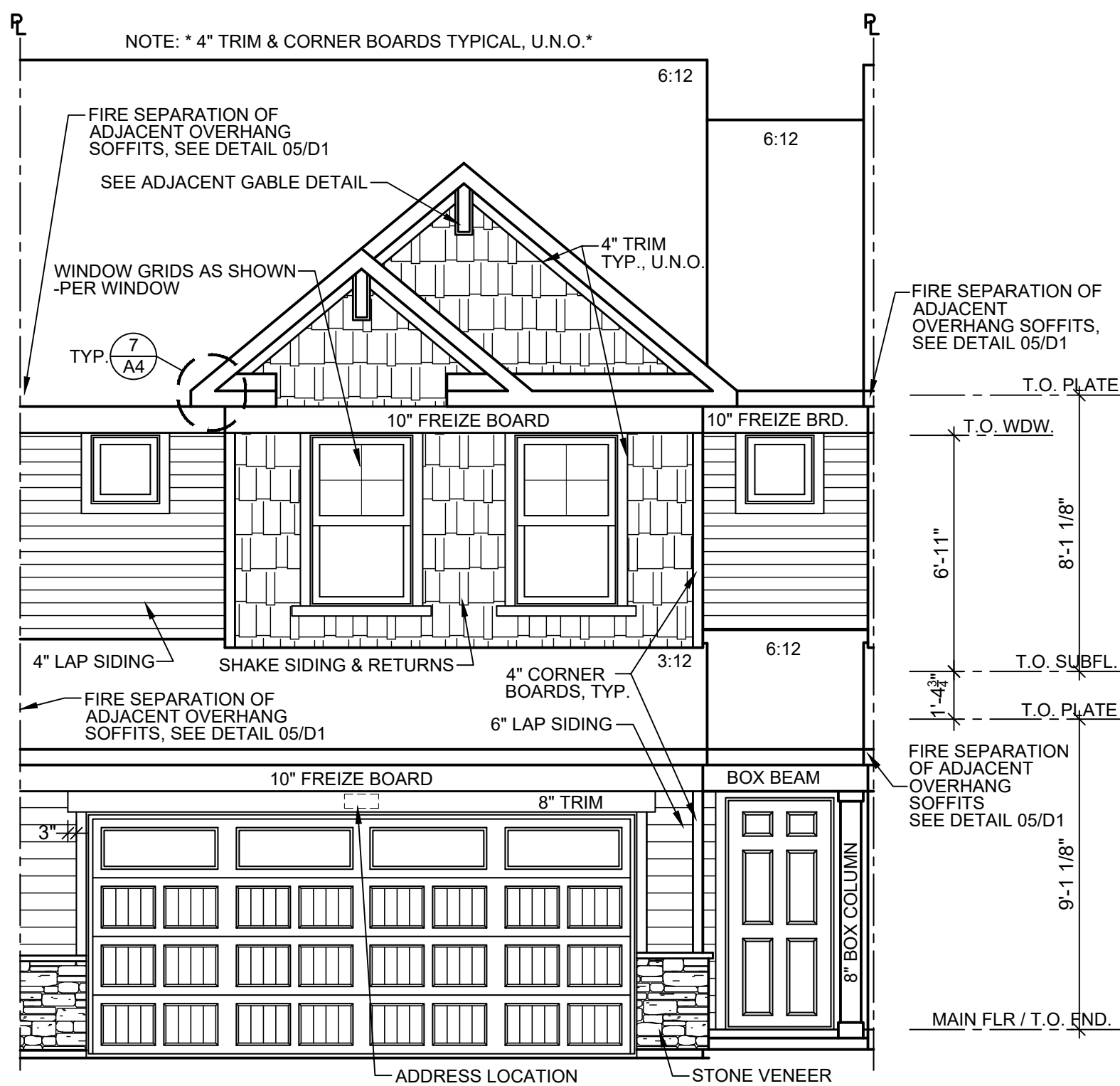
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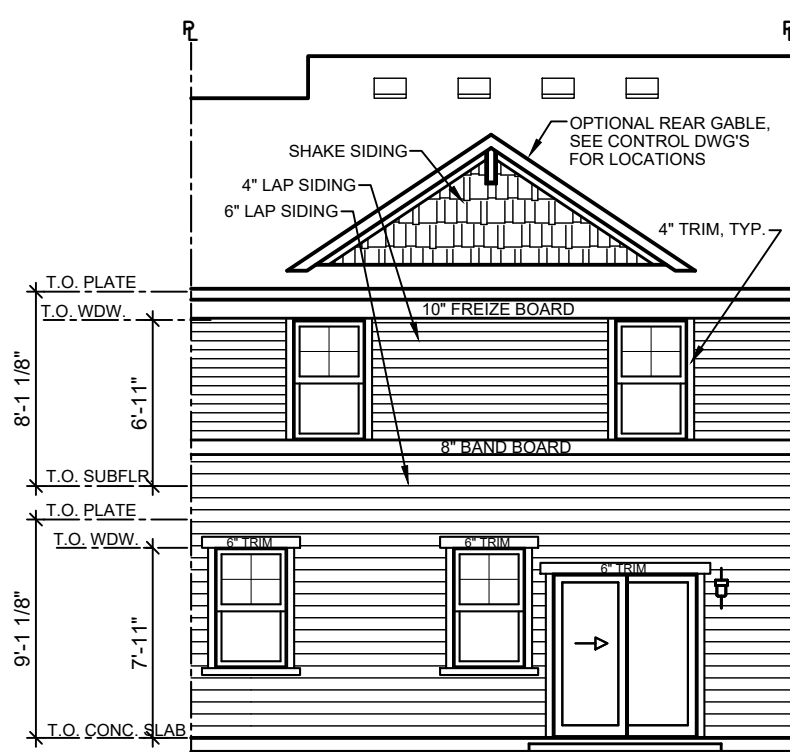
EXTERIOR TRIM KEY	
1	4"
2	6"
3	8"
4	10"
KEYNOTE SYMBOL	
MATERIAL ON TRIM KEY	
LOCATION OF MATERIAL	



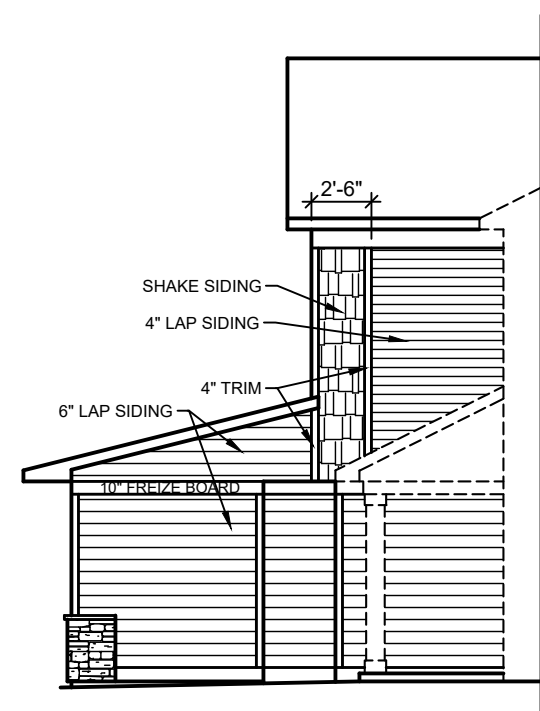
GABLE TRIM DETAIL



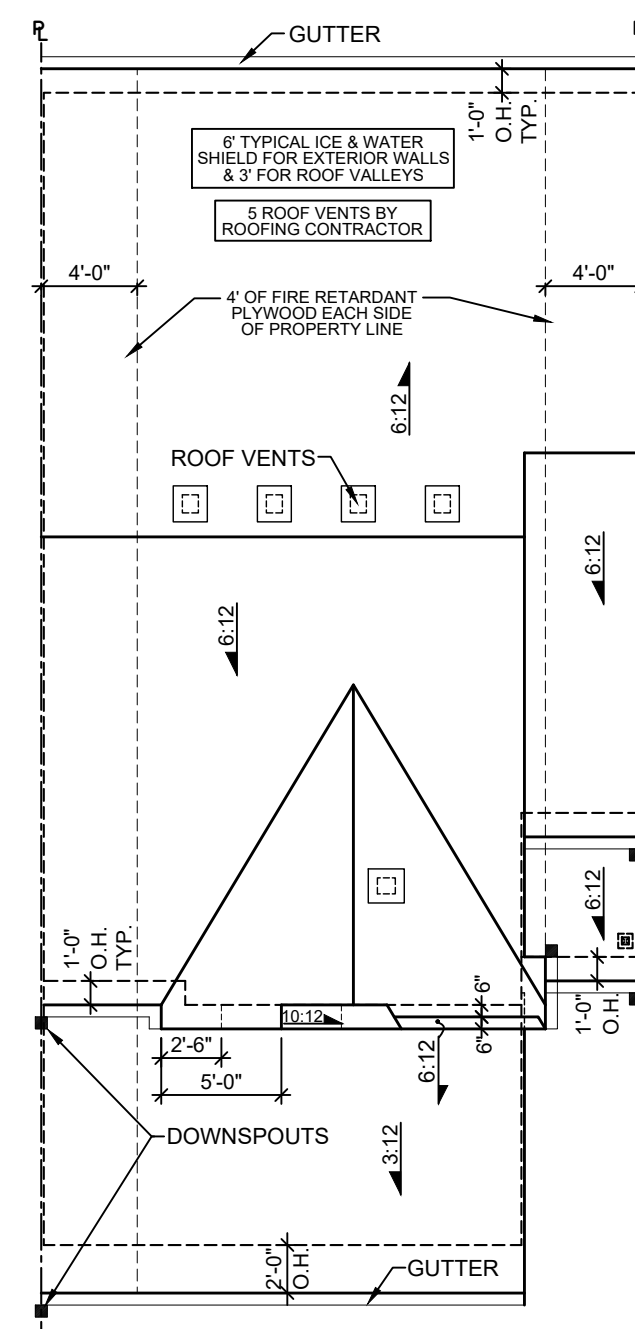
1 FRONT ELEVATION - INTERIOR UNIT E - GARAGE LEFT
SCALE: 1/4" = 1'-0"



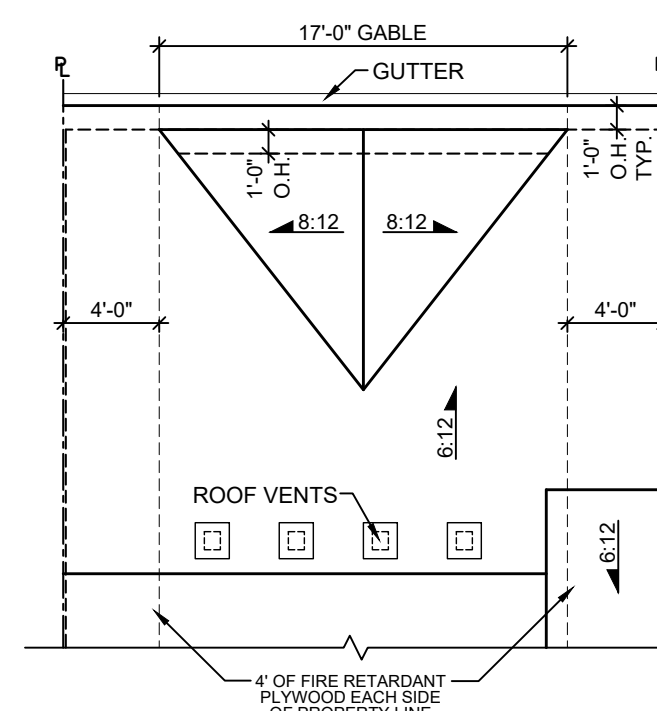
2 REAR ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



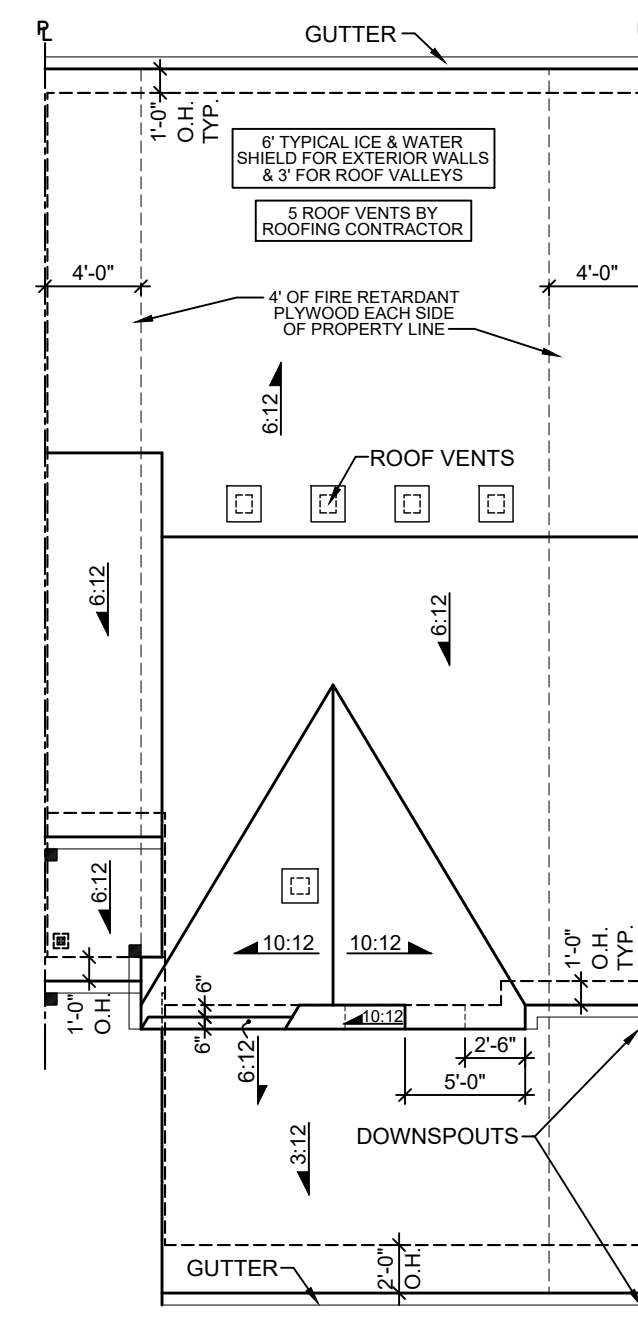
3 SIDE ELEVATION - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



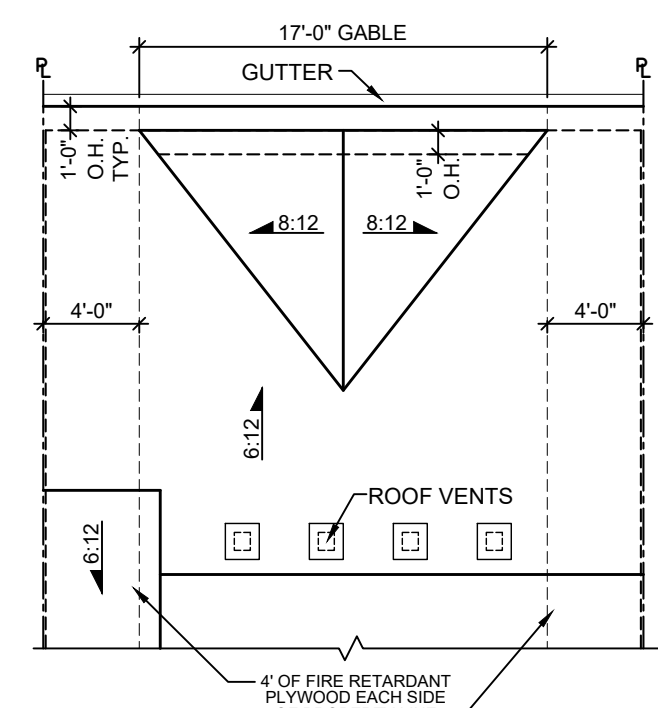
4 ROOF PLAN - INT. UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



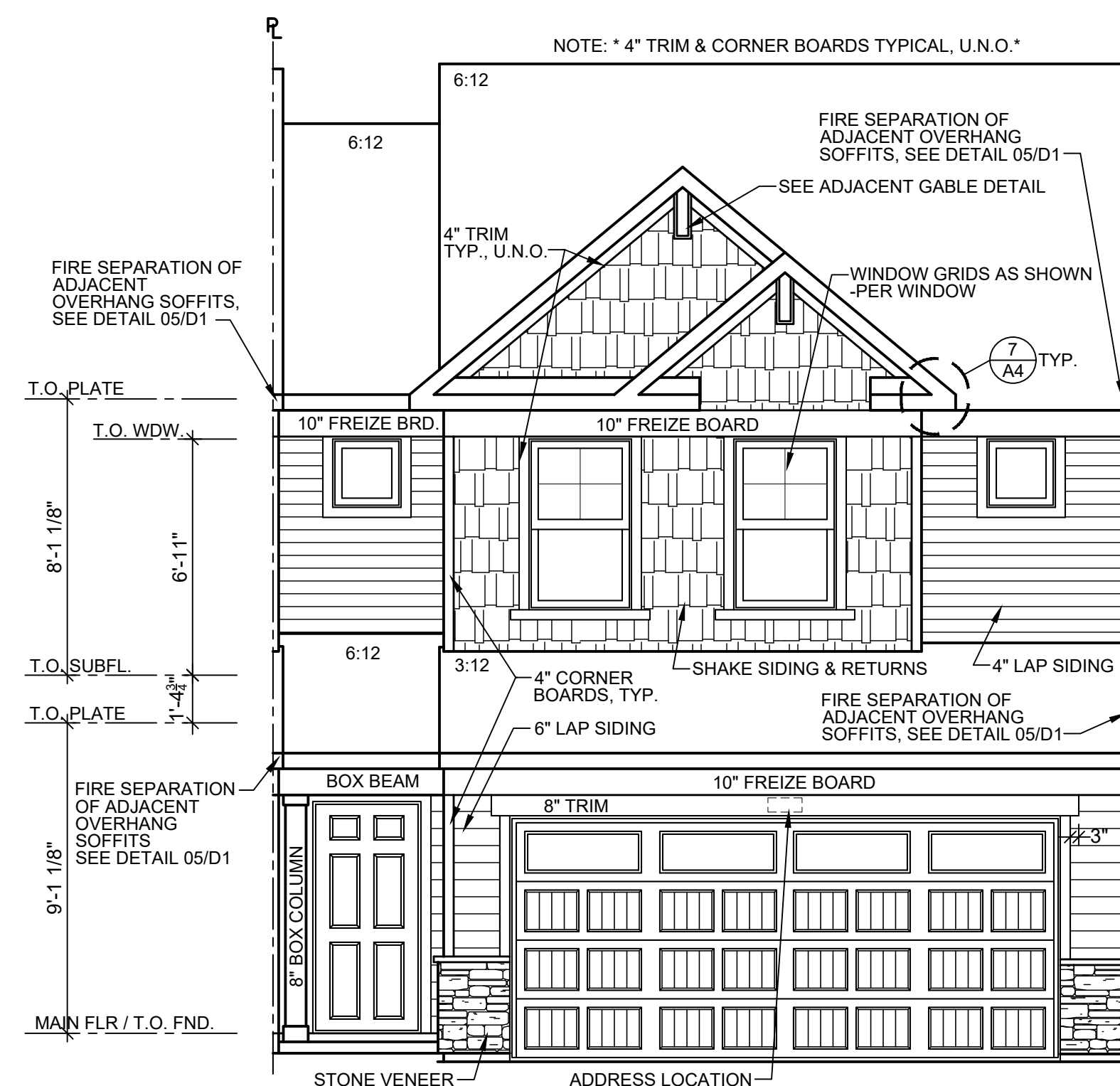
5 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



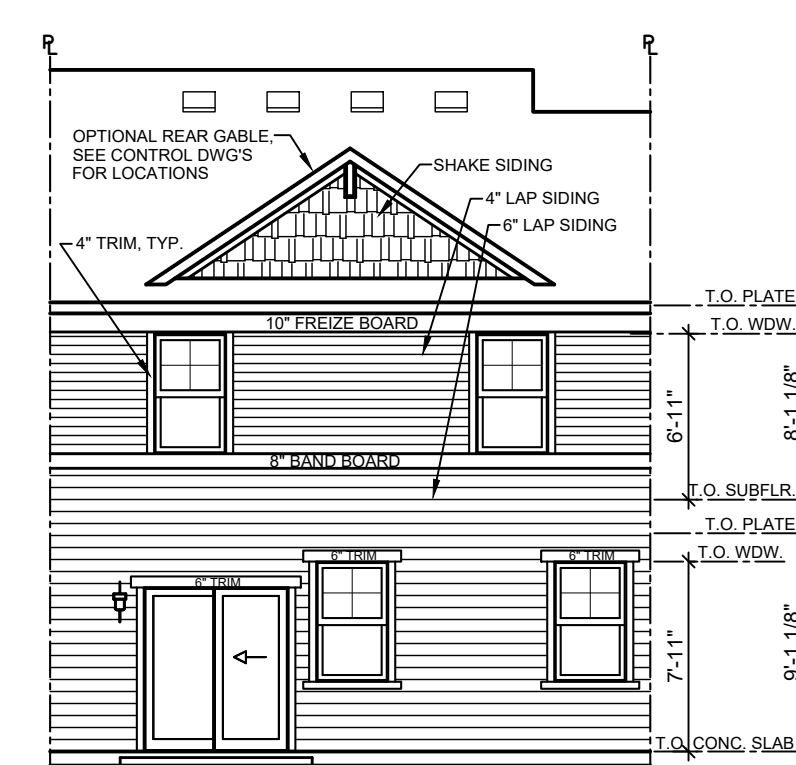
9 ROOF PLAN - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



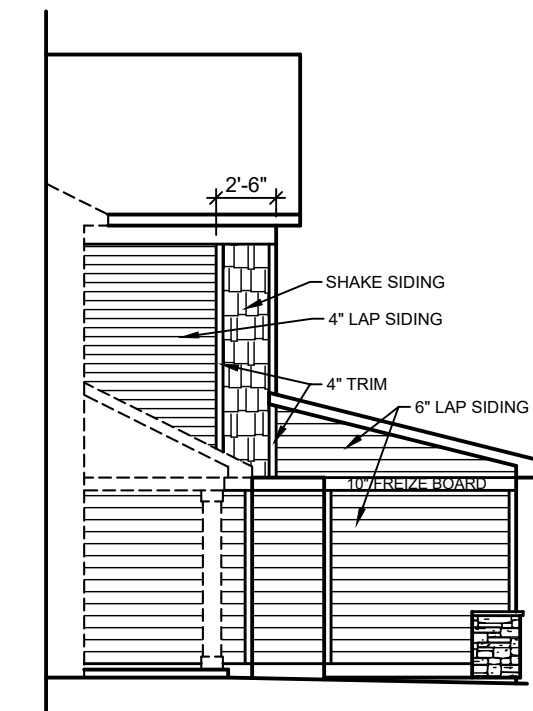
10 PARTIAL ROOF PLAN w/ REAR GABLE
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - INTERIOR UNIT E - GARAGE RIGHT
SCALE: 1/4" = 1'-0"



7 REAR ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION - INT. UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"

LENNAR

MODEL: **EC15 DAKOTA**
DESCRIPTION: **ELEVATIONS - INTERIOR UNIT E**
OPTIONAL INFO: **GARAGE LEFT & RIGHT**

PAGE NUMBER

A1.E

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DATE
REV. #

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8/20/2024

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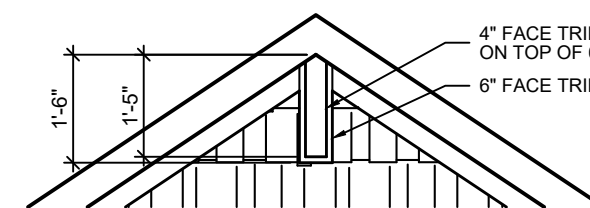
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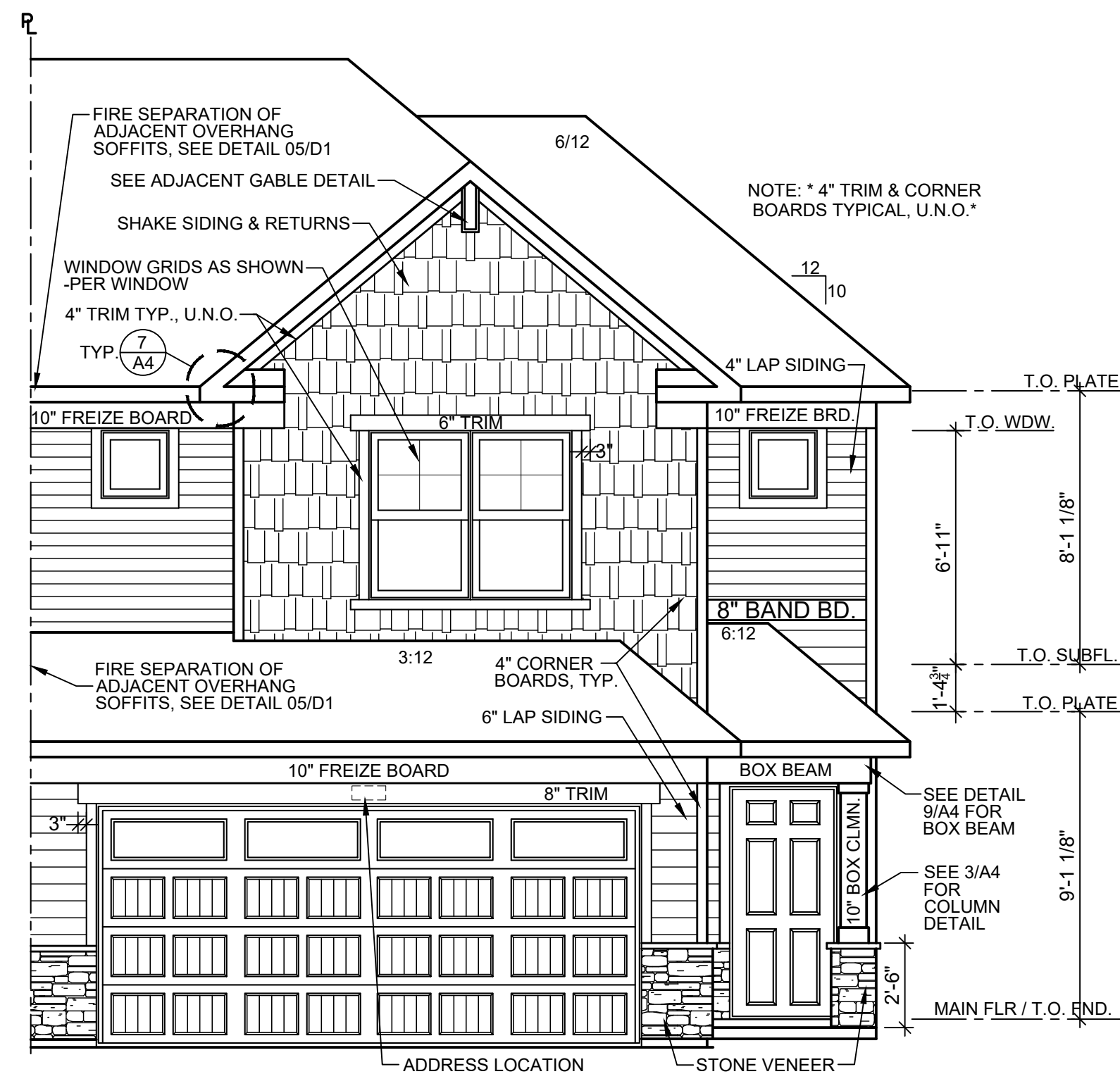
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EXTERIOR TRIM KEY		
1	4"	
2	6"	GARAGE INNER JAMBS, WINDOW SILLS, GABLE RAKE, FASCIA
3	8"	
4	10"	FRIEZE, RETURNS
1 KEYNOTE SYMBOL 1 MATERIAL ON TRIM KEY 1 LOCATION OF MATERIAL		



GABLE TRIM DETAIL



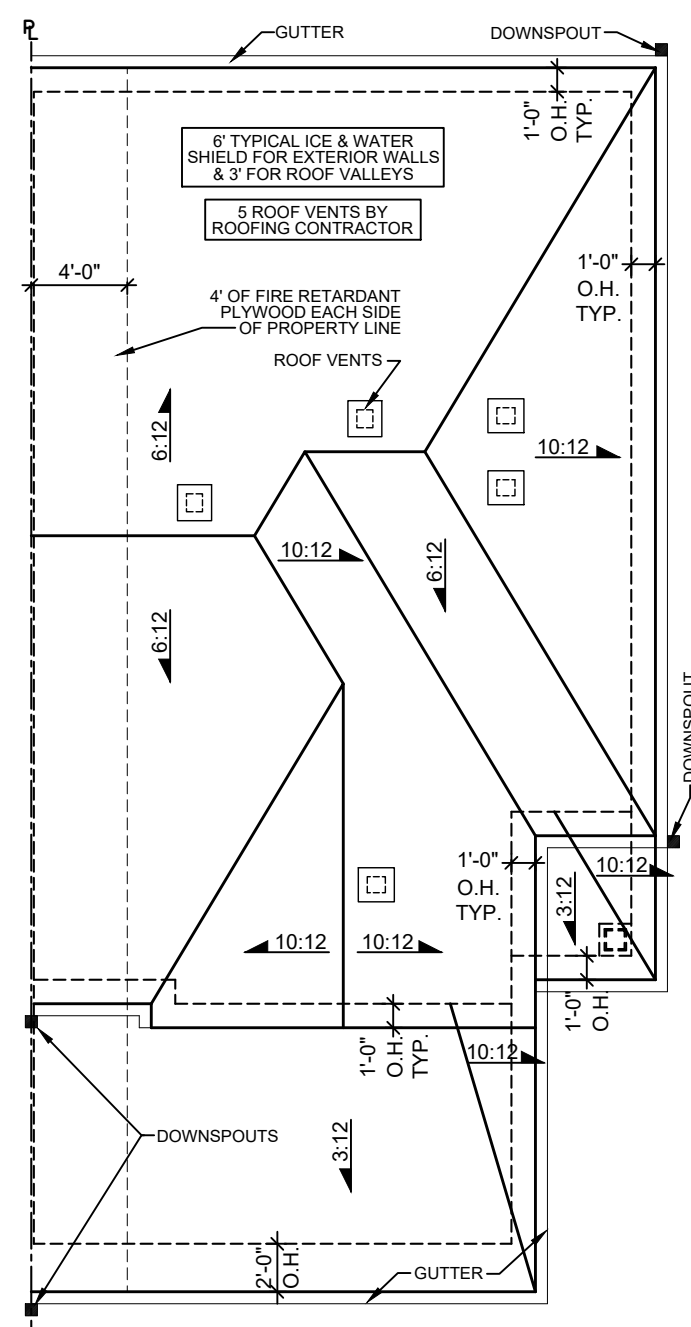
1 FRONT ELEVATION - END UNIT C - GARAGE LEFT
SCALE: 1/4" = 1'-0"



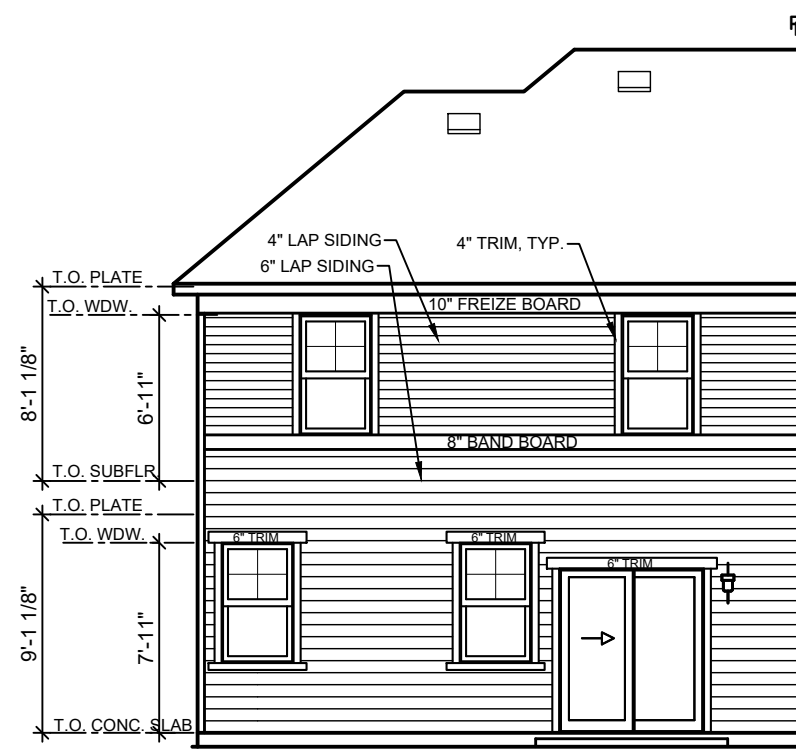
2 SIDE ELEVATION - SIDING END - GARAGE LEFT
SCALE: 1/8" = 1'-0"



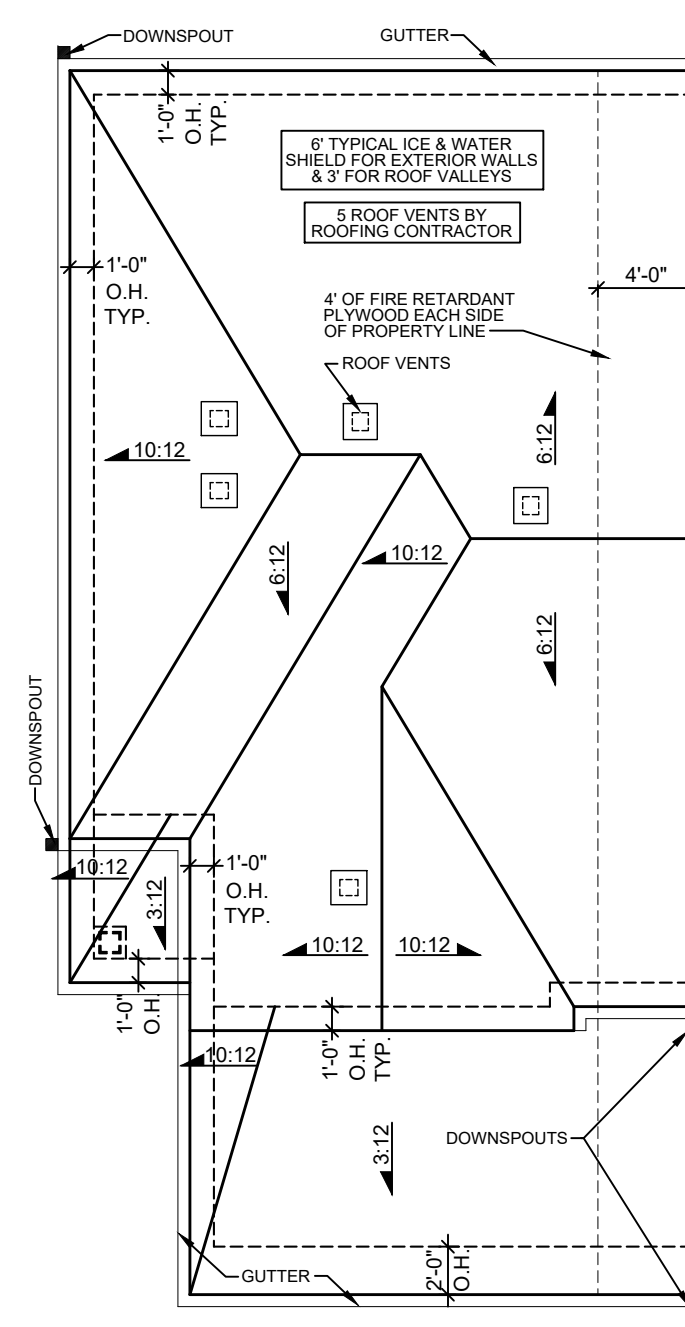
3 SIDE ELEVATION - STONE END - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



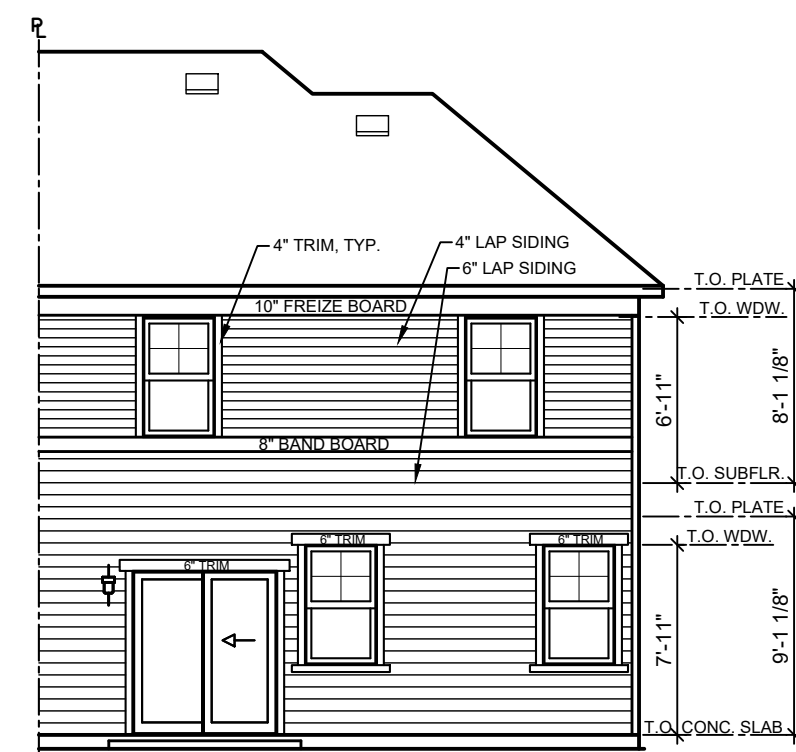
5 ROOF PLAN - END UNIT - GARAGE LEFT
SCALE: 1/8" = 1'-0"



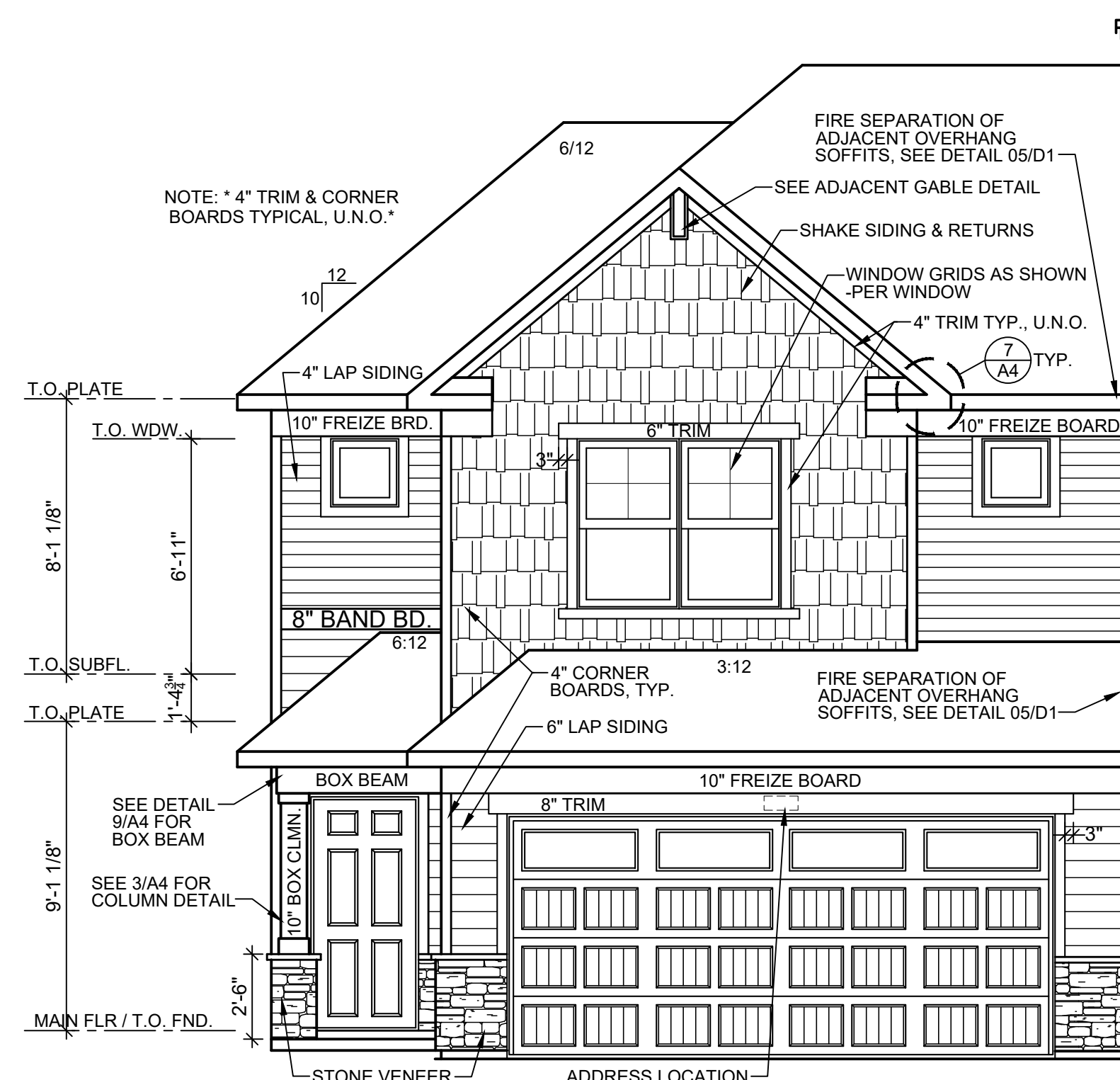
4 REAR ELEVATION - END UNIT - LEFT
SCALE: 1/8" = 1'-0"



10 ROOF PLAN - END UNIT - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



9 REAR ELEVATION - END UNIT - RIGHT
SCALE: 1/8" = 1'-0"



6 FRONT ELEVATION - END UNIT C - GARAGE RIGHT
SCALE: 1/4" = 1'-0"



7 SIDE ELEVATION - SIDING END - GARAGE RIGHT
SCALE: 1/8" = 1'-0"



8 SIDE ELEVATION - STONE END - GARAGE RIGHT
SCALE: 1/8" = 1'-0"

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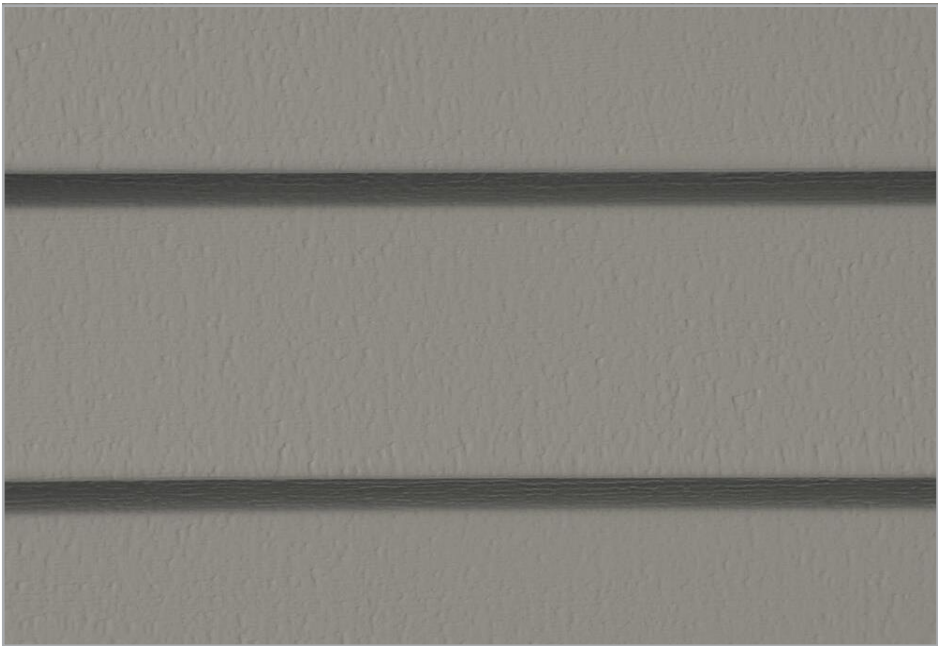
MODEL: **EC15 DAKOTA**
DESCRIPTION: **ELEVATIONS - END UNIT C**
OPTIONAL INFO: **GARAGE LEFT & RIGHT**

PAGE NUMBER

A1.C

Everything's Included

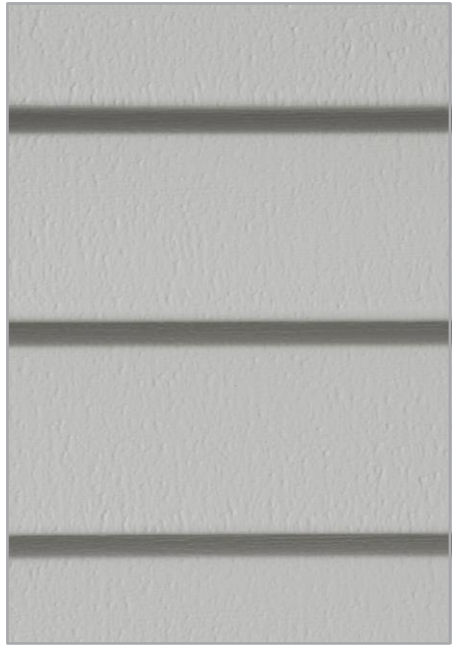
Exterior Package Group M1



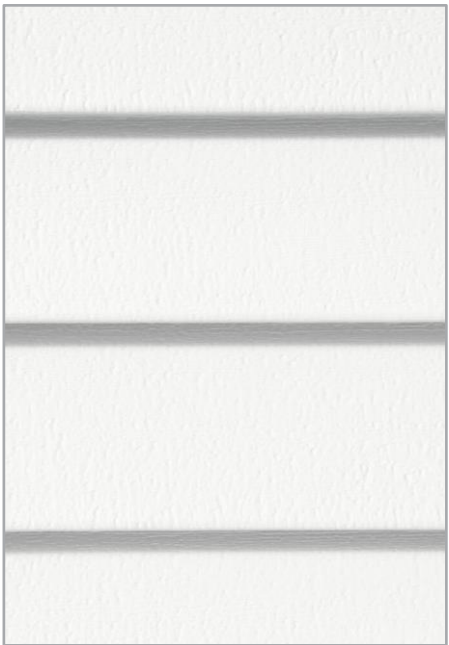
Castle Stone
Vinyl Lap Siding Body 1



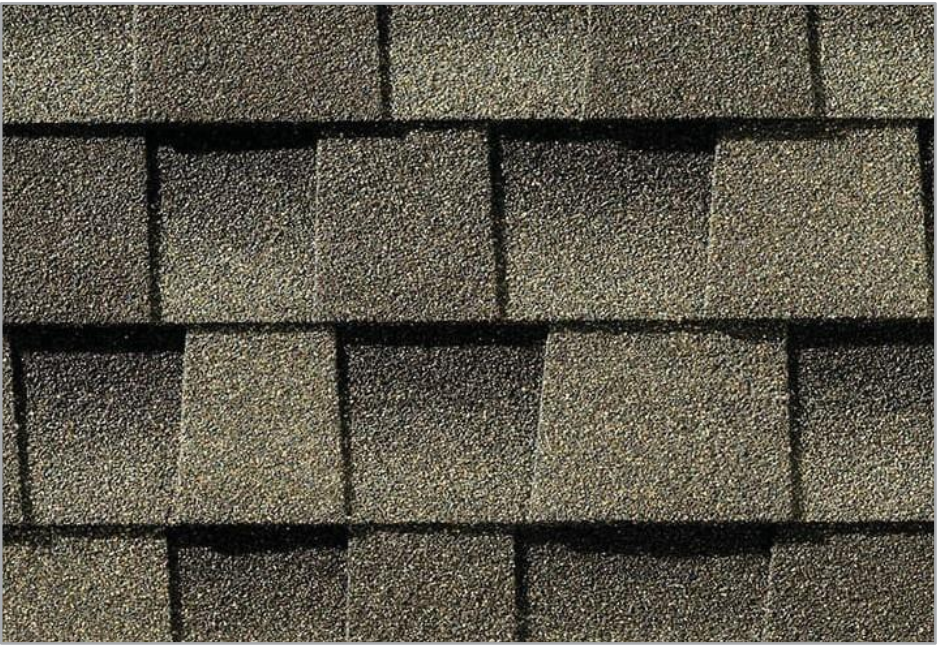
Tuscan Ledgerstone - Black Rundle
Exterior Stone



Sterling Gray
Vinyl Lap Siding Body 2



Colonial White
Vinyl Shake / Board & Batten



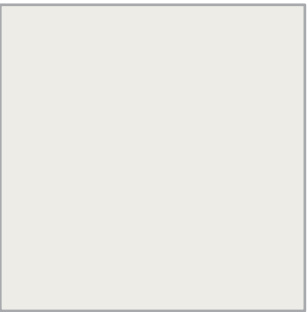
Weathered Wood
Roof



Snow
Soffit, Fascia



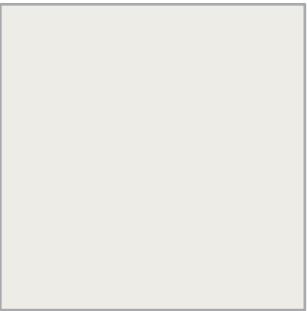
Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



Snowscape White
Lap Gable Detail, Louver



SW 7005 Pure White
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



White 001
Shutters



****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

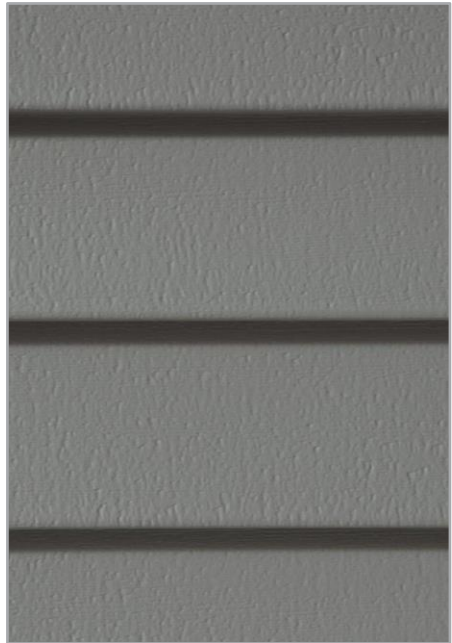
Exterior Package M1-02



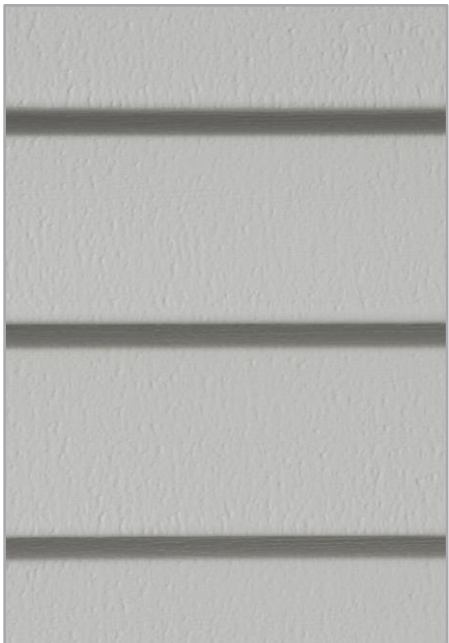
Pacific Blue
Vinyl Lap Siding Body 1



Shadow Ledge - Bellweather
Exterior Stone



Charcoal Gray
Vinyl Lap Siding Body 2



Sterling Gray
Vinyl Shake / Board & Batten



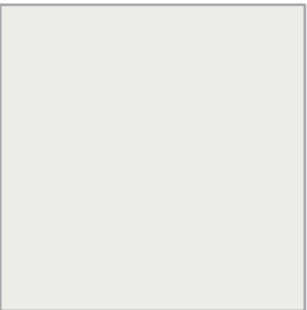
Weathered Wood
Roof



Snow
Soffit, Fascia



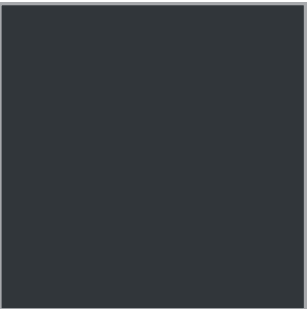
Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



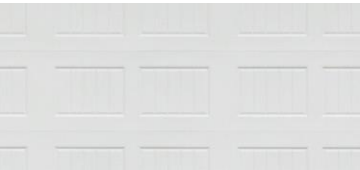
Snowscape White
Lap Gable Detail, Louver



SW 6992 Inkwell
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



White 001
Shutters



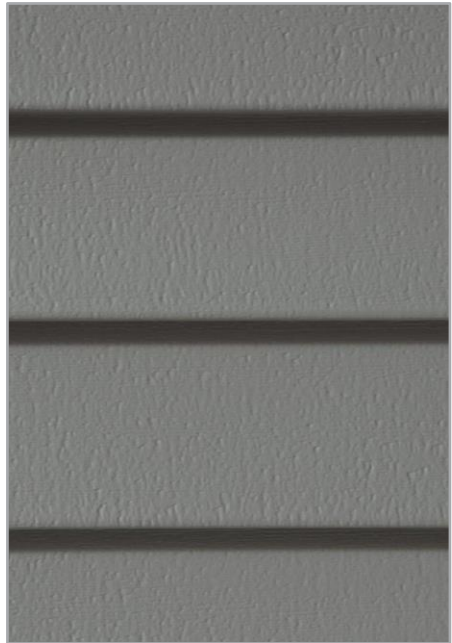
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



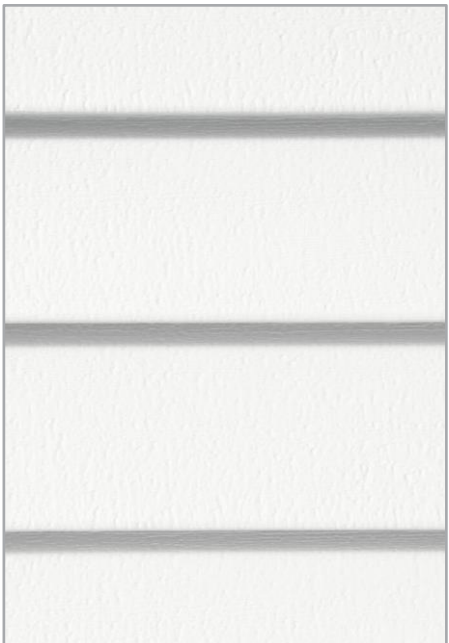
Flagstone
Vinyl Lap Siding Body 1



Shadow Ledge - Bellweather
Exterior Stone



Charcoal Gray
Vinyl Lap Siding Body 2



Colonial White
Vinyl Shake / Board & Batten



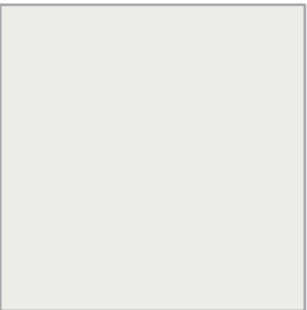
Weathered Wood
Roof



Snow
Soffit, Fascia



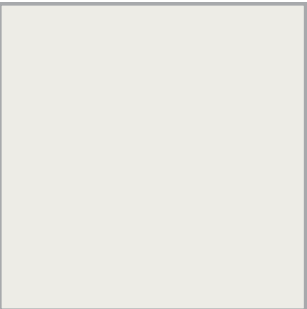
Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



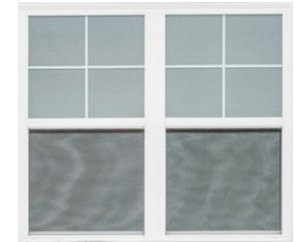
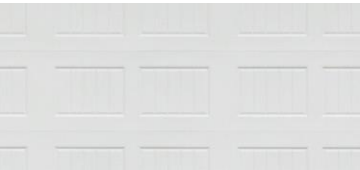
Snowscape White
Lap Gable Detail, Louver



SW 7005 Pure White
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



White 001
Shutters



****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



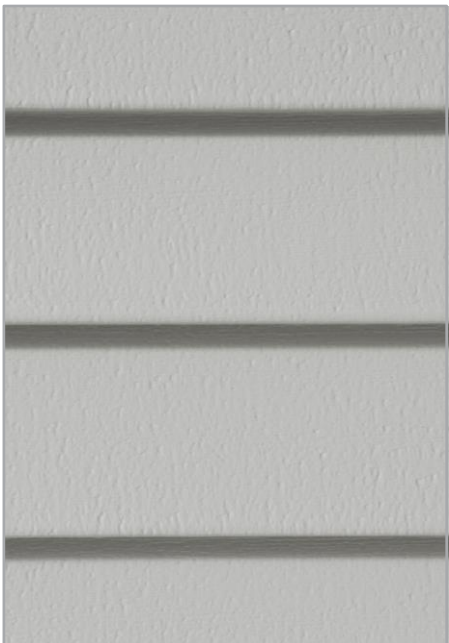
Charcoal Gray
Vinyl Lap Siding Body 1



Tuscan Ledge - Limestone
Exterior Stone



Pacific Blue
Vinyl Lap Siding Body 2



Sterling Gray
Vinyl Shake / Board & Batten



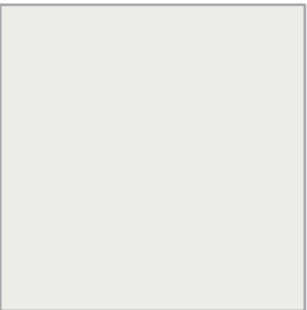
Weathered Wood
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



Snowscape White
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



White 001
Shutters



****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

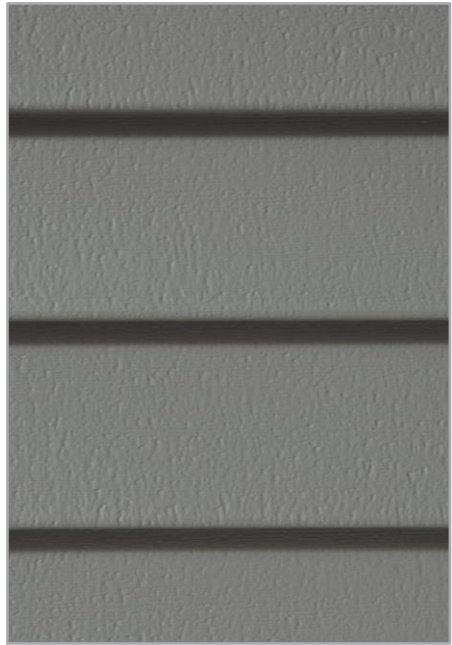
Exterior Package M1-06



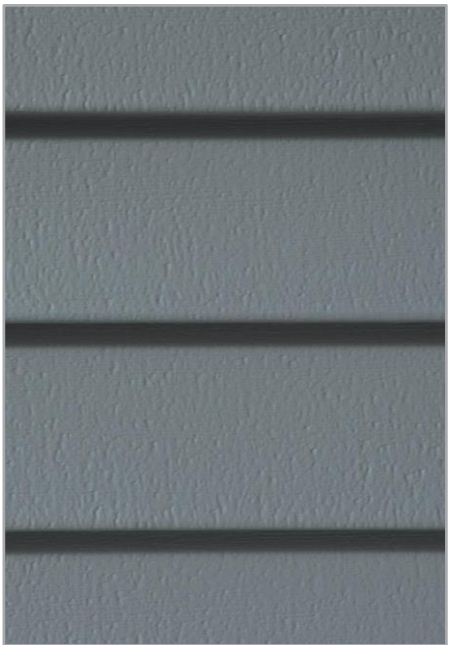
Natural Clay
Vinyl Lap Siding Body 1



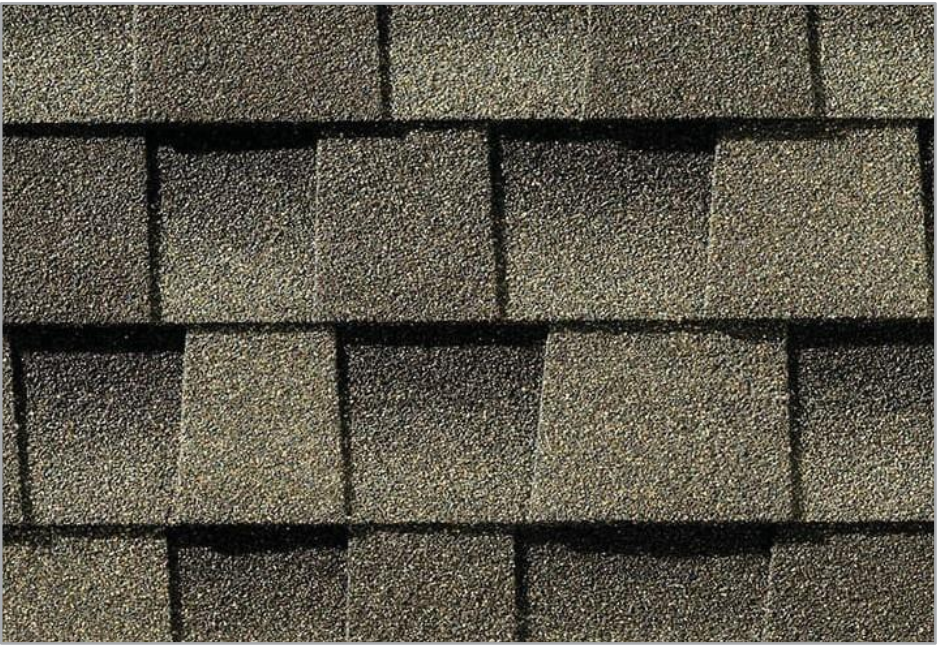
Prostack Lite - Black Creek
Exterior Stone



Charcoal Gray
Vinyl Lap Siding Body 2



Flagstone
Vinyl Shake / Board & Batten



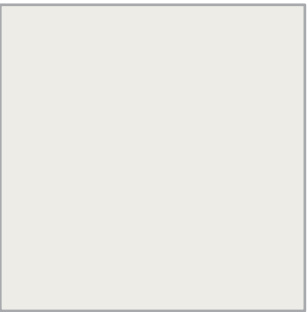
Weathered Wood
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



Snowscape White
Lap Gable Detail, Louver



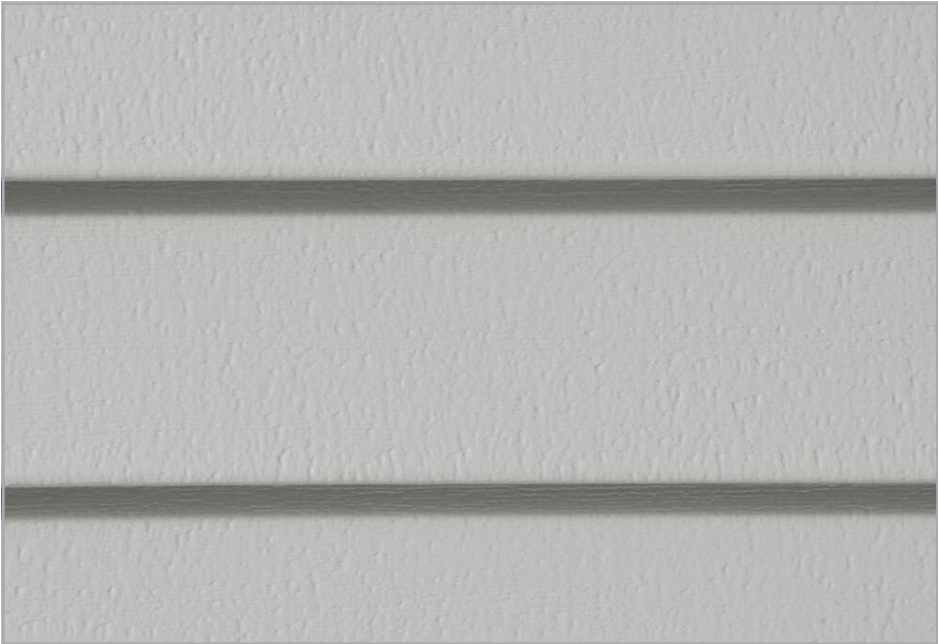
SW 7069 Iron Ore
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



White 001
Shutters



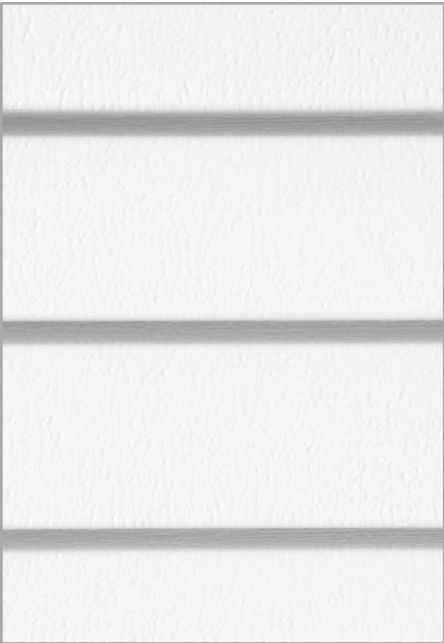
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



Sterling Gray
Vinyl Lap Siding Body 1



Shadow Ledgestone - Black Rundle
Exterior Stone



Colonial White
Vinyl Lap Siding Body 2



Charcoal Gray
Vinyl Shake / Board & Batten



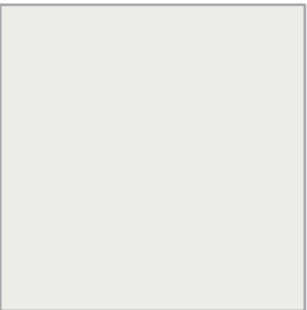
Weathered Wood
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



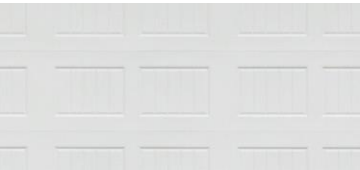
Snowscape White
Lap Gable Detail, Louver



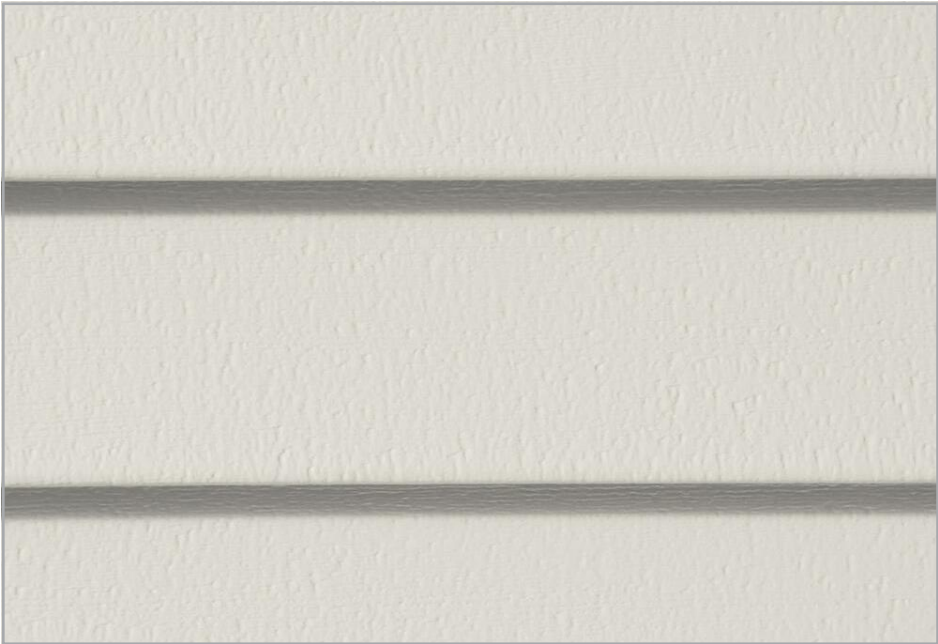
SW 6258 Tricorn Black
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



White 001
Shutters



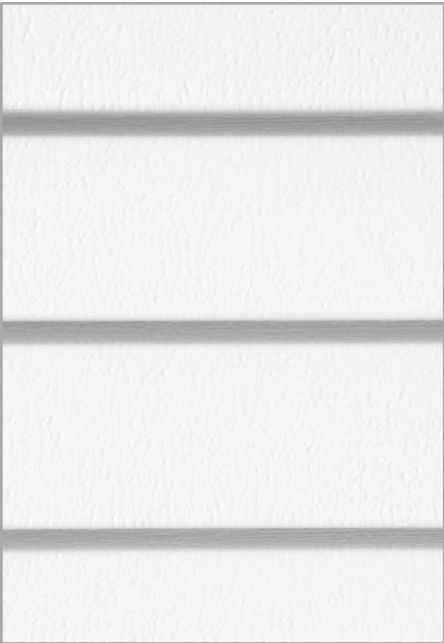
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



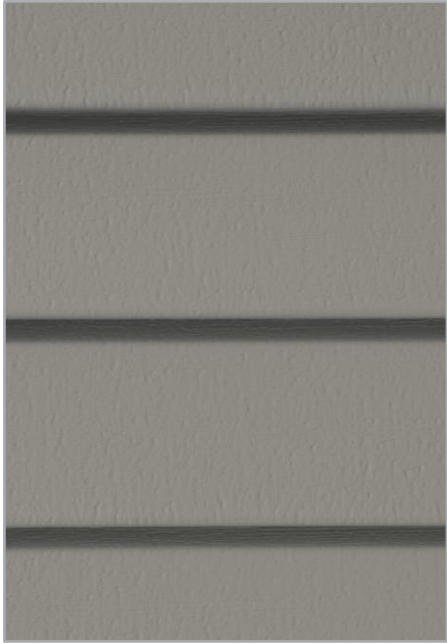
Herringbone
Vinyl Lap Siding Body 1



Prostack Lite - Saluzzo
Exterior Stone



Colonial White
Vinyl Lap Siding Body 2



Castle Stone
Vinyl Shake / Board & Batten



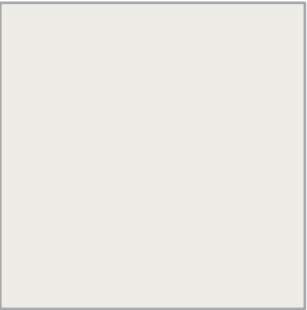
Weathered Wood
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



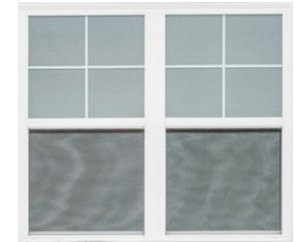
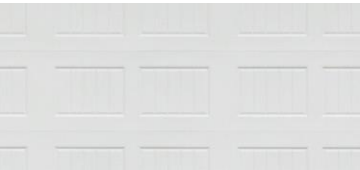
Snowscape White
Lap Gable Detail, Louver



SW 7674 Peppercorn
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



White 001
Shutters



Exterior Package M1-09



Desert Tan
Vinyl Lap Siding Body 1



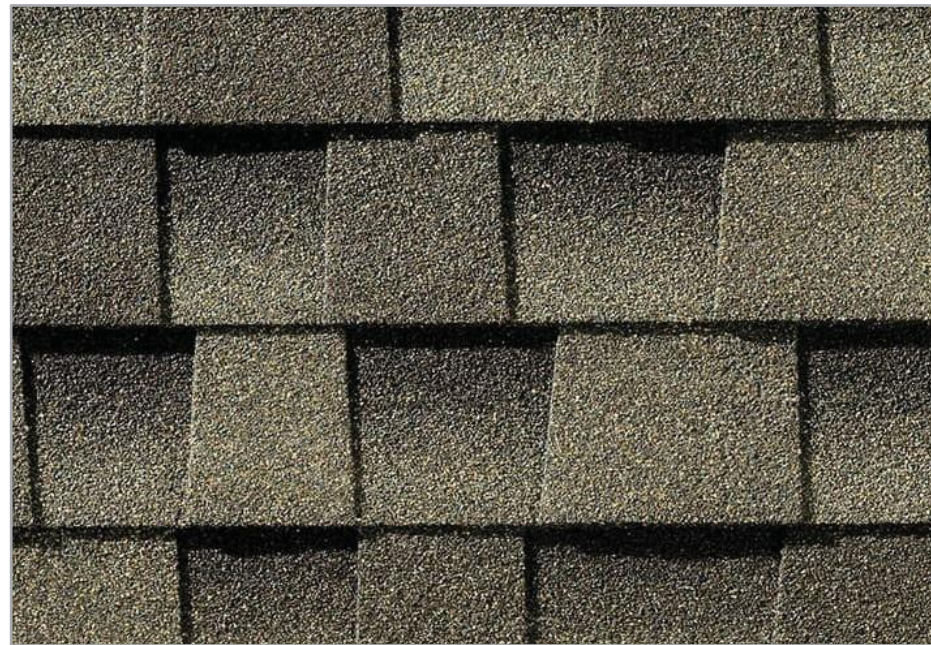
Prostack Lite - Saluzzo
Exterior Stone



Natural Clay
Vinyl Lap Siding Body 2



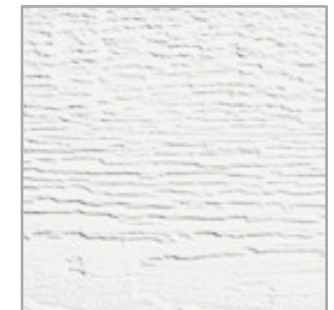
Castle Stone
Vinyl Shake / Board & Batten



Weathered Wood
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



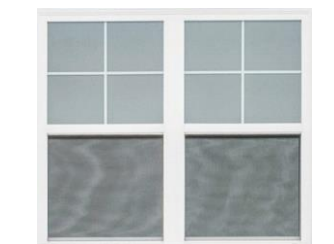
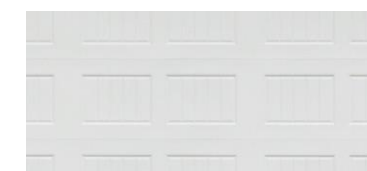
Snowscape White
Lap Gable Detail, Louver



SW 7020 Black Fox
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice

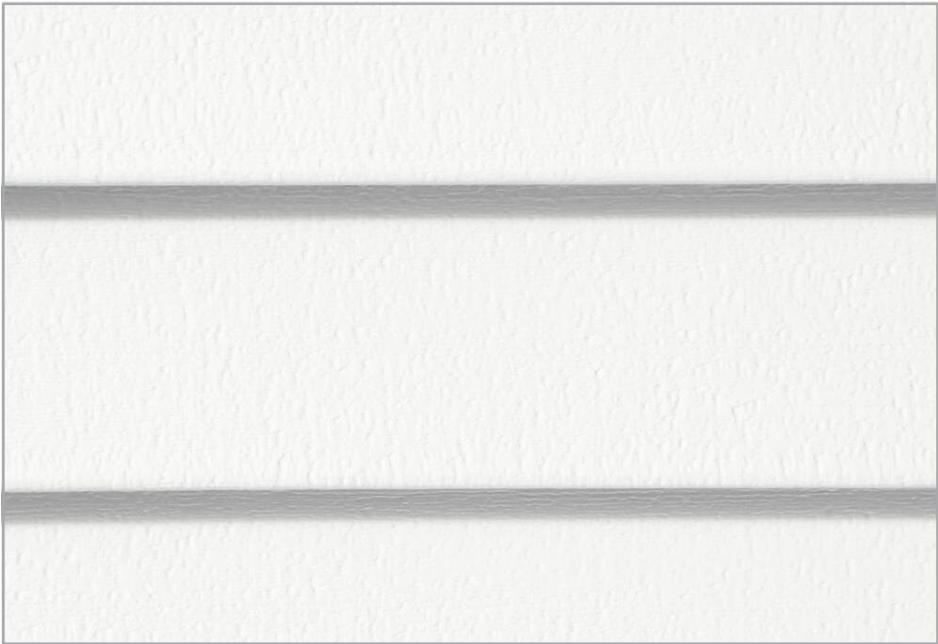


White 001
Shutters



****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Exterior Package M1-10



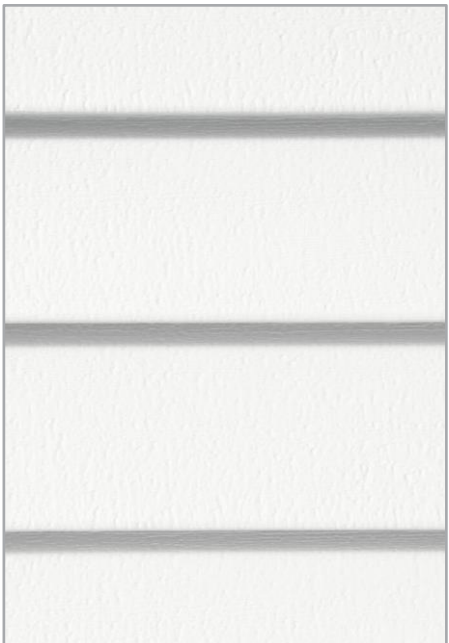
Colonial White
Vinyl Lap Siding Body 1



Shadow Ledgestone - Black Rundle
Exterior Stone



Charcoal Gray
Vinyl Lap Siding Body 2



Colonial White
Vinyl Shake / Board & Batten



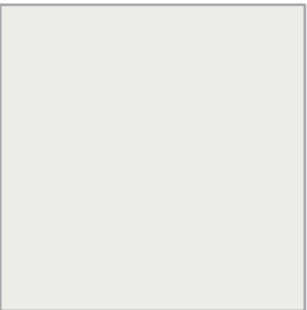
Charcoal
Roof



Snow
Soffit, Fascia



Snowscape White
Trim, Corner Board



SW 7005 Pure White
Columns



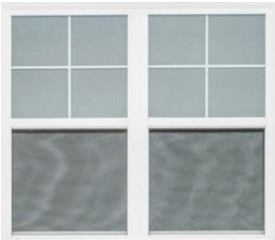
Snowscape White
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels,
Brackets, Cross Member
Bar, Lattice



Black 002
Shutters

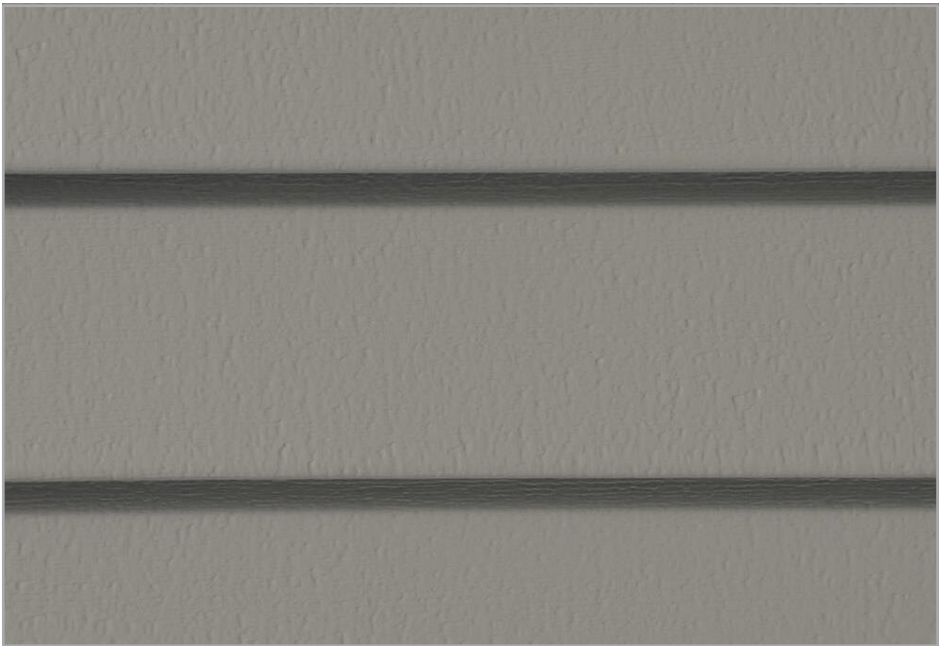


****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Features and designs vary and are subject to changes or substitution without notice. Items shown are artist's renderings and may contain options that are not standard on all models or not included in the purchase price. Availability may vary. Please see a New Home Consultant and/or home purchase agreement for actual features designated as an Everything's Included feature. Copyright © 2024 Lennar Corporation. Lennar, the Lennar logo and Everything's Included are U.S. registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Seller's Broker: Lennar Sales Corp.; U.S. Home, LLC. Construction License(s): CalAtlantic Group, LLC, BC736565; U.S. Home, LLC, BC001413. Date 05/24

Everything's Included

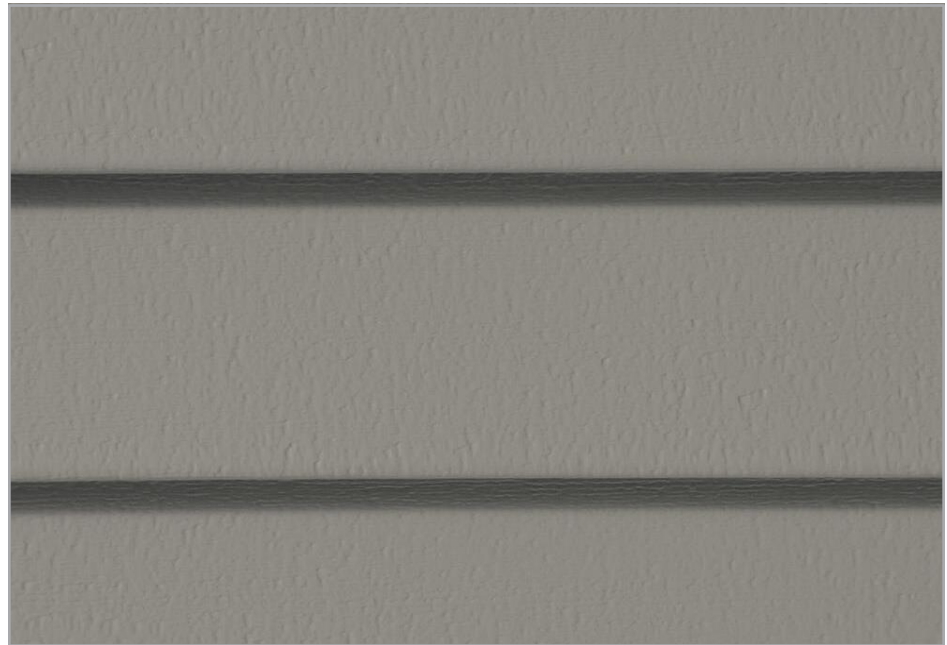
Exterior Package Group M5



Castle Stone
Vinyl Lap Siding Body 1 / Body 2



Tuscan Ledgerstone - Black Rundle
Exterior Stone



Castle Stone
Vinyl Shake / Board & Batten



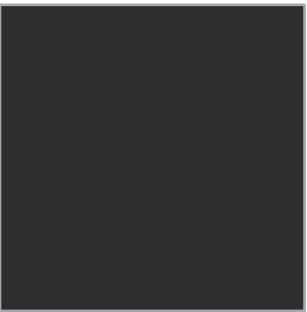
Charcoal
Roof



Black
Soffit, Fascia



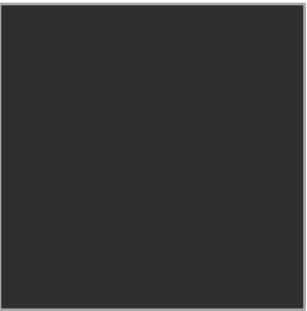
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



Black
Garage Doors



White
Windows

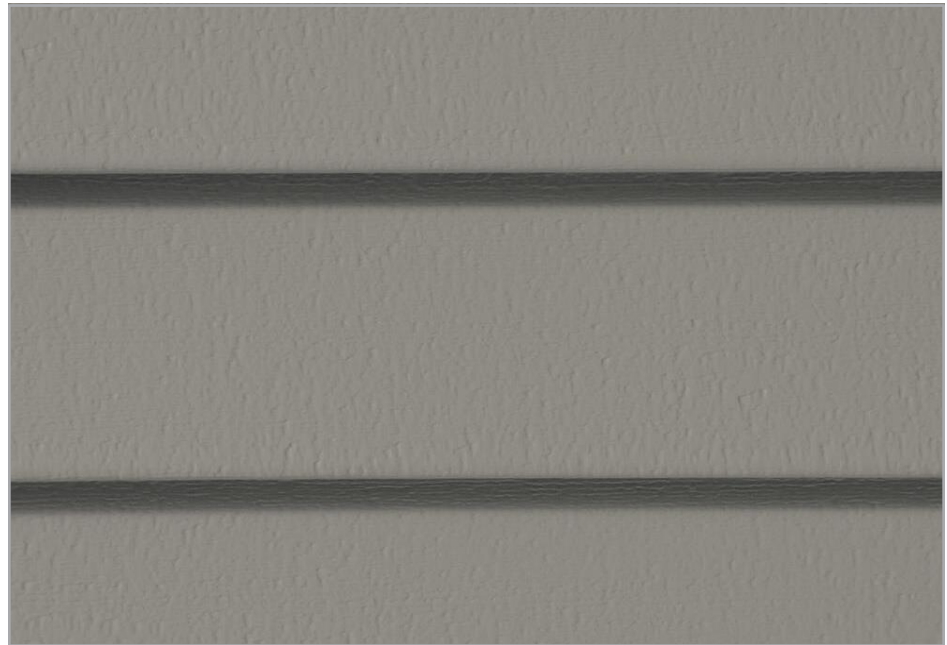
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



Pacific Blue
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledge - Bellweather
Exterior Stone



Castle Stone
Vinyl Shake / Board & Batten



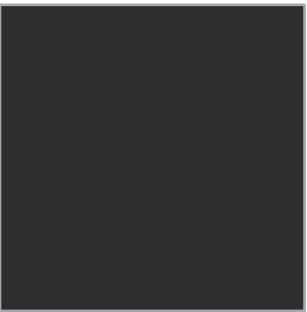
Charcoal
Roof



Black
Soffit, Fascia



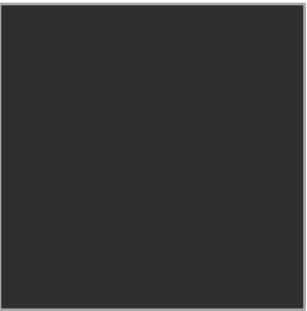
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



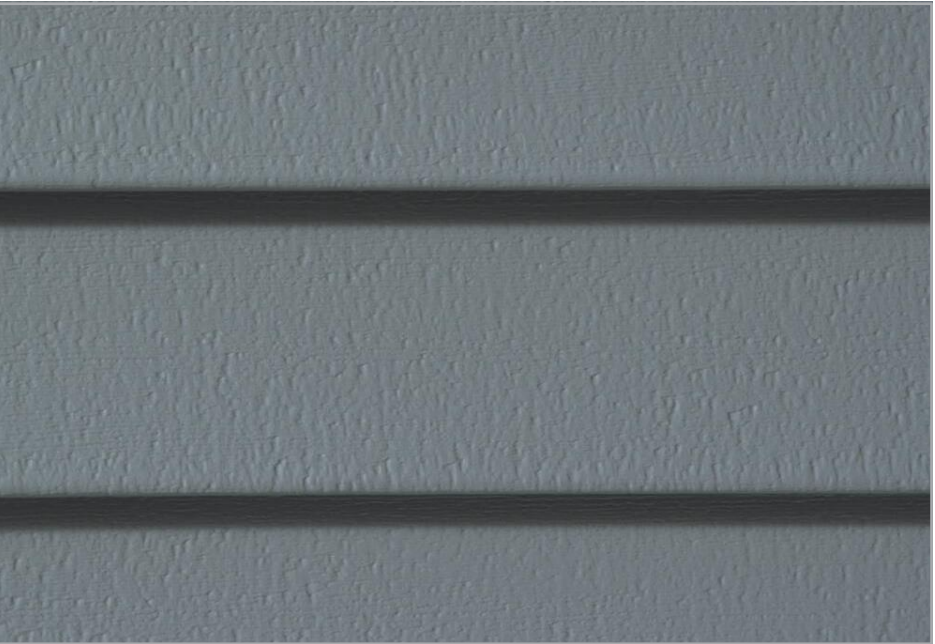
Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Exterior Package M5-03



Flagstone
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledge - Bellweather
Exterior Stone



Pacific Blue
Vinyl Shake / Board & Batten



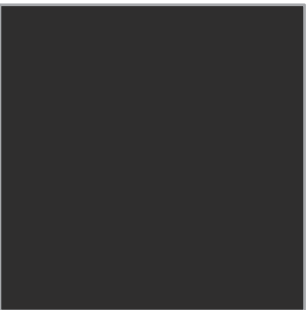
Charcoal
Roof



Black
Soffit, Fascia



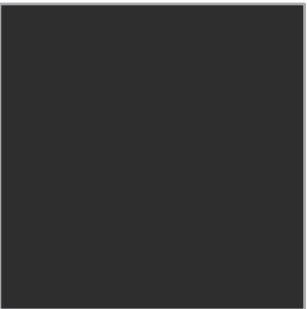
Abyss Black
Trim, Corner Board



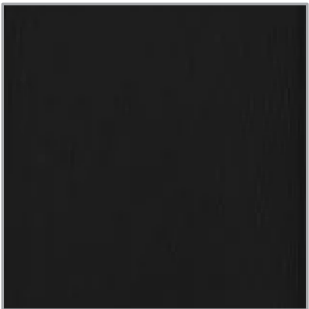
SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Exterior Package M5-04



Charcoal Gray
Vinyl Lap Siding Body 1 / Body 2



Tuscan Ledge - Limestone
Exterior Stone



Charcoal Gray
Vinyl Shake / Board & Batten



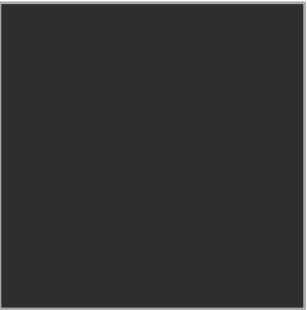
Charcoal
Roof



Black
Soffit, Fascia



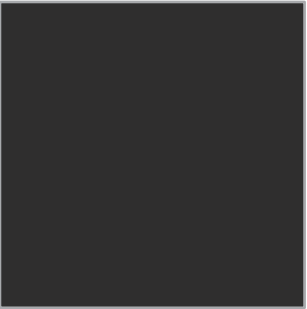
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Exterior Package M5-06



Natural Clay
Vinyl Lap Siding Body 1 / Body 2



Prostack Lite - Black Creek
Exterior Stone



Charcoal Gray
Vinyl Shake / Board & Batten



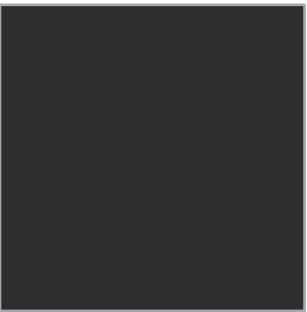
Charcoal
Roof



Black
Soffit, Fascia



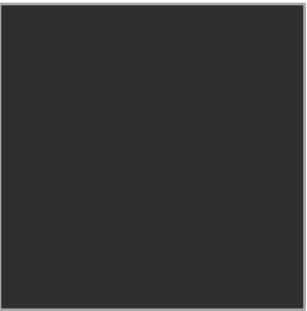
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



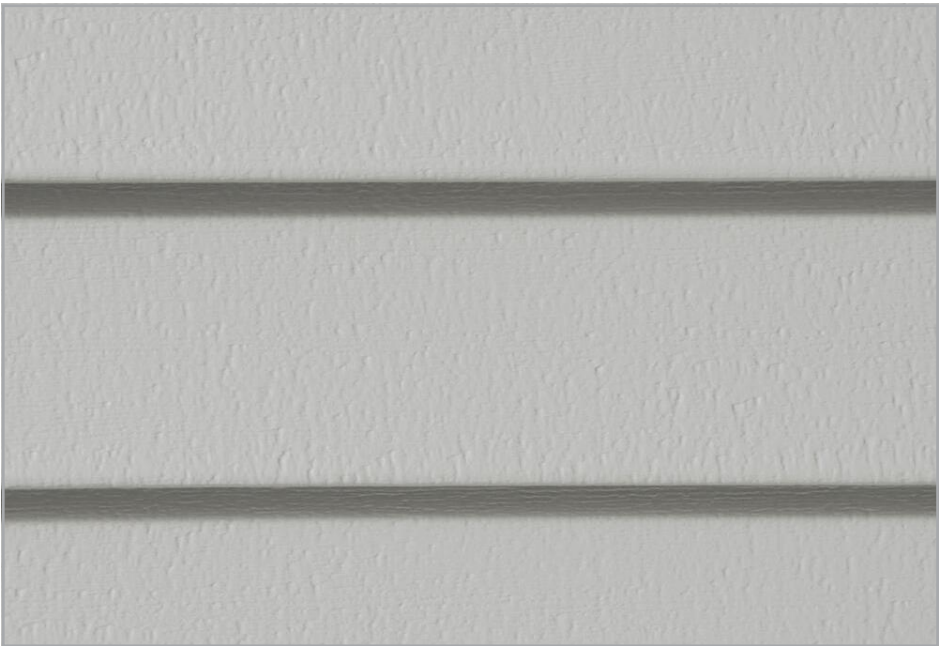
Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Exterior Package M5-07



Sterling Gray
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledgestone - Black Rundle
Exterior Stone



Charcoal Gray
Vinyl Shake / Board & Batten



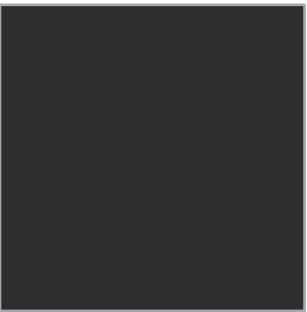
Charcoal
Roof



Black
Soffit, Fascia



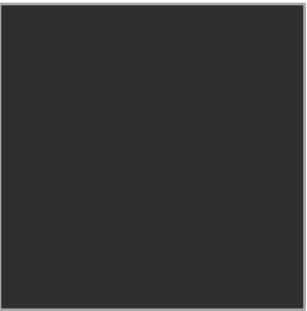
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters

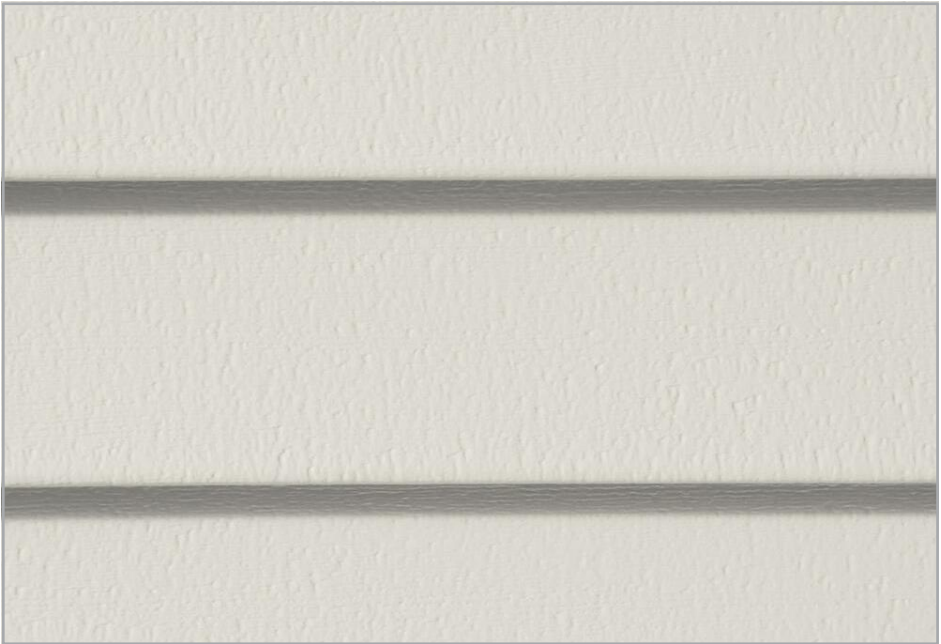


Black
Garage Doors



White
Windows

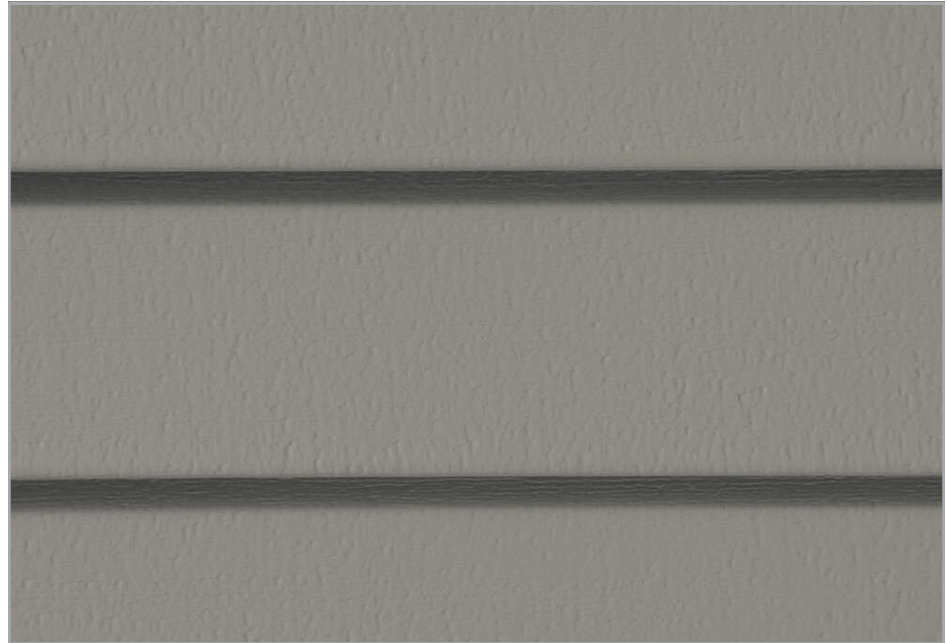
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



Herringbone
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledgestone - Slate
Exterior Stone



Castle Stone
Vinyl Shake / Board & Batten



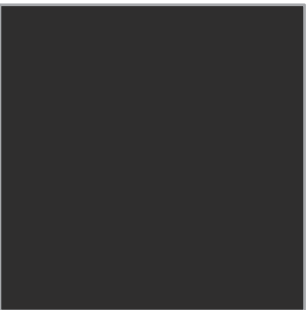
Charcoal
Roof



Black
Soffit, Fascia



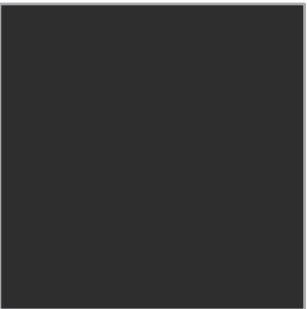
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Trim, Corner Board



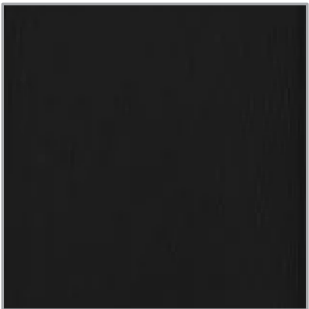
SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



Black
Garage Doors



White
Windows

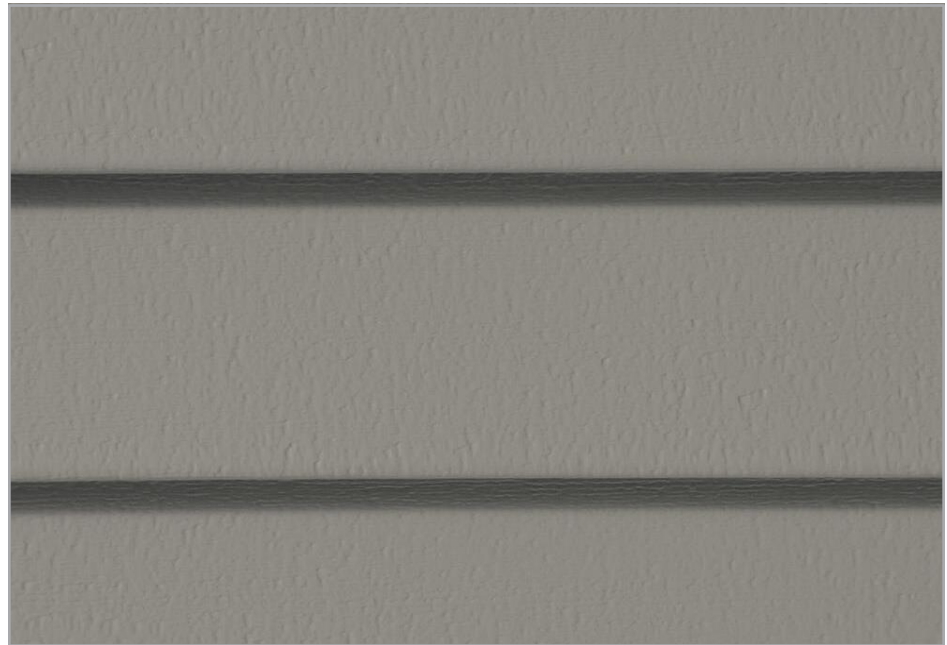
****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****



Desert Tan
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledgestone - Slate
Exterior Stone



Castle Stone
Vinyl Shake / Board & Batten



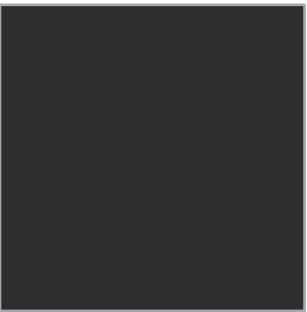
Charcoal
Roof



Black
Soffit, Fascia



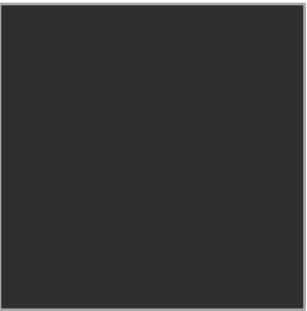
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



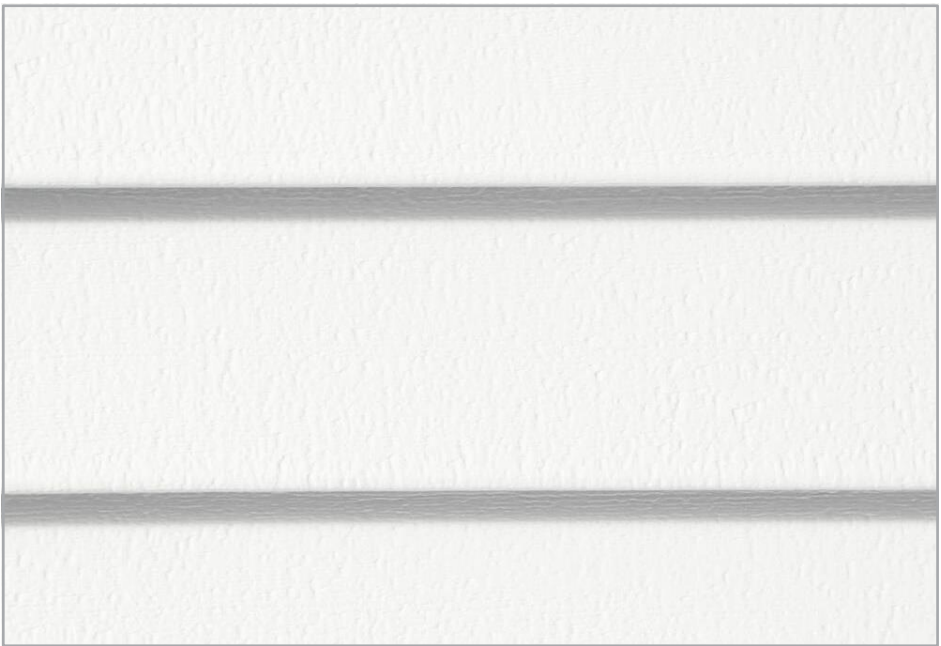
Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

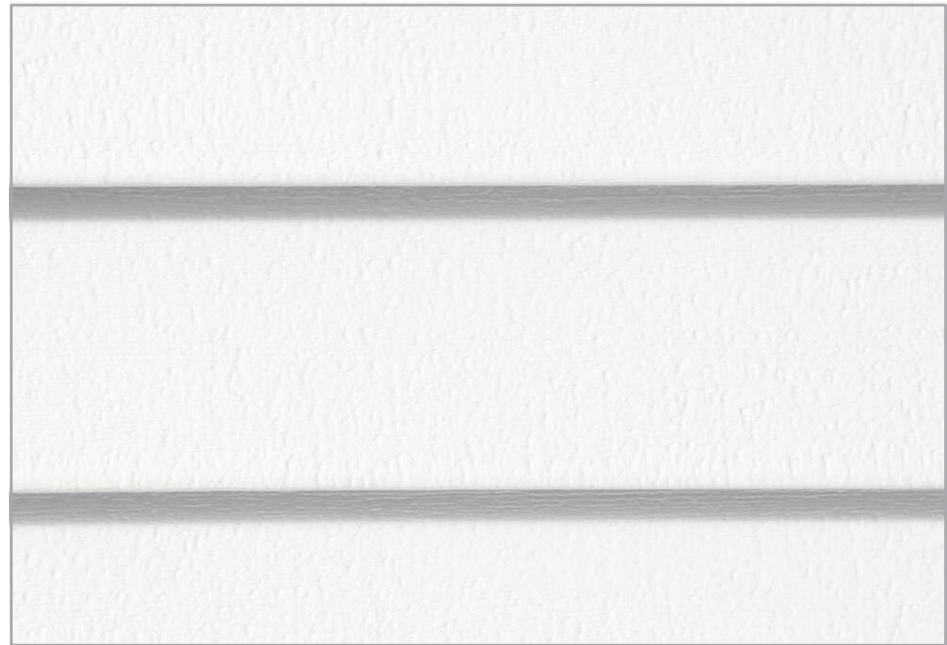
Exterior Package M5-10



Colonial White
Vinyl Lap Siding Body 1 / Body 2



Shadow Ledgestone - Black Rundle
Exterior Stone



Colonial White
Vinyl Shake / Board & Batten



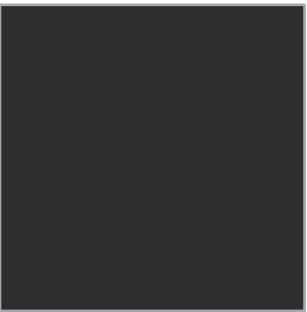
Charcoal
Roof



Black
Soffit, Fascia



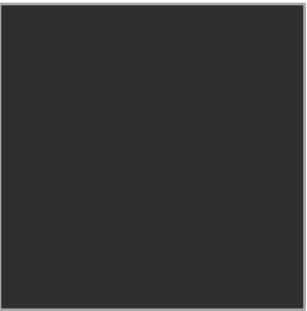
Abyss Black
Trim, Corner Board



SW 6258 Tricorn Black
Columns



Abyss Black
Lap Gable Detail, Louver



SW 6258 Tricorn Black
Front Door, Cedar, Corbels, Brackets, Cross Member Bar, Lattice



Black 002
Shutters



Black
Garage Doors



White
Windows

****NOT ALL EXTERIOR FEATURES AND PRODUCT STYLES MAY APPLY AND WILL VARY PER PLAN AND ELEVATION.****

Features and designs vary and are subject to changes or substitution without notice. Items shown are artist's renderings and may contain options that are not standard on all models or not included in the purchase price. Availability may vary. Please see a New Home Consultant and/or home purchase agreement for actual features designated as an Everything's Included feature. Copyright © 2024 Lennar Corporation. Lennar, the Lennar logo and Everything's Included are U.S. registered service marks or service marks of Lennar Corporation and/or its subsidiaries. Seller's Broker: Lennar Sales Corp.; U.S. Home, LLC. Construction License(s): CalAtlantic Group, LLC, BC736565; U.S. Home, LLC, BC001413. Date 05/24



Date: August 30, 2024

To: City of Forest Lake Planning Commission

From: Jordyn Lehman, Community Development Intern

Re: Septic System Setback Variance

Applicant and Owners: Tatiana & John Goes

Location: 7451 190th St N (PID 34-032-21-22-0004)

Zoning District: A – Agricultural

Comprehensive Land Use Plan: A – Agricultural

60-Day Deadline: October 14, 2024

Introduction/Background

Applicants Tatiana and John Goes, property owners of 7451 190th St. N are seeking to replace their current septic system as it has been deemed non-compliant by Washington County. Tatiana and John purchased the property on April 29, 2024 with the agreement that the seller would construct a new septic system. The seller employed Ben Zierk of Zierk Soil Testing to design the septic system who proposed the new septic system to be located in the north east corner of the lot. During the permit plan review process the property owners were informed by a Washington County inspector that a new, previously unmapped wetland had been identified on the property. This wetland is located 44 feet from the proposed site for the septic system. As such, the new septic system will not meet the 75-foot wetland setback requirement.

The required minimum setbacks and development standards for this proposal are:

1. 75 feet from the ordinary high-water line of the wetland to the east.

The proposed design of the new septic system requires City approval of the following:

1. A variance of 31 feet from the previously unmapped wetland to the east.

Washington County processes septic system applications and their construction within the City, but Forest Lake has local land use control, so any variance request about setbacks is treated as zoning code variance application. Please see the attached project narratives and maps for more information about this request.

The City requires a public hearing and the Planning Commission has final decision authority on variance applications.

Staff Analysis

According to Ben Zierke there are only two places a mound system could be constructed on the property: where the existing non-compliant septic system is to the west of the home or the proposed location in the north east corner of the property. The existing mound, which was built prior to the 75 foot wetland setback rule, currently does not meet existing the setback standards with a setback of 40 feet to the wetland on the western portion of the property. A new system in this location would also not meet the required set back standard and consists of clay fill soils which are deemed less suitable for a septic system.

The proposed location in the north east corner of the property would also not meet the required wetland setback standard with a proposed setback of 44 feet. This location also consists of native soils with better drainage and ability for effective wastewater treatment.

Review Comments

Washington County

Gary Bruns, Environmental Program Supervisor with the Washington County Department of Public Health and Environment, noted that due to the wetlands on the property a suitable location for a replacement septic system that meets the 75 foot setback standard is not available. Bruns states the location on the north east corner of the property is the best in terms of location and soils and will provide full treatment of effluent and protect groundwater on the property.

Findings of Fact

Section 153.036 of the Forest Lake Zoning Code outlines the requirements and standards for variances in Forest Lake. Section 153.036 (D) of the Forest Lake Zoning Code states that “the Planning Commission shall not recommend approval of any variance application unless it finds failure to grant the variance will result in practical difficulties for the applicant.”

In deciding whether to grant a variance, the Planning Commission must consider the following criteria as outlined in the Zoning Code. The criteria from the zoning code are listed in **bold**, followed by staff response in italics.

- (a) **Because of the particular physical surroundings, shape, or topographical conditions unique to the specific parcel of land involved, a practical difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;**

The applicant has identified conditions of the property that create a practical difficulty for installing a new septic system which include no suitable location for a septic system that meets the 75 foot wetland setback requirement available on the property.

- (b) **The property owner proposes to use the property in question in a reasonable manner not permitted by this chapter. Economic considerations alone (or desire to increase the value**

or income potential of the land) shall not constitute practical difficulties if reasonable use of the property exists under the terms of this chapter;

The applicant has proposed to build a new septic system that is a permitted use in this zoning district. The use of the property with a single-family home with a compliant septic system is a reasonable use of the property.

- (c) The plight of the landowner is due to circumstances unique to the property not created by the landowner;**

The applicant seeks to install a new mound-type septic system that would be less than 75 feet from the previously unidentified wetland to the east. The applicant did not create the shape of the lot nor were aware of the wetland east of the property that create the circumstances unique to the property.

- (d) The granting of the variance will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity of the parcel or land, nor shall it alter the essential character of the locality;**

Staff believes that if the City grants this variance to allow the installation of a new septic system it would not have negative impacts to the public welfare as the design of the new system with the requested setbacks would not be adjacent to any structures, it will not alter the essential character of the locality and the new system would be compliant with current standards.

- (e) The proposed variance is in keeping with the spirit and intent of this chapter and thus approval of the variance will not: 1. Impair an adequate supply of light and air to adjacent property; 2. Substantially increase the congestion of the public streets; 3. Increase the danger of fire; 4. Endanger the public safety; or 5. Substantially diminish or impair property values within the neighborhood; or 6. Cause drainage issues for an adjacent property.**

Staff believes the proposed variance is consistent with the spirit and intent of the zoning code and will not result in any negative impacts to the applicant's property, the wetland, or neighboring properties. The new septic system should provide better protection of the natural resources in the area as it will be compliant with current standards.

Recommendation

City staff recommends Planning Commission approval of Resolution 09-11-24-02. This resolution is for the approval of the variance request to allow the installation of a new septic system on the property located at 7451 190th St N, Forest Lake (PID 34-032-21-22-0004). This approval would allow the installation of a new septic system with a 31-foot setback variance so it will be within 44 feet of the adjacent wetland in the north east of the property. This approval shall be subject to the following conditions:

1. No construction or demolition shall occur before the issuance of the required City and Washington County approvals and permitting.
2. The applicant or contractor must obtain all required Washington County and Rice Creek Watershed District permits before starting any site work.
3. The new septic system must be built to the County-approved plan and shall be consistent with the plans as requested with the variance application.

Attachments:

1. Narrative
2. Location Map
3. Property Line (Aerial Photo)
4. Ben Zierk Statement and Map
5. Jay Riggs Map
6. Resolution 09-11-24-02

To the City of Forest Lake:

August 9, 2024

We, the homeowners of 7451 190th St. N., are writing to respectfully request a variance for the placement of a new septic system on our property. The need for this variance arises from the discovery of a previously unmapped wetland on our land, which was identified after we purchased the property. We believe that the proposed location for the septic system is the most suitable given the property's unique conditions, and we aim to demonstrate that our request aligns with the City of Forest Lake's requirements for granting a variance.

Background:

On April 29, 2024, we purchased the property at 7451 190th St. N. with the agreement that the seller would construct a new septic system, as mandated by Washington County. The existing septic system was deemed by the County to be functioning, but not compliant with newer regulations. The seller engaged Ben Zierke of Zierke Soil Testing to design the system, and Ramberg Excavating was contracted to execute the project, with funds escrowed for this purpose as per the purchase agreement.

However, during the permitting process, Ramberg Excavating was informed by Washington County inspector that a new, previously unmapped wetland had been identified on our property by a wetland specialist engaged by the County. This wetland is located 44 feet from the proposed site for the septic system mound, which does not meet the 75-foot setback requirement set by Washington County. As a result, we were advised that a variance from the City of Forest Lake would be necessary to proceed with the construction.

Variance Request:

We are seeking a variance to reduce the required setback from the wetland from 75 feet to 44 feet to allow for the installation of a new septic system. We believe that this request meets the City's listed criteria for granting a variance, as outlined below:

1. Practical Difficulty Due to Unique Physical Conditions (Section a):

The presence of the newly identified wetland creates a practical difficulty in adhering to the strict letter of the zoning regulations. The only other location for the septic system would also violate the wetland setback and is located on clay fill soils, which are less suitable for a septic system. The proposed location, by contrast, is on native soils with better drainage and is more suitable for effective wastewater treatment. Therefore, enforcing the 75-foot setback would impose a significant practical difficulty, not just a mere inconvenience.

2. Reasonable Use of the Property (Section b):

The proposed septic system is a reasonable and necessary use of our property. It replaces an outdated system that no longer complies with current County regulations. Minnesota state statute 462.357 subd.1e supports variances that allow for the replacement or improvement of legal

nonconformities, such as our existing septic system. The proposed system does not increase nonconformity but rather improves the property's environmental compliance by upgrading the septic infrastructure.

3. Circumstances Unique to the Property (Section c):

The challenge we face is due to circumstances unique to our property, specifically the newly identified wetland that was not mapped at the time of our purchase. We, as homeowners, did not create these circumstances; they were discovered post-purchase, and we are now seeking to address them responsibly by installing a compliant septic system in the most suitable location.

4. No Detriment to Public Welfare or Adjacent Properties (Sections d & e):

Granting this variance will not harm public welfare, nor will it negatively impact adjacent properties. The proposed system has been designed to ensure effective treatment of effluent and protection of groundwater, thereby enhancing the property's environmental safety. The variance will not impair light or air supply to adjacent properties, nor will it increase public street congestion, fire danger, or drainage issues. In fact, it will improve public safety by replacing an outdated septic system with a modern, compliant one.

Conclusion:

We believe that our request for a variance is fully justified based on the unique circumstances of our property, the practical difficulties imposed by the strict application of the zoning code, and the benefits of the proposed septic system. We respectfully ask for your approval of this variance to allow us to proceed with the installation of a new, compliant septic system.

Thank you for your time and consideration.

Sincerely,
John Goes



0 132 Feet



**BOLTON
& MENK**

Real People. Real Solutions.

Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.



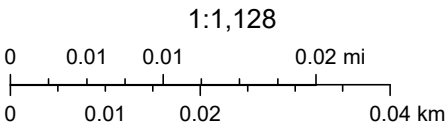
Forest Lake
AS GOOD AS IT SOUNDS

**7451 190th Street - Aerial
Photo**



8/12/2024, 9:06:37 AM

-  Parcels
- Contours2011
-  Index
-  Intermediate



ZIERKE SOIL TESTING

John Goes
7451 190th St N
Forest Lake, MN 55025

7/19/2024

Dear John Goes,

This past March I completed a septic design for the seller of the house you presently own. During that process, I set out to maintain the Washington County wetland set back of 75' to septic by measuring off of the mapped wetland that exists to the west and south of the home.

During the plan review process with Washington County Public Health, an inspector with the county chose to invite a county wetland specialist to investigate the property and they identified another wetland in the northeast corner of the property that was previously unmapped/unidentified. That wetland is 44' from the mound system I proposed in my plan, less than the required 75' in Washington County ordinance.

There are only two places a mound system could be constructed on the property. The first location we investigated was the area of the existing (non-compliant) mound system to the west of the house. This area consists of clay fill soils and would need to have the existing system removed. A great deal of soil correction would also need to take place to get the elevations correct for a mound system installation, and even once all that is complete some infringement of the 75' wetland setback would be necessary.

The location proposed in my plan has some advantages over the first area: 1). It consists of native soils – this is important as we know how native soils perform when a septic system is installed (fill soils are a gamble as they are all one of one experiments). 2). The contour is running the ideal direction to fit the system in the proposed area so no soil corrections are necessary.

Minnesota state statute 462.357 subd.1e should also apply here: the existing system was installed legally with a permit in 1982-1984. The 75' wetland rule did not exist at that time, and the existing mound is approximately 40' from the wetland to the west. This makes the existing

ADDRESS:
28587 Jeffrey Ave
Chisago City, MN 55013

PHONE 651-249-1346
EMAIL benzierke@gmail.com

septic a legal nonconformity, and the state statute gives the property owners the right to replace, restore, or improve legal nonconformities. In this case, the proposed mound would be a replacement that does not increase the legal nonconformity already present on the property and should be approved. An explanation of this statute from the League of Minnesota Cities is available here: <https://www.lmc.org/resources/land-use-nonconformities/>

To summarize: it is my professional opinion that the septic site to the east of the house is superior in terms of location and soils to the site to the west, and I believe a variance approval of 44' is appropriate to allow you to construct a mound system which will provide full treatment of effluent and protect groundwater on your property.

Sincerely,

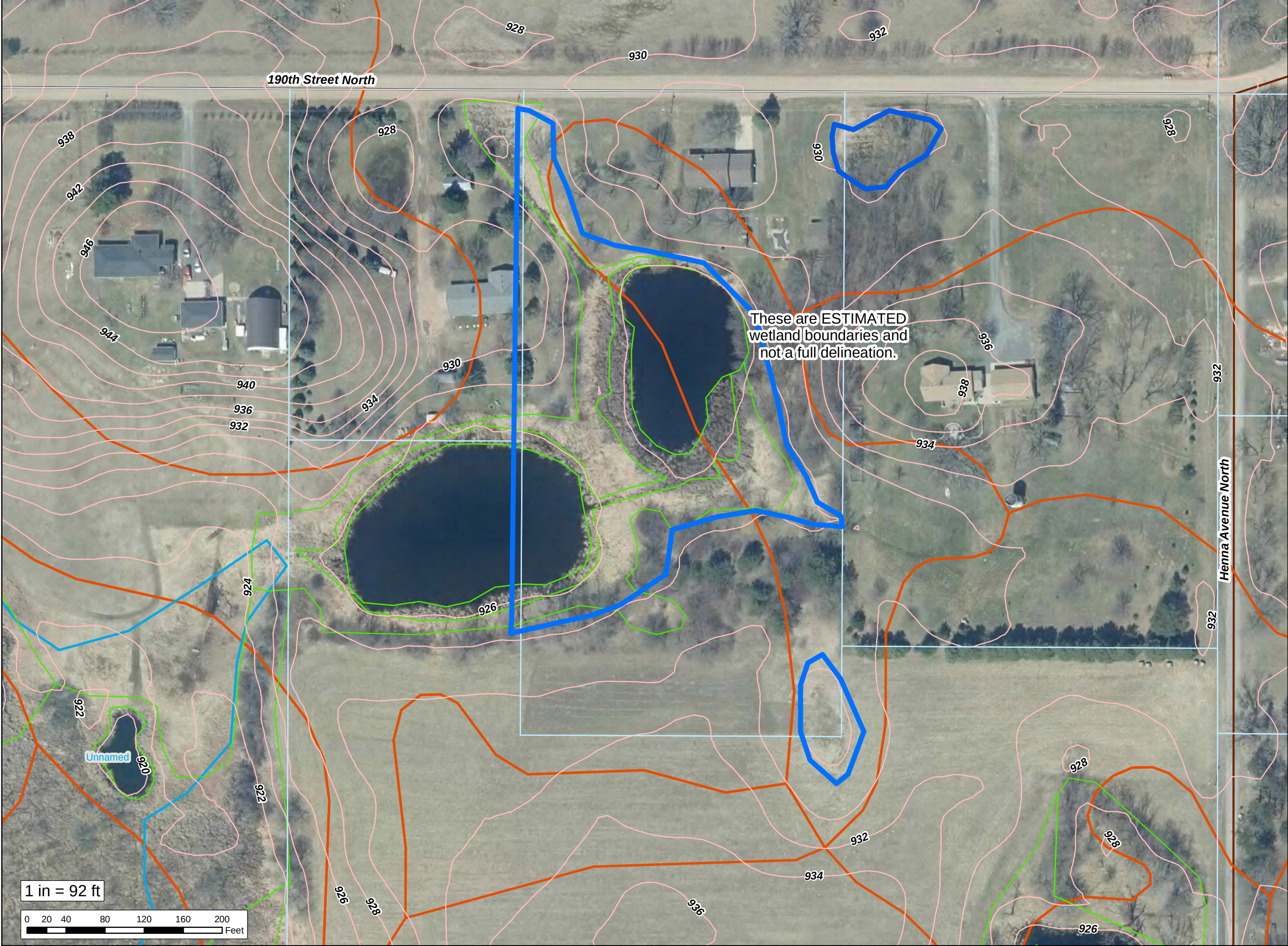


Benjamin Zierke
MPCA Lic 119, Cert 9594

ADDRESS:
28587 Jeffrey Ave
Chisago City, MN 55013

PHONE 651-249-1346
EMAIL benzierke@gmail.com
WEBSITE Enter website





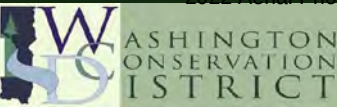
KEY TO FEATURES

- Parcels
- 2 ft Contours (LiDAR)
- National Wetland Inventory
- DNR Public Waters
- DNR Public Watercourse
- Hydric/Wetland Soils



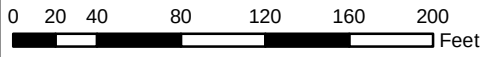
Wetland Inquiry

7451 190th
Forest Lake
CLFLWD



2022 Aerial Photo

1 in = 92 ft



**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 09-11-24-02

**A RESOLUTION APPROVING A 31-FOOT WETLAND SETBACK VARIANCE TO
ALLOW THE INSTALATION OF A NEW SEPTIC SYSTEM ON THE PROPERTY
LOCATED AT 7451 190TH STREET NORTH**

WHEREAS, Tatiana and John Goes (“Owners”) own the real property located at 7451 190th Street North, located in the City of Forest Lake, Washington, County, Minnesota PID No. 34-032-21-22-0004 (“Property”); and

WHEREAS, applicants Tatiana and John Goes (“Applicant”), submitted a complete application to the City of Forest Lake on August 15, 2024 for a zoning variance to have a reduced setback to an existing wetland to allow for the installation of new septic system on the Property, (“Variance”) and Forest Lake City Staff reviewed the application for the Variance and discussed the same with the Applicant and Owners; and

WHEREAS, the requested variance and approval is a variance of 31 feet (to allow a wetland setback of forty four (44) feet) from the existing wetland in the north east corner of the property for the new septic system; and

WHEREAS, Staff recommended approval of the variance request as further articulated in the City Staff Report dated August 30, 2024, for the September 11, 2024 Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. By the City of Forest Lake granting of the Variance to allow for the installation of a new septic system, the Applicant and Owners will have a reasonable use of the property.
2. The Applicant and Owners have identified several conditions of the property that create a practical difficulty for installing a new septic system which include no suitable location on the property for a septic system that meets the 75 foot wetland setback requirement available.
3. Actions of the Applicant and Owners did not create the need for the requested Variance.
4. If the City grants this Variance to allow the installation of a new septic system, it would not have negative impacts to the public welfare as the proposed design of the new septic system with the proposed setbacks would be compliant with current standards, be placed in soils better suited for a septic system, and will not alter the essential character of the locality as the proposed location requires a lesser amount of filling and grading on the property.
5. The proposed Variance is consistent with the spirit and intent of the Forest Lake Zoning Code and will not result in any negative impacts to the applicant’s property, adjacent wetlands, or neighboring properties. The new septic system should provide better protection of the natural resources in the area as it will be compliant with current standards.

WHEREAS, a notice of a public hearing on said variance was duly published, posted and mailed in accordance with applicable Minnesota Statutes; and

WHEREAS, the Forest Lake Planning Commission (Planning Commission) held a public hearing at its September 11, 2024 meeting where they offered all persons interested in said Variance an opportunity to present their views and objections to the City granting of said Variance; and

WHEREAS, the Planning Commission also considered the application for the Variance, took comments from the Applicant and Owners, and reviewed the Staff Report; and

WHEREAS, the Forest Lake Planning Commission has determined that the City should approve the proposed Variance as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby approves the Variance for the Property as described herein.

This resolution is adopted by the Planning Commission of the City of Forest Lake this 11th day of September, 2024.

Attest:

Paul Girard, Planning Commission Chair

Jolleen Chaika, City Clerk

ATTACHMENT TO RESOLUTION NO. 09-11-24-02**LEGAL DESCRIPTION****EXHIBIT "A"**

That part of the Northwest Quarter of the Northwest Quarter of Section 34, Township 32 North, Range 21 West, Washington County, Minnesota, described as follows: Commencing at the Northeast corner of the Northwest Quarter of Northwest Quarter of Section 34; thence Westerly along the North line of said Northwest Quarter of Northwest Quarter, a distance of 383 feet to the point of beginning; thence Southerly, deflecting 90 degrees to the left, a distance of 661.4 feet; thence Westerly, parallel with the North line of said Northwest Quarter of Northwest Quarter, a distance of 329.3 feet, more or less, to the East line of the West 600 feet of said Northwest Quarter, of Northwest Quarter; thence Northerly along said East line, a distance of 661.4 feet, more or less, to the North line of said Northwest Quarter of Northwest Quarter; thence Easterly, along said North line, a distance of 329.3 feet to the point of beginning.

PID: 34-032-21-22-0004



Date: September 11, 2024
To: City of Forest Lake Planning Commission
From: Ken Roberts, City Planner
Re: **Side Yard Setback Variance**
Applicant and Owners: Erin Wilson and Stephen Krenz
Location: 919 North Shore Drive (PID 04-032-21-32-0015)
Zoning District: SF – Single-Family Residential
Comprehensive Land Use Plan: Single Family Residential
60-Day Deadline: October 10, 2024

Introduction/Background

Erin Wilson and Stephen Krenz, owners of the property located at 919 North Shore Drive, are proposing to construct a covered-porch addition on to the lake side of the existing house on their property. The project plans show the proposed addition will not meet the minimum side yard setback standard of 10 feet from the side property line. The applicants are asking the City to allow them to construct the porch addition with a 4.7-foot setback from the side property line, thus requiring City approval of a 5.3-foot side yard setback variance.

The required minimum side yard setback in the single-family residential zoning district for a structure is 10 feet from the side property line. The proposed design of the covered porch addition requires City approval of a 5.3 -foot setback variance to the 10-foot side yard setback requirement (to allow a side yard setback of 4.7 feet) from the side property line.

Please see the attached project narrative, maps and drawings for more information about this request. The City requires a public hearing and the Planning Commission has final decision authority on variance applications in Forest Lake.

Staff Analysis

Variance

The proposed covered porch addition would have a side yard setback of 4.7 feet, thus requiring City consideration of a 5.3-foot side yard setback variance. The applicants are primarily requesting the reduced side yard setback to construct the exterior side wall of the porch so it would be in line with the

side wall of the existing house. They also note in their application materials they think such a design would be aesthetically pleasing and would be easier to construct than if they constructed the addition with a 6-foot or a 10-foot side yard setback.

Review Comments

Building Department

Nate Moats, City Building Inspector, has had an opportunity to review the variance application and proposed project plans. He provided me the following comments as they relate to the side yard setback question & the crawl space access door. I have shared these comments with the project designer.

Per MRC Table R302.1(1)

1. If the exterior wall is less than 5 ft from the property, it will be required to have a 1 hour rating. This would apply even to a screen being installed between the column and the house.
2. Any portion of the structure less than 5 ft, including the exposed columns, beams, etc. would be required to have a 1 hour rating or be considered heavy timber.
3. If the exterior wall including the screen is less than 5 ft away from the property line, then it is only allowed to have 25% maximum of the wall area open.

Note: This comment means the Building Code would require an extra-level of construction for fire protection and it would not allow the installation of a screen wall on the side property line if the proposed addition would be less than five feet from the side property line.

Per MRC R408.4

1. A door cannot be installed over the crawl space access door. If a door is to be installed in that location, then the access door would need to be relocated. If only a deck is installed over the access door, it would be allowed but the access door dimensions would have to be provided under the entire deck. The access door wouldn't be allowed to be accessed through the floor of the deck.

Note: This matter is along the front (lakeside) of the proposed addition and is not directly relevant to the variance request. The project designer told me they would revise the project plans to address this situation before submitting a building permit application.

Watershed District

Mike Sandager, Permit Coordinator with the Comfort Lake-Forest Lake Watershed District, reviewed the proposed project plans. He noted the following:

1. The variance request does not trigger any CLFLWD rules. However, if the project disturbs more than 5,000 SF or moves more than 50 CY of material an erosion control permit would be required.
2. If these thresholds are not reached a CLFLWD permit is not required. A sediment and erosion control permit will be required for the work (during the construction process). No application has been submitted to CLFLWD at this time.

Public Comment

The applicant submitted two letters of support with their application materials. As of the writing of this report City staff had not received any other public comments about this proposal.

Findings of Fact

Section 153.036 of the Forest Lake Zoning Code outlines the requirements and standards for variances in Forest Lake. Section 153.036 (D) of the Forest Lake Zoning Code states that “the Planning Commission shall not recommend approval of any variance application unless it finds failure to grant the variance will result in practical difficulties for the applicant.”

In deciding whether to grant a variance, the Planning Commission must consider the following criteria as outlined in the Forest Lake Zoning Code. The criteria from the zoning code are listed in **bold**, followed by staff response in italics.

- (a) Because of the particular physical surroundings, shape, or topographical conditions unique to the specific parcel of land involved, a practical difficulty to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;**

The Applicant has identified several conditions of the property, including the location of the existing house that create a practical difficulty for constructing the proposed covered porch addition that would meet all side yard setback requirements. According to the applicant, if they were to position the proposed porch addition with a 10-foot side yard setback, it would be difficult to connect the porch addition to the house and such a design would not be as practical or as convenient than the proposed design with a 4.7-foot side yard setback. City staff views this as a mere inconvenience and not necessarily a practical difficulty for the applicant.

- (b) The property owner proposes to use the property in question in a reasonable manner not permitted by this chapter. Economic considerations alone (or desire to increase the value or income potential of the land) shall not constitute practical difficulties if reasonable use of the property exists under the terms of this chapter;**

The Applicant is proposing to build an attached covered porch on to an existing single-family home with a reduced side-yard setback. The use of the property with a single-family home and an attached porch is reasonable and is in line with the intent of the zoning district. However, the desire to have a single-family home with a covered porch addition with a reduced side yard setback that increases the value or income potential of the property does not constitute a practical difficulty as there is an existing reasonable use of the property.

- (c) The plight of the landowner is due to circumstances unique to the property not created by the landowner;**

The existing house has a 4.7-foot side yard setback. The shape and size of the property, the location of the existing house and the detached garage are unique to the property and were not

created by the applicant. The proposed covered porch addition, however, with a reduced side yard setback would be a circumstance created by the landowner.

- (d) The granting of the variance will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity of the parcel or land, nor shall it alter the essential character of the locality;**

The proposed plan for the covered porch addition is not expected to adversely impact other land or improvements in the vicinity of the property, nor will it be injurious to or alter the essential character of the area. The proposed covered porch addition would not be adjacent to any existing structures on the adjacent property.

- (e) The proposed variance is in keeping with the spirit and intent of this chapter and thus approval of the variance will not: 1. Impair an adequate supply of light and air to adjacent property; 2. Substantially increase the congestion of the public streets; 3. Increase the danger of fire; 4. Endanger the public safety; or 5. Substantially diminish or impair property values within the neighborhood; or 6. Cause drainage issues for an adjacent property.**

As noted earlier, this variance request does not appear to meet the spirit and intent of the zoning ordinance. The proposed covered porch addition with a 4.7-foot side yard setback will not impair an adequate supply of light and air to adjacent property, will not increase congestion of the public streets, should not increase the danger of fire (if constructed to meet current building code standards), should not endanger public safety nor should it diminish or impair property values in the neighborhood and if the site grading is done correctly, should not cause drainage issues for an adjacent property.

Recommendation

City staff recommends the Planning Commission **move to approve Resolution 09-11-24-03**. This resolution is for the **denial** of a 5.3-foot side yard setback variance to allow the construction of an attached covered porch on the property located at 919 North Shore Drive (PID: 04-032-21-32-0015). City staff is recommending denial of the variance request because as proposed, the covered porch addition would not meet all the criteria for approving a variance listed in Section 153.036 (D) and not granting the variance will not result in a practical difficulties for the applicant.

Attachments:

1. Project Description and Variance Narrative dated August 12, 2024
2. Aerial Photo
3. Aerial Photo
4. Existing Conditions Site Plan
5. Proposed Site Plan
6. Existing Conditions Survey
7. Proposed Conditions Survey
8. Proposed Overall Floor Plan
9. Proposed Project Plans
10. Proposed Building Addition Images
11. 7-18-2024 letter from Bill and Jill Somrock
12. 7-18-2024 letter from Jennifer Remme
13. Planning Commission Resolution 09-11-24-03

Legend

-  City Limits
-  Parcels 07/31/2024
-  Lot Lines



Variance for Porch
919 N Shore Dr



Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

0 50 Feet

KRENZ-WILSON VARIANCE APPLICATION

Krenz-Wilson Residence
 919 North Shore Drive
 Forest Lake, MN 55025



All principal land uses within 350' of the property are SF - Single Family Residential District per Forest Lake Zoning Map (May 2021)

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Figure F.4 & F.5 | Proposed Renderings

Figure F.6, F.7, F.8, F.9 | Proposed Renderings

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Study w/ 6' Side Setback

Figure G | Site Plan Study - 6' Side Setback

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Letters of Support from Adjacent Neighbors

Figure M | Letter of Support from 909 North Shore Drive (William & Jill Somrock)**Figure N** | Letter of Support from 931 North Shore Drive (Jennifer Remme)

PROJECT DESCRIPTION

August 12, 2024

Dear City of Forest Lake Planning Department:

Thank you for the opportunity to submit our application that includes two variance requests for a new screen porch addition at 919 North Shore Drive, for Erin Wilson and Stephen Krenz.

The parcel is located on the west side of Forest Lake. A small one room cabin was originally built along North Shore Drive then a basic, one-story, two-bedroom home was later built in 1962. The property has been relatively unchanged since Erin and Steve purchased the property in 2011.

Under the Forest Lake City Code, the property is considered nonconforming because it does not meet current city minimum lot requirements of 15,000 square feet and is subsequently in violation of side yard setback requirements, as well as the maximum impervious surface coverage allowed. The owner's are also making every effort to reduce impervious surface coverage with this proposal.

The existing two bedroom home is small, dated and does not maximize the potential value of the lot. The 1,000 finished square feet of the home does not currently serve the owner's lifestyle or desire to age-in-place. To remedy the property, the owners are proposing to add a screened in porch the entire width of the house, extending 16' towards the lake. We are asking for your permission with this variance request to align the new screen porch addition on the northern side of the house at 4.7' from the property line.

The home is a split level with three risers separating the living room from the bedrooms. To resolve the walkout conditions and circulation, we propose a split level screened porch with walkouts from both levels. The designer has taken great care to address all issues with respect to the footprint of the home and character of the neighborhood, while remediating impervious surface coverage and preserving neighboring views to the lake. The orientation and siting of the project fully respects neighboring access to daylight and fresh air by being setback further than the adjacent neighboring houses from the lake.

We believe granting of the variance will not be detrimental to the public welfare or injurious to other land or improvements in the vicinity, nor does it alter the character of locality. By requesting the variance to align with the existing structure, we are in fact more consistent with the character of locality. Our proposal does not in any way impede on existing daylight or free air access. There is no increased traffic congestion or dangers associated with the project and we fully believe our proposal brings value to the neighborhood. Furthermore, since these conditions have long since existed, the plight of the landowner is due to circumstances unique to the property and not created by the landowner. Therefore, we are requesting your permission to use their property in a reasonable manner while constituting these practical difficulties.

We have provided three different options in efforts to illustrate our variance request and why it is absolutely necessary to the project to allow for these practical difficulties. The first option we studied is compliant with current city code with a side setback of 10' which proved not feasible from a structural or aesthetic standpoint as illustrated in attached Figure K. Such a walkout from the bedroom is not functional and simply unusable. The second option illustrates the screen porch with a 6' side yard setback, which is consistent with nonconforming properties with existing side yard setbacks not less than 6'. This option is again not feasible from a structural and aesthetic standpoint as detailed in the following figures. The third and final option is our proposal to align

the screen porch wall with that of the existing house at 4.7' from the property line. This option is really the only way from a structural standpoint due to a high water table and shallow existing footings. The corner of the foundation is the most robust location for additional point loading from the new addition. Standard structural connections can also be used, whereas with the other two options there is uncertainty from a structural connection standpoint with beams offset at different elevations.

We have also taken great efforts to address and correct existing impervious surface conditions as much as possible. Every effort is being made to lessen the impervious surfaces, which is consistent with current city nonconforming code requirements.

It is also worth noting the majority of neighboring properties are also nonconforming because they do not meet minimum lot size requirements and are also in violation of setback and maximum impervious surface requirements. We kindly ask for the City of Forest Lake and its Planning Commission to work with us on this matter, by acknowledging these unique circumstances and allowing us these practical difficulties. We ask that you recommend the approval of our variance request and making it possible for us to make these much needed improvements to the property. Please find attached also letters from adjacent property owners in complete support of our project.

We sincerely thank you for your time and consideration. Please feel free to reach me directly at 651.472.3748 or at ryan@rad-mn.com

Sincerely,

A handwritten signature in black ink, appearing to be 'Ryan Andrews', with a stylized, elongated horizontal stroke at the end.

Ryan Andrews, Associate AIA

PROJECT DATA

Owner: Erin Wilson and Stephen Krenz
 919 North Shore Drive
 Forest Lake, Minnesota

Legal Description: Lot 10, Block 4, G.M. SIMMONS ADDITION, FOREST LAKE VILLAGE, Washington County, Minnesota. (Per Warranty Deed Doc. No. 3849654)

Parcel Identification: 04.032.21.32.0015

Parcel Size (acres): 0.33 Acres above OHWM

Parcel Size (square feet): 14,265 square feet above OHWM

Zoning: SF - Single Family Residential District

Existing Use: Single-Family / Owner Occupied / Homestead

Watershed District: Comfort Lake - Forest Lake

Year Built: 1962

Existing Impervious Surface: 4,687 square feet (34.1%)

Proposed Impervious Surface: 4,447 square feet (31.2%) - **A 2.9% reduction in impervious surface**

Applicable current Forest Lake City Code which variance is sought:

§ 153.053 NONCONFORMING RESIDENTIAL STRUCTURES (for impervious surface and setback provisions)

§ 153.319 SINGLE-FAMILY (SF) RESIDENTIAL DISTRICT (for side setbacks)

§ 153.343 SHORELAND OVERLAY DISTRICT (for impervious surface)

Required Building Setbacks:

Side Yard: 10' (§ 153.319)

Front Yard / Right of Way: 30' (§ 153.319)

OHWM: 50' (§ 153.319)

Maximum Hardcover / Impervious Surface:

30% (lot area above OHWL)

4,279 square feet

VARIANCE REQUEST SUMMARY

We are applying for a total of two variances to construct the proposed addition.

The variance numbers are indicated with a red circle and number,  which correspond to the variance locations on Figure B in the following pages.

1 Variance for a reduced side setback to the new screen porch addition

The first request is simply a request to add a screen porch on the lakeside that aligns with the existing house on both north and south sides and extends towards the lake 16'. The existing home is setback only 4.7' from the north side property line.

Nonconforming code includes provisions for 6' side setbacks in certain situations. However, we are requesting your permission for an additional 16" into the required 6' side yard setback to align the new screen porch with the existing home at 4.7' from the property line. One may assume this is only for aesthetic purposes, however, locating a column on the corner of the structure is essential from a structural standpoint.

The property has a large buildable area towards the lake within the lakeside setback. Since the house is set closer to the road, this proposal does not change or alter the character of the neighborhood in any way. It is also worth noting that nonconforming properties are a common reoccurring theme on the west side of Forest Lake. We believe by aligning the screened in porch with the existing footprint, we are respecting the character of the neighborhood's existing conditions as much as possible.

In summary:

§ 153.053(A)(2) shows leniency as it permits new additions at the side yard setback for nonconforming existing structures at 6' instead of 10'. The setback of the existing home is 4.7' from the lot line. We are requesting a setback of 4.7' to align the new screened in porch with the existing home. This is only a 16" encroachment into the required setbacks allowed for non-conforming properties with existing setbacks not meeting current sideyard setback requirements.

2 Variance for impervious surface coverage

The second variance request is to allow an impervious surface coverage slightly greater than what is allowed. Currently the impervious surface is grossly more than allowable, and we seek to improve that drastically to reduce runoff and help improve the water quality of Forest Lake. The existing impervious surface is 4,867 square feet (34.1% lot coverage). Our proposal includes 4,447 square feet (31.2%) of hardcover, a 2.9% or 420 square foot reduction and improvement on impervious surface coverage from existing conditions.

In summary:

§ 153.343(S)(1)(b) Stipulates a maximum impervious coverage of 30% but no more than a total square footage of 3,750. § 153.343(S)(1)(c) states that existing lots with impervious surface exceeding 25% may continue to exist but that every effort must be made to lessen the impervious surface when a structure is altered. We are making every attempt to remediate impervious surface calculations by removing a concrete patio and pavers, reducing the footprint of the driveway, and adding more planted landscape areas along the property line and North Shore Drive. **This effort reduces our impervious footprint by 420 square feet or 2.9% lot coverage.**

Legend

-  City Limits
-  Parcels 07/31/2024
-  Lot Lines
- Easement Lines**
 -  Computed Utility Drainage
 -  Conservation
 -  Scenic


**919 North Shore
Drive**
**Disclaimer:**

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Forest Lake is not responsible for any inaccuracies herein contained.

0 66 Feet

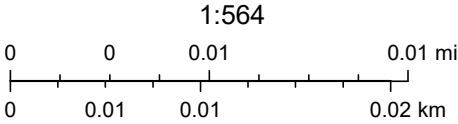


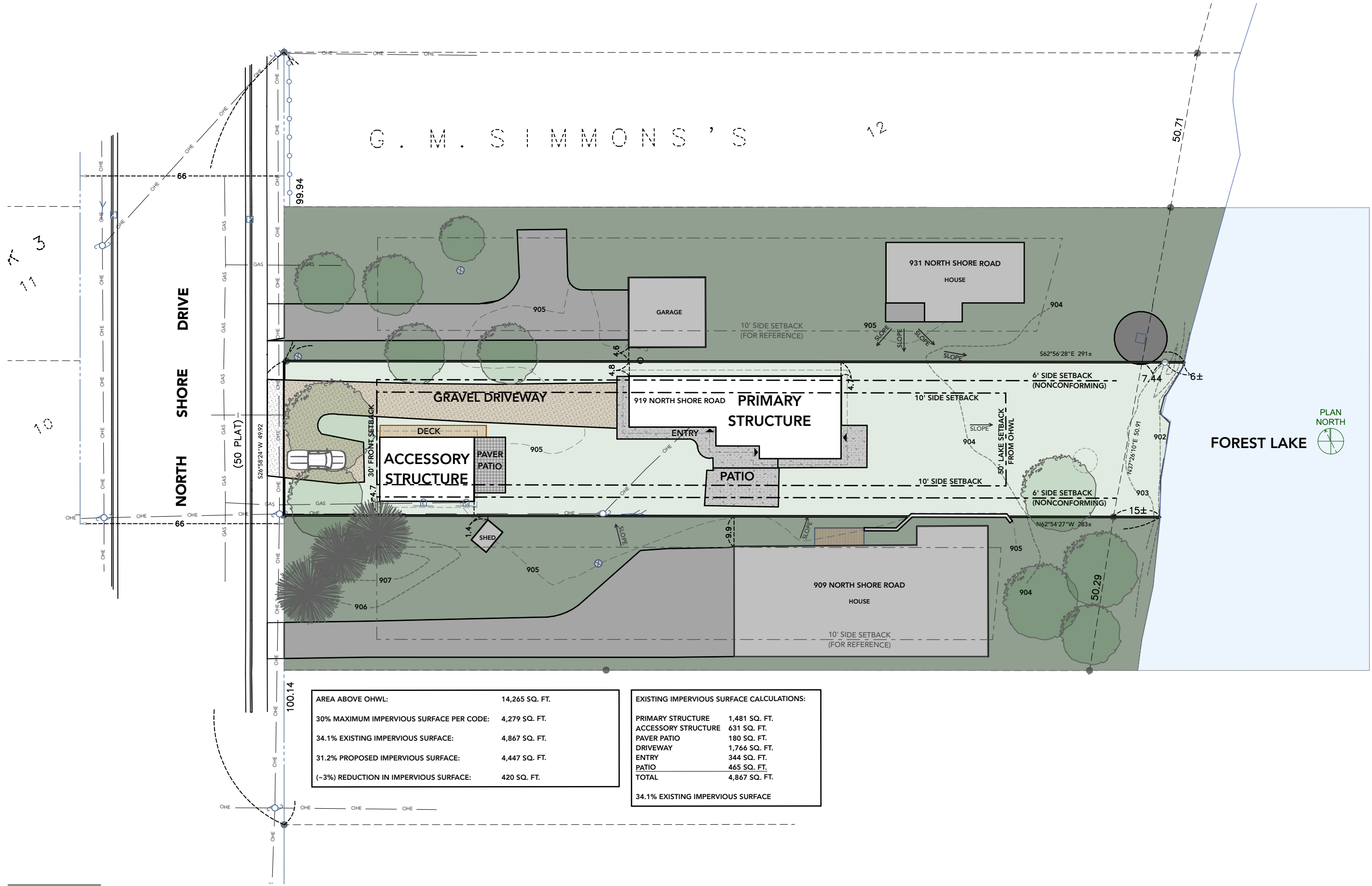
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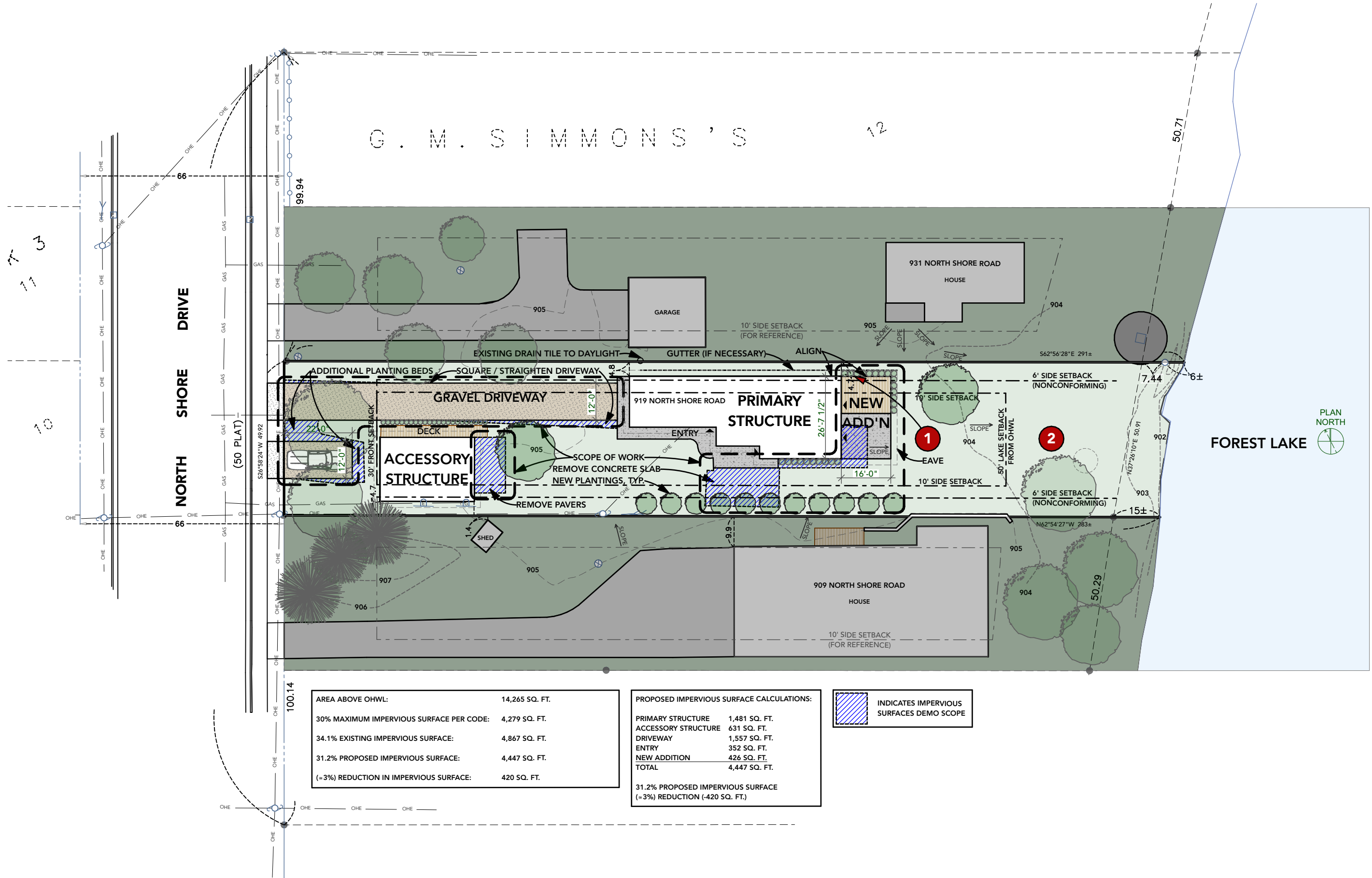
Parcels
Contours2011

Index
Intermediate

DNR Protected Waters ID







CERTIFICATE OF SURVEY

EXISTING CONDITIONS

PROPERTY DESCRIPTION: (per Warranty Deed Doc. No. 3849654)

Lot 10, Block 4, G.M. SIMMONS ADDITION, FOREST LAKE VILLAGE, Washington County, Minnesota.

LEGEND

- ELEC METER
- ELEC POLE
- GAS METER
- AC UNIT
- STORM CATCH BASIN
- SANITARY CLEANOUT
- GUY ANCHOR

- FENCE CHAIN LINK
- UNDERGROUND GAS
- WATERMAIN
- OVERHEAD ELECTRIC
- RIGHT OF WAY EXISTING
- BOUNDARY LINE
- LOT LINE
- SETBACK LINE
- BUILDING WALL HATCH
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE ROCK

SURVEY NOTES:

- Orientation of this bearing system is based on the Washington County Coordinate System NAD83 (1986 adj.)
- The property is zoned SF - Single Family Residential District (per City of Forest Lake Zoning Map)
Building Setbacks (per City of Forest Lake Zoning Code)

Front Yard/Right of Way: = 30 feet
Side Yard: = 10 feet
OHW: = 50 feet
- The address of the property is 919 North Shore Drive, Forest Lake, MN 55025
- Total Lot Acreage to OHW line = 14,265 Sq. Ft. or 0.33 Acres
- The field work was performed on July 18th, 2024
- Vertical Control: MNDot Geodetic Monument "1308 J" 904.16 NAVD88
Local Benchmark - Top Nut Hydrant at 916 North Shore Dr = 907.77 NAVD88

IMPERVIOUS CALCULATIONS

AREA ABOVE O.H.W. = 14,265 S.F.

EXISTING IMPERVIOUS CALCULATIONS

GRAVEL SURFACE	: 1766 S.F.
CONCRETE SIDEWALK	: 810 S.F.
ACCESSORY STRUCTURE	: 631 S.F.
EXISTING HOUSE	: 1480 S.F.
PAVER PATIO	: 180 S.F.
TOTAL	: 4,687 S.F.
PERCENT IMPERVIOUS	: 34.1%

© 2024 WIDSETH SMITH NOLTING

DATE: July 2024	DATE:	AMENDMENTS	BY:	PREPARED FOR: ERIN WILSON
SCALE: AS SHOWN				I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY: JAS				<i>Kelly L. Jordan</i>
CHECKED BY: KLJ				Kelly L. Jordan
FILE NUMBER: 2024-11277				DATE: 07/19/2024 LIC. NO. 42648



WIDSETH SMITH NOLTING

Engineering | Architecture | Surveying | Environmental

CERTIFICATE OF SURVEY

PROPOSED CONDITIONS

PROPERTY DESCRIPTION: (per Warranty Deed Doc. No. 3849654)
Lot 10, Block 4, G.M. SIMMONS ADDITION, FOREST LAKE VILLAGE, Washington County, Minnesota.

LEGEND

- ELEC METER
- ELEC POLE
- GAS METER
- STORM CATCH BASIN
- SANITARY CLEANOUT
- GUY ANCHOR

- FENCE CHAIN LINK
- UNDERGROUND GAS
- WATERMAIN
- OVERHEAD ELECTRIC
- RIGHT OF WAY EXISTING
- BOUNDARY LINE
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- SETBACK LINE
- BUILDING WALL HATCH
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- LANDSCAPE ROCK

SURVEY NOTES:

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Building Setbacks (per City of Forest Lake Zoning Code)

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- Total Lot Acreage to OHW line = 14,265 Sq. Ft. or 0.33 Acres
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IMPERVIOUS CALCULATIONS

AREA ABOVE O.H.W. = 14,265 S.F.

EXISTING IMPERVIOUS CALCULATIONS

GRAVEL SURFACE	: 1766 S.F.
CONCRETE SIDEWALK	: 810 S.F.
EXISTING ACCESSORY STRUCTURE	: 631 S.F.
EXISTING HOUSE	: 1480 S.F.
PAVER PATIO	: 180 S.F.
TOTAL	: 4,867 S.F.
PERCENT IMPERVIOUS	: 34.1%

IMPERVIOUS CALCULATIONS

AREA ABOVE O.H.W. = 14,265 S.F.

PROPOSED IMPERVIOUS CALCULATIONS

GRAVEL SURFACE	: 1557 S.F.
CONCRETE SIDEWALK	: 352 S.F.
ACCESSORY STRUCTURE	: 631 S.F.
EXISTING HOUSE	: 1481 S.F.
NEW ADDITION	: 426 S.F.

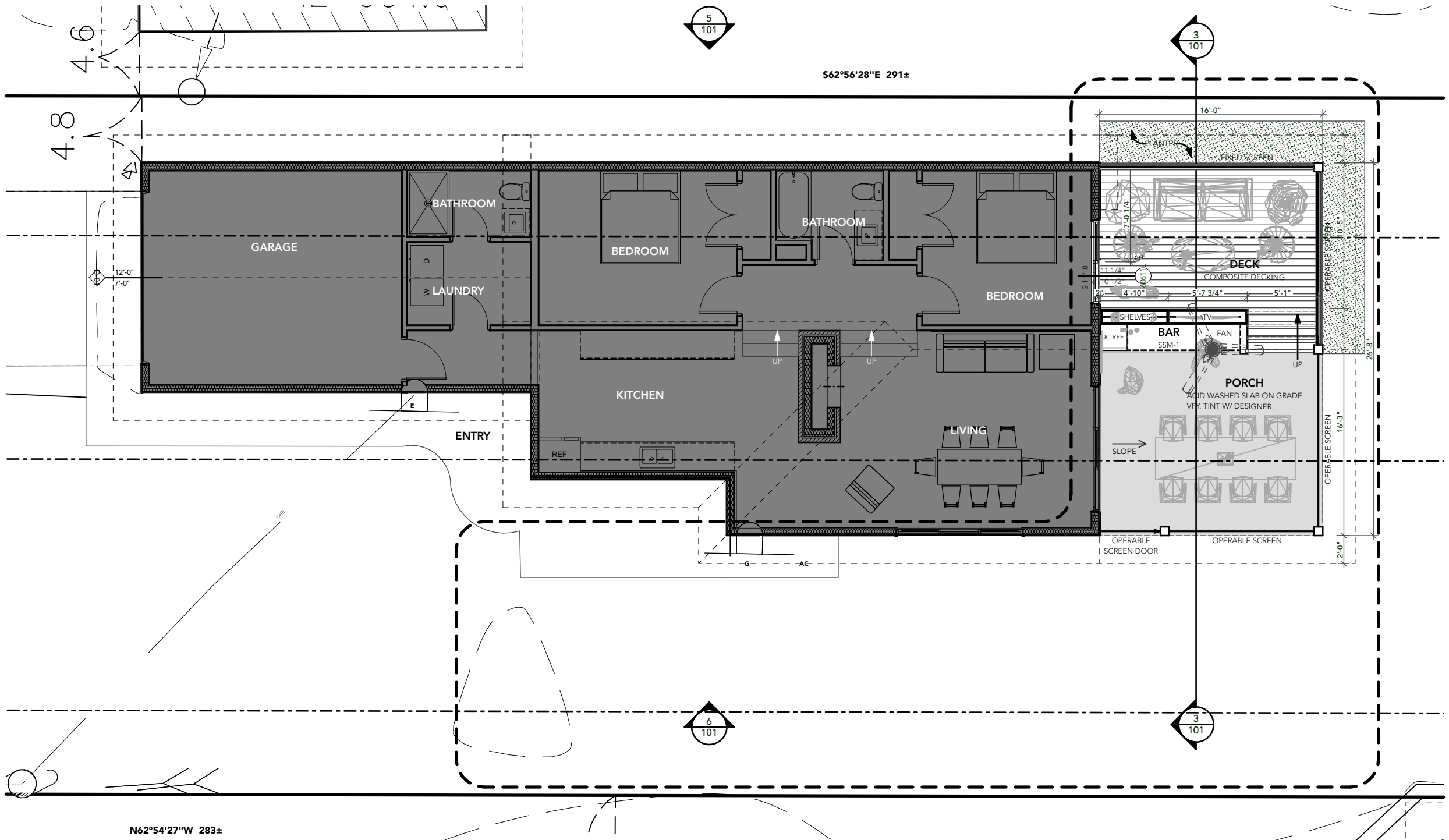
TOTAL	: 4,447 S.F.
PERCENT IMPERVIOUS	: 31.2%

© 2024 WIDSETH SMITH NOLTING

DATE:	July 2024	DATE:		AMENDMENTS		BY:		PREPARED FOR: ERIN WILSON
SCALE:	AS SHOWN							I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY:	JAS							
CHECKED BY:	KLJ							
FILE NUMBER:	2024-11277							Kelly L. Jordan DATE: 07/23/2024 LIC. NO. 42648



WIDSETH SMITH NOLTING
Engineering | Architecture | Surveying | Environmental



E

Proposed Overall Floor Plan

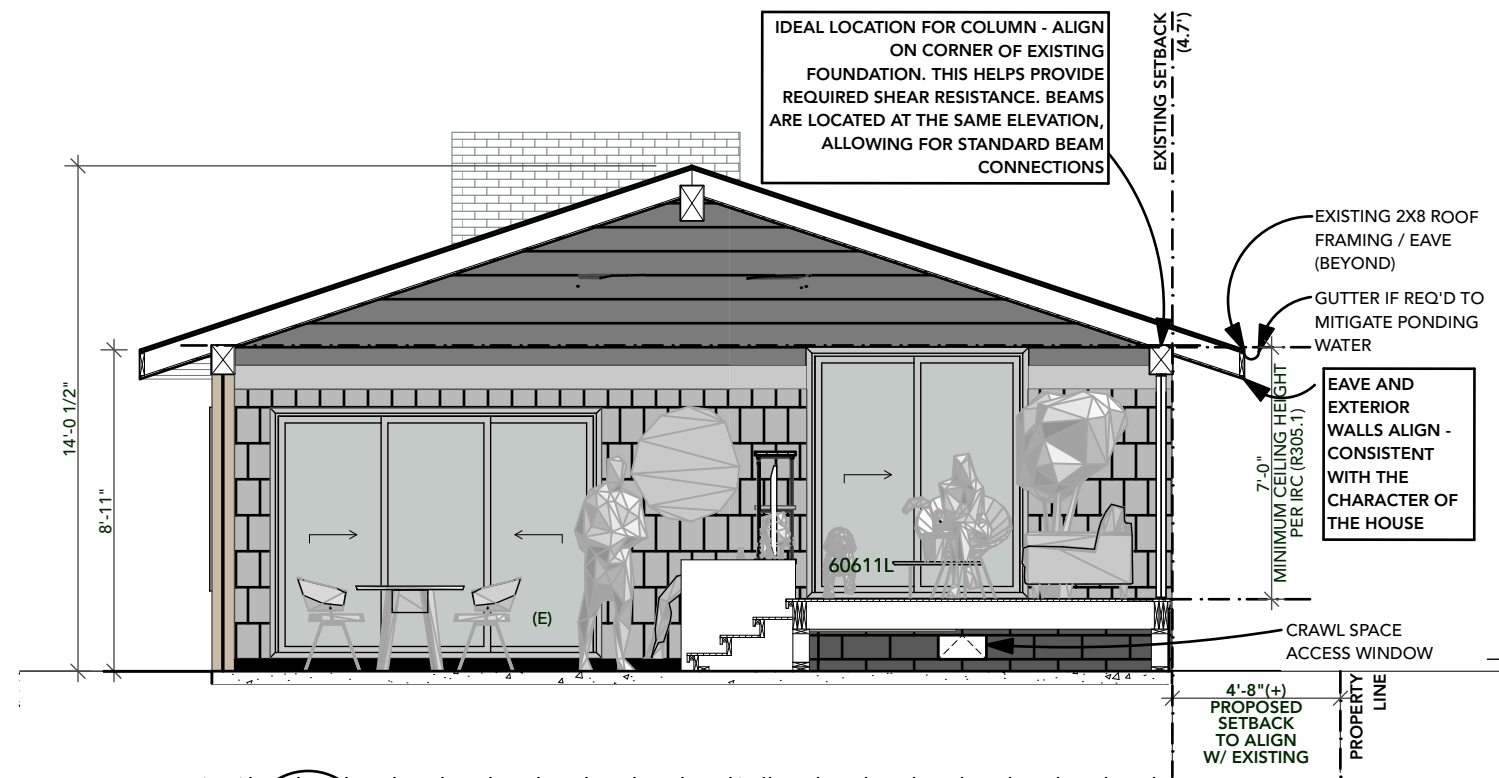
SCALE: 1/8" = 1'-0"



RAD

RAD FIRM, LLC.
PO BOX 120711
SAINT PAUL, MN 55112
WWW.RAD-MN.COM
+1.651.472.3748

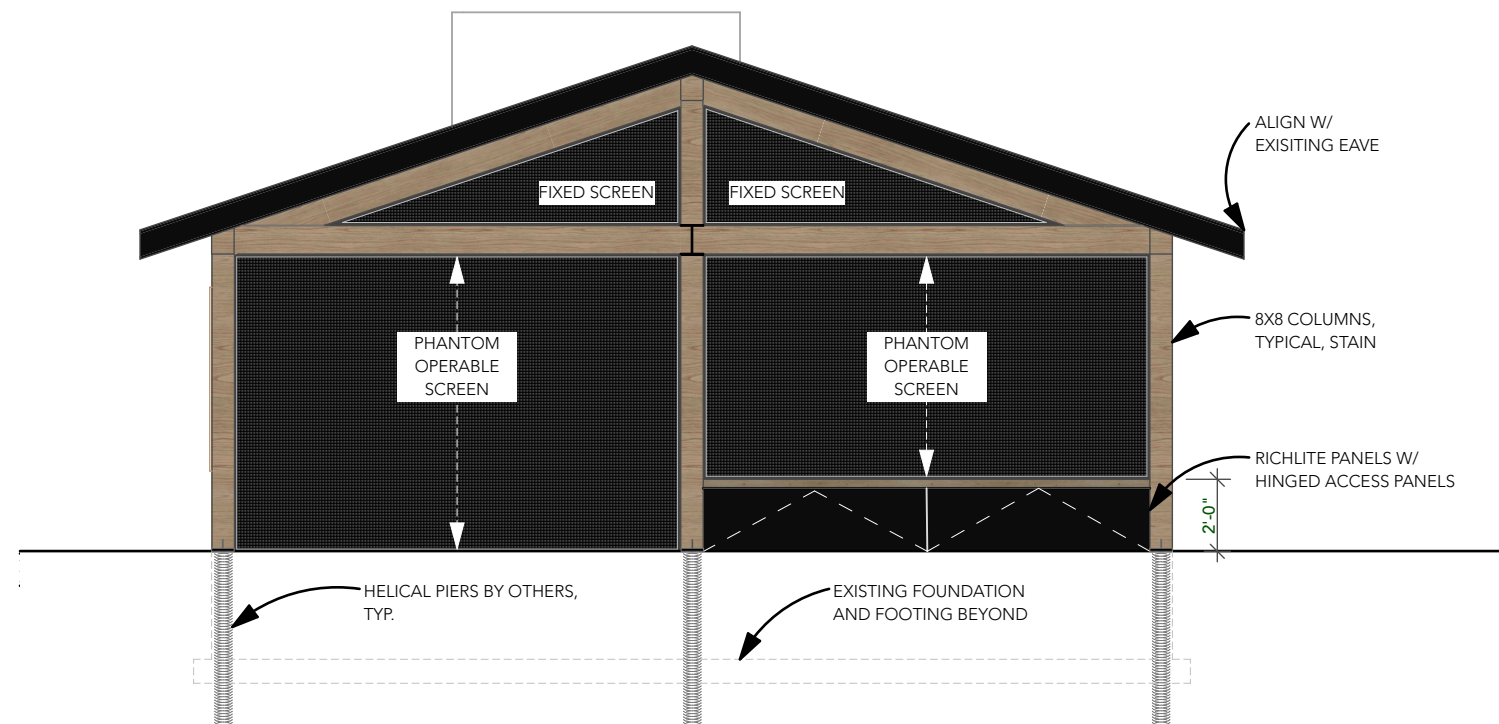
KRENZ-WILSON RESIDENCE
VARIANCE APPLICATION
919 NORTH SHORE DRIVE
FOREST LAKE, MN 55025



F.1

Proposed Building Section

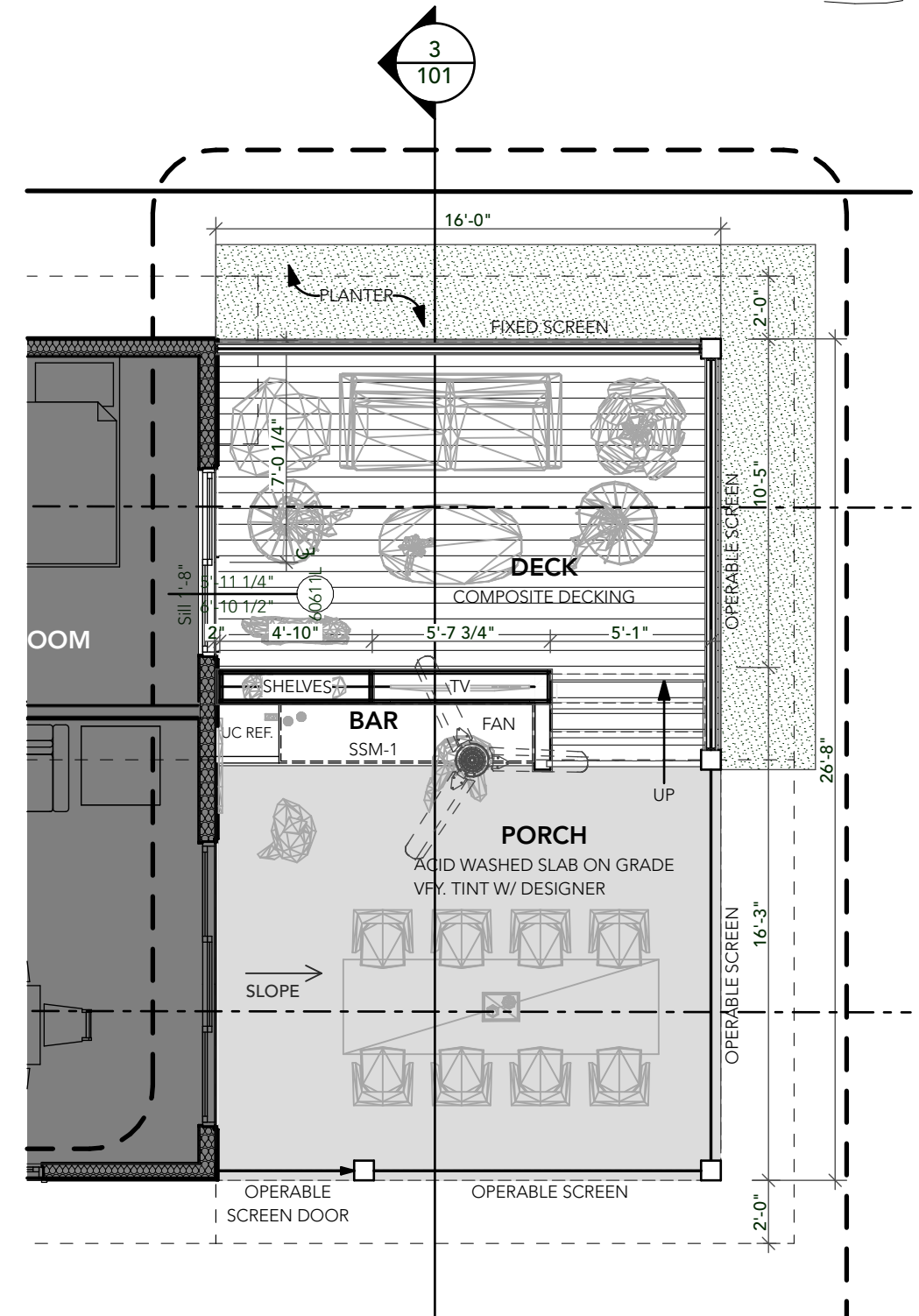
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F.2

Proposed East Elevation

SCALE: 3/16" = 1'-0"



F.3

Enlarged Proposed Floor Plan

SCALE: 3/16" = 1'-0"





FIGURE F.4 | View looking west towards proposed screened porch

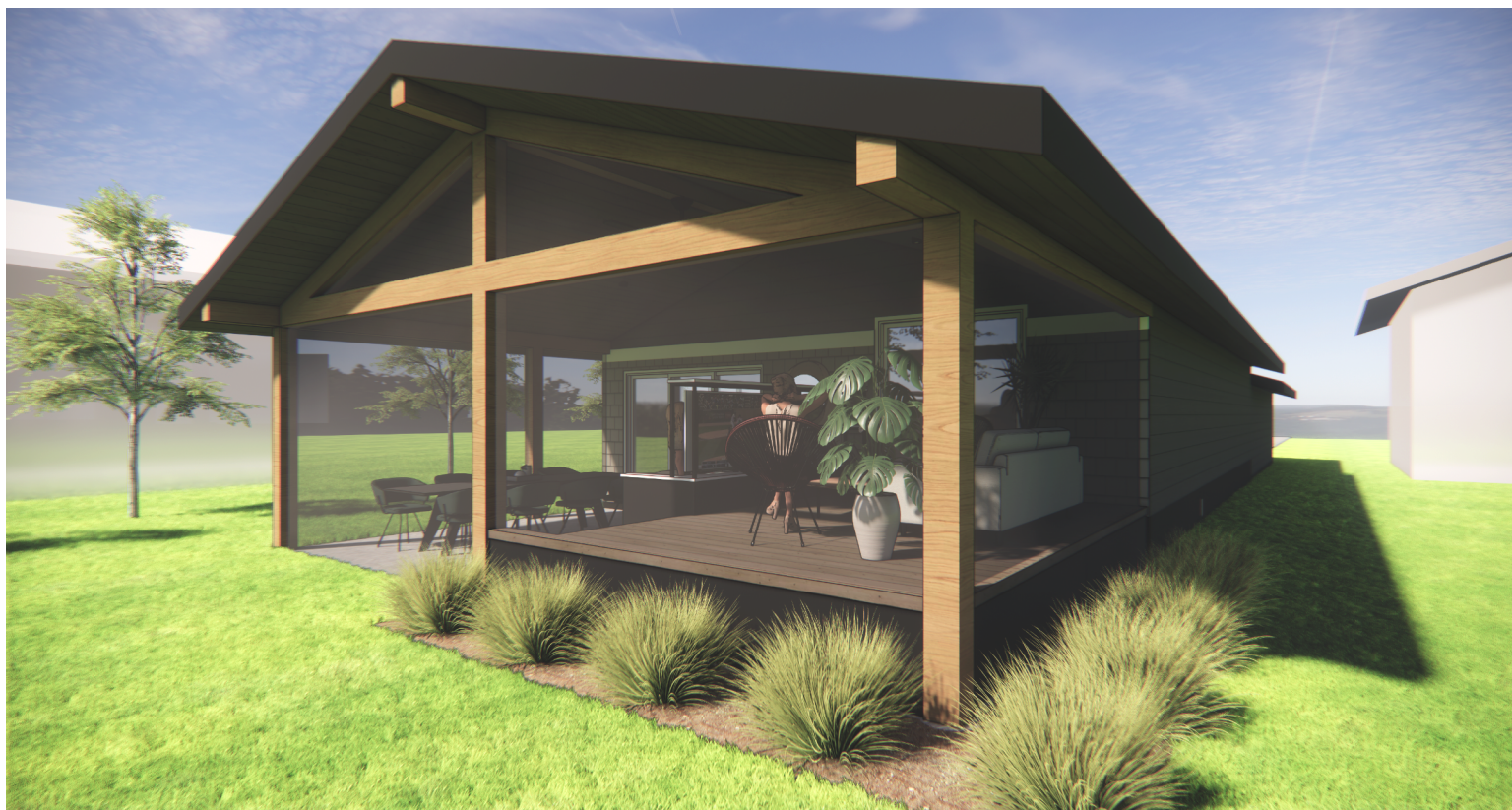


FIGURE F.5 | View looking west towards proposed screened porch

RAD

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SAINT PAUL, MN 55112
WWW.RAD-MN.COM
+1.651.472.3748

KRENZ-WILSON RESIDENCE

919 NORTH SHORE DRIVE
FOREST LAKE, MN 55025



FIGURE F.6 | View looking north at proposed screened porch



FIGURE F.8 | View looking north at proposed bar and seating area



FIGURE F.7 | View looking from proposed screened dining area east toward Forest Lake

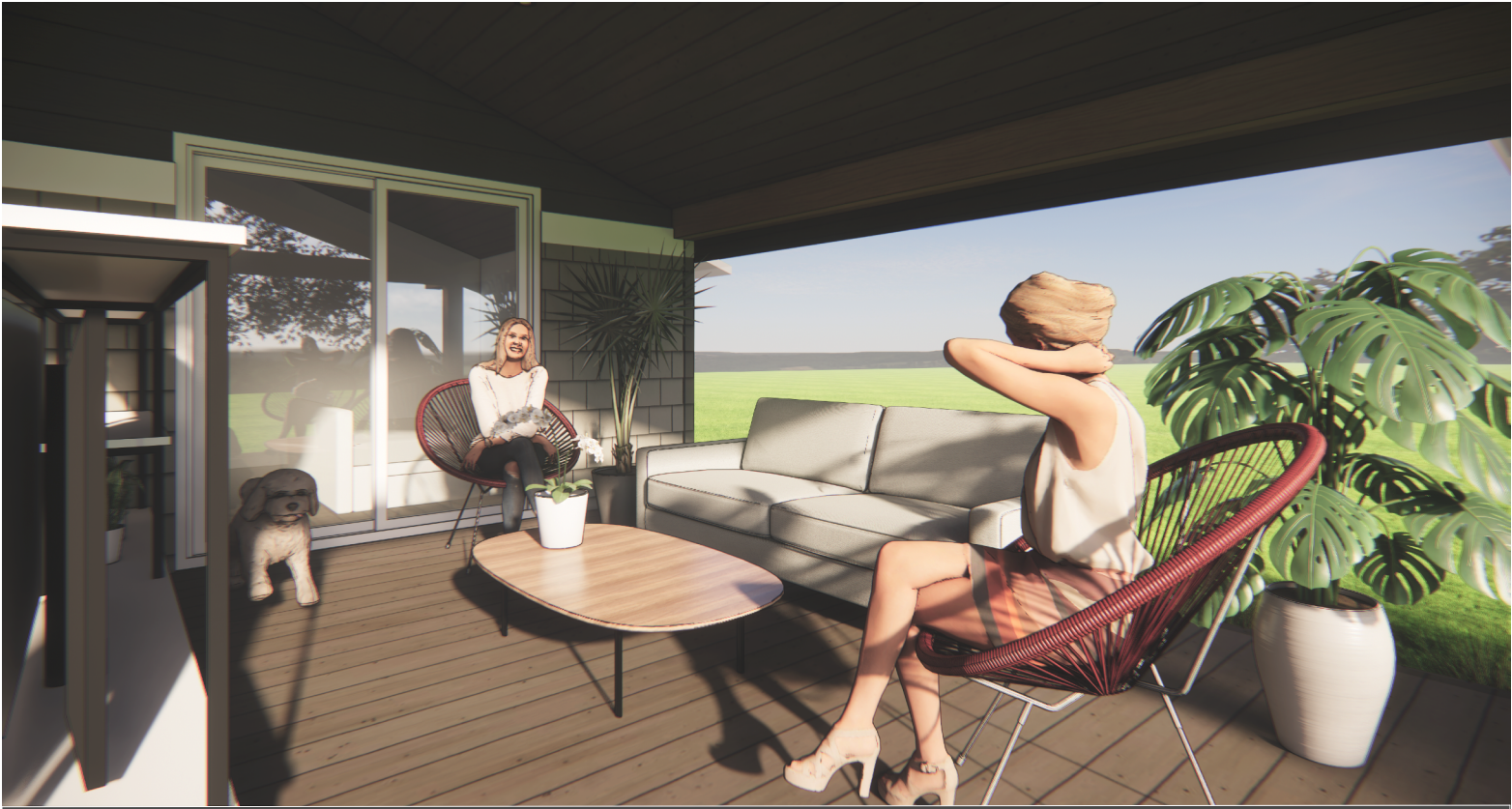


FIGURE F.9 | View looking west towards owner's suite and proposed sitting area from stairs

July 18th, 2024

Krenz-Wilson Residence
919 North Shore Drive
Forest Lake, MN 55025

RE: Krenz-Wilson Variance Application

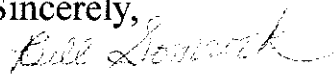
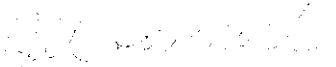
Dear City of Forest Lake Planning Commission,

Please consider this letter of support for Erin Wilson and Stephen Krenz's residential variance application for 919 North Shore Drive. We have reviewed their plans and are in support of their project, including their efforts to reduce existing impervious surface coverage, as well as aligning the new screen porch addition with the northern 4.7' side setback of their existing home.

If approved, their request will improve their property and aesthetics of our corner in the neighborhood. Erin and Steve are great neighbors who are easy to work with. We appreciate the improvement they have planned and are in full support.

Please feel free to include this letter with your application for awareness.

Sincerely,

Bill & Jill Somrock
909 North Shore Drive
651.334.6872□

July 18th, 2024

Krenz-Wilson Residence
919 North Shore Drive
Forest Lake, MN 55025

RE: Krenz-Wilson Variance Application

Dear City of Forest Lake Planning Commission,

Please consider this letter of support for Erin Wilson and Stephen Krenz's residential variance application for 919 North Shore Drive. We have reviewed their plans and are in support of their project, including their efforts to reduce existing impervious surface coverage, as well as aligning the new screen porch addition with the northern 4.7' side setback of their existing home.

If approved, their request will improve their property and aesthetics of our corner in the neighborhood. Erin and Steve are great neighbors who are easy to work with. We appreciate the improvement they have planned and are in full support.

Please feel free to include this letter with your application for awareness.

Sincerely,

A handwritten signature in cursive script, appearing to read "Jeff Remme", though the caption identifies the signatory as Jennifer Remme.

Jennifer Remme
931 North Shore Drive
651.491.6329

**CITY OF FOREST LAKE
WASHINGTON COUNTY, MINNESOTA**

RESOLUTION NO. 09-11-24-03

**A RESOLUTION DENYING A 5.3-FOOT SIDE YARD SETBACK VARIANCE
REQUEST TO ALLOW THE CONSTRUCTION OF AN ATTACHED COVERED
PORCH WITH A 4.7-FOOT SIDE YARD SETBACK AT THE PROPERTY LOCATED
AT 919 NORTH SHORE DRIVE**

WHEREAS, Erin Wilson and Stephen Krenz (“Owners”) own the real property located at 919 North Shore Drive, located in the City of Forest Lake, Washington, County, Minnesota PID No. 04-032-21-32-0015 (“Property”); and

WHEREAS, applicants Erin Wilson and Stephen Wilson (“Applicants”), submitted a complete application to the City of Forest Lake on August 12, 2024, for a side yard setback variance to have a reduced side yard setback to allow for the construction of a covered porch addition on to the existing house with a 4.7-foot side yard setback on the Property, (“Variance”) and Forest Lake City Staff reviewed the application for the Variance and discussed the same with the Applicant and Owners; and

WHEREAS, the requested Variance is for a variance of 5.3 feet (to allow the covered porch addition to have a side yard setback of 4.7 feet) ; and

WHEREAS, Staff recommended denial of the variance request as further articulated in the City Staff Report dated September 11, 2024, for the September 11, 2024 Planning Commission meeting, attached hereto and incorporated by reference herein as “Staff Report” for the following reasons:

1. The Applicant identified several conditions of the property, including the location of the existing house that create a practical difficulty for constructing the proposed covered porch addition that would meet all side yard setback requirements. According to the applicant, if they were to position the proposed porch addition with a 10-foot side yard setback, it would be difficult to connect the porch addition to the house and such a design would not be as practical or as convenient than the proposed design with a 4.7-foot side yard setback. City staff views this as a mere inconvenience and not necessarily a practical difficulty for the applicant.
2. The Applicant is proposing to build an attached covered porch on to an existing single-family home with a reduced side-yard setback. The use of the property with a single-family home and an attached porch is reasonable and is in line with the intent of the zoning district. However, the desire to have a single-family home with a covered porch addition with a reduced side yard setback that increases the value or income potential of the property does not constitute a practical difficulty as there is an existing reasonable use of the property.

3. The existing house has a 4.7-foot side yard setback. The shape and size of the property, the location of the existing house and the detached garage are unique to the property and were not created by the applicant. The proposed covered porch addition, however, with a reduced side yard setback would be a circumstance created by the landowner.
4. The proposed plan for the covered porch addition is not expected to adversely impact other land or improvements in the vicinity of the property, nor will it be injurious to or alter the essential character of the area. The proposed covered porch addition would not be adjacent to any existing structures on the adjacent property.
5. This side yard setback variance request does not appear to meet the spirit and intent of the zoning ordinance. The proposed covered porch addition with a 4.7-foot side yard setback will not impair an adequate supply of light and air to adjacent property, will not increase congestion of the public streets, should not increase the danger of fire (if constructed to meet current building code standards), should not endanger public safety nor should it diminish or impair property values in the neighborhood and if the site grading is done correctly, should not cause drainage issues for an adjacent property.

WHEREAS, a notice of a public hearing on said Variance was duly published, posted and mailed in accordance with applicable Minnesota Statutes; and

WHEREAS, the Forest Lake Planning Commission (Planning Commission) held a public hearing at its September 11, 2024 meeting where they offered all persons interested in said Variance an opportunity to present their views and objections to the City granting of said Variance; and

WHEREAS, the Planning Commission also considered the application for the proposed setback Variance, took comments from the Applicant and Owners, and reviewed the Staff Report; and

WHEREAS, the Forest Lake Planning Commission has determined that the City should deny the proposed side yard setback Variance as described herein and in the Staff Report.

NOW THEREFORE BE IT RESOLVED THAT the Planning Commission of the City of Forest Lake hereby denies the proposed side yard setback Variance for the Property as described herein.

This resolution is adopted by the Planning Commission of the City of Forest Lake this 11th day of September, 2024.

Paul Girard, Planning Commission Chair

Attest:

Joleen Chaika, City Clerk

Date: September 11, 2024

To: Chair Girard and Planning Commissioners

From: Abbi Wittman, Community Development Director

Re: Local Affordable Housing Aid

In 2023 the State of Minnesota created a framework to provide Local Affordable Housing Aid (Aid) to assist local governments in the metro area develop and preserve affordable housing. As of 2023, the estimated Aid to be disbursed to the City of Forest Lake is:

FY2024	FY2025	FY2026	FY2027
\$209,645	\$324,881	\$334,600	\$344,318

It should be noted the City has three years after distribution to spend the Aid. If Aid is not spent, or transferred to a local housing trust fund, it must be returned to the State.

City staff is bringing this matter to the Planning Commission (as well as the EDA) before having discussion with the City Council on the options for LAHA use. It is anticipated that, based on these conversations, City staff will have some direction on how the City may like to use this funding in the future. This will help guide City staff in development of parameters for the use of the Aid in the future.

Aid Summary

Aid can be used for the following:

Type	Income Restrictions	Use	Considerations
Emergency Rental Assistance	80% AMI ¹ Priority - < 50% AMI	Provide direct assistance for emergency rental housing	Predominantly County or Non-profit programs
New Construction or Redevelopment	Rental – 80% AMI Priority < 50% AMI Owner Occupied – 115% AMI	Partner with or provide direct assistance to support developers	Requirements for ADA and Sensory-Accessible units in

¹ Area Median Income (AMI)

	Priority < 80% AMI	construction, acquisition, financing, etc.	buildings of 4 or more units
Rehabilitation – Rental	80% AMI Priority < 50% AMI	Multifamily loans or grants for rehab, energy/water rebates, etc.	May be opportunity to assist in rehabilitation of aging rental stock. Requirements for ADA and Sensory-Accessible units in buildings of 4 or more units
Rehabilitation – Owner-Occupied	115% AMI Priority < 80% AMI	Loans or grants for rehabilitation, exterior improvements, energy/water rebates	May be opportunity to assist in rehabilitation of aging housing stock. Opportunity for residents who exceed income qualifications of existing programs

Comprehensive Plan Analysis

The Aid will help the City achieve the following 2040 Comprehensive Plan goals and objectives:

Goal	<i>Applicable Objectives</i>
Improve and maintain existing housing units.	Consider City-funded activities aimed at rehabilitation or acquisition of existing properties for maintenance.
Increase availability of new affordable housing.	Encourage participation by the HRA and/or EDA to be active in supporting new affordable housing opportunities and development programs.

The Housing Implementation Plan of the 2040 Comprehensive Plan indicates the City will work to:

- Maintenance of Existing Housing Units
- Development of New Affordable Housing for Households with Incomes at or Below 80%

AMI

- Preservation of Existing Affordable Housing for Households with Incomes at or Below 80% AMI

Given this, there is merit in developing parameters for the use of Aid. That said, recent interpretation of the Aid indicates funding may not be used for administrative needs. In other words, the Aid can only be used for the programs identified above but cannot be used to support the staffing needed to administer programs.

In recent discussions with Washington County Community Development Agency (CDA), the CDA has advised they are willing to assist the City in using the funding how the City would like. Staff's recommends the City partner with the CDA on the use of the funds in Forest Lake. Staff is bringing this matter to the Planning Commission to determine if there are any of the program areas that are of a higher importance to the Planning Commission.

Requested Action:

The Commission should review the enclosed materials and discuss whether or not there is priority areas the City should focus on as it explores the use of its Local Affordable Housing Aid.

Date: September 11, 2024

To: Chair Girard and Planning Commissioners

From: Abbi Wittman, Community Development Director

Re: Metropolitan Council Imagine 2050 Comments

Every ten years, the Metropolitan (Met) Council develops a regional development guide that will serve as a framework for the region's growth and development over the subsequent ten years. The guide (known as *Imagine 2050*) outlines a vision and goals related to land use, housing, transportation, water resources, and regional parks. The Met Council's guide will serve as a foundation for the update of individual community's comprehensive plans. The Met Council has released its draft plan and comments are due by October 7th. The entire plan and an opportunity to provide comment can be done at <https://engage.metrocouncil.org/>.

There are some areas of the draft plan will affect the City of Forest Lake:

- The Met Council is proposing to eliminate its *Emerging Suburban* community designation. As a reminder to the Commission, approximately half of the City of Forest Lake is designated as *Emerging Suburban* and, as such, is required to have minimum density of 3 units per acre. With the elimination of this designation, a portion of Forest Lake will be designated as *Suburban Edge* and be required to have a minimum density of 4 units per acre.
 - Staff's concern is that it is difficult for the City to achieve the minimum density standard requirements in most of its districts which allow for single and mixed residential housing. Increasing the minimum requirement from 3 units to 4 units per acre will not make this easier. While it will require the City to adjust its land development and zoning district standards, staff believes the Met Council should consider alternations to its net density calculation requirements.
- Part of the Met Council's planning process included a Density Analysis with recommendations for policy changes. In addition to the designation change, highlighted above, the following standard was identified as a means to implement the regional density policy:
 - *Measure minimum net density by taking the minimum number of planned housing units and dividing by the net acreage. Net acreage does not include land covered by wetlands, water bodies, public parks and trails, public open space, arterial road*

rights-of-way, and other undevelopable acres identified in or protected by local ordinances such as steep slopes. This applies to local governments within the MUSA and Rural Center communities.

Staff has continued to raise concerns to Met Council staff and our sector representative that additional factors for determination of net acreage should be considered. For example, removing storm ponding should be considered as these are not areas that can be built upon and, while they are required as part of the development, they have the ability to remove significant amounts of developable area.

Though there are other areas of guidance that may be difficult for any of the Cities in the region to achieve, Staff believes these are the two most important items of concern. Staff is bringing this matter to the Planning Commission as staff believes it is important for the City to provide comment to the Met Council on these two policy changes.

Requested Action:

The Commission should discuss and provide input and/or further direction to staff.